

# BH PROPERTIES

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## 146 Navarro Repositioning



146 Navarro Street; San Antonio, TX 78205

## 12.03.2021 - PROGRESS, PERMIT AND PRICING CONSTRUCTION DOCUMENTS

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PROJECT NUMBER: 122.0043.000

EAB NUMBER: PRJ#XXXXXXXXX

### **BH** PROPERTIES

1410 E Renner Road, Suite 260  
Richardson, TX 75082

### **Gensler**

229 E. Houston Street  
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### **Alderson & Associates, Inc.**

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Tel 210.614.1110

### **Architectural Engineers Collaborative**

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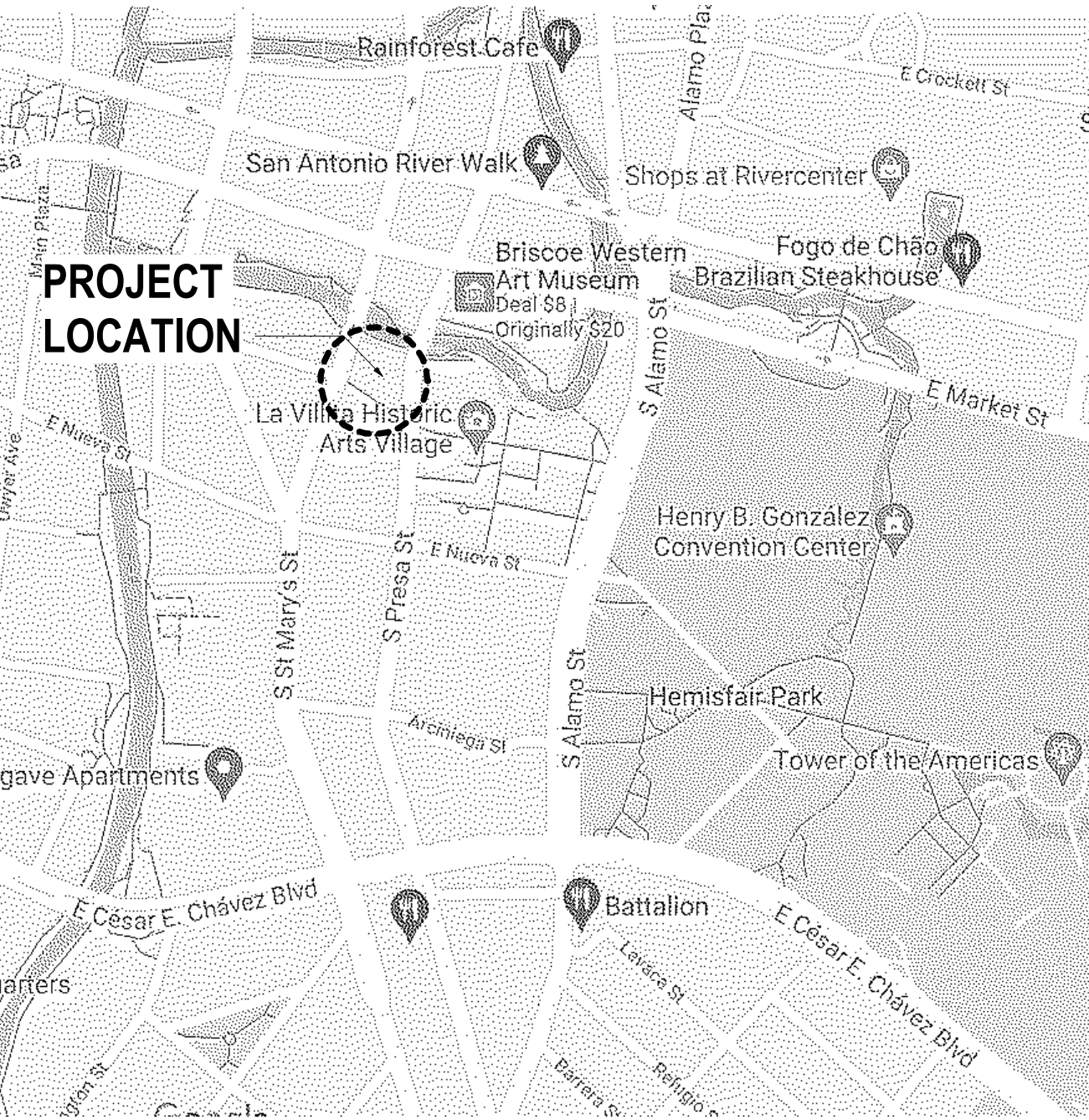
### **MP Studio**

201 Groveton St.  
San Antonio, TX 78210

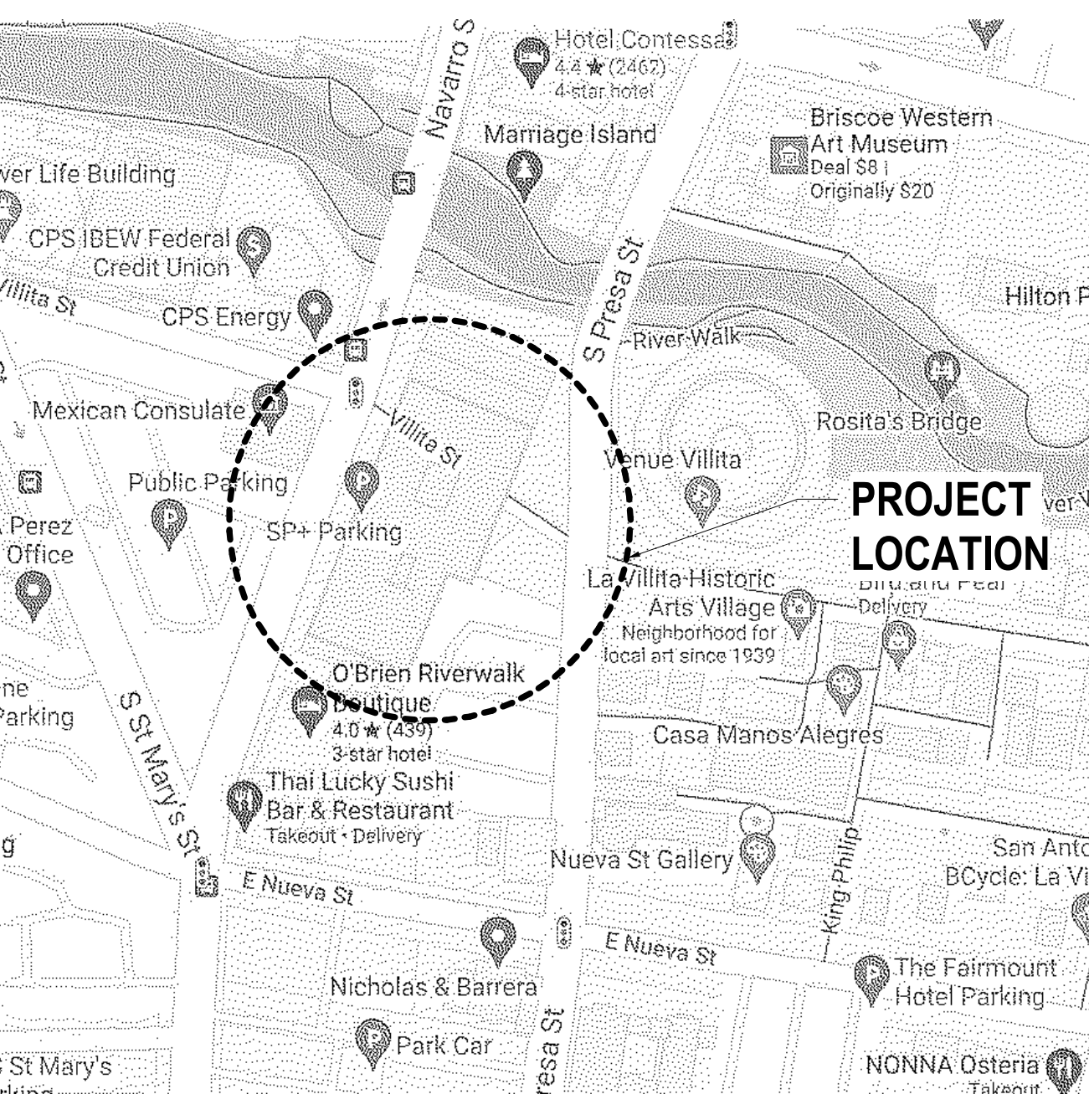
Tel 210.314.5582



VICINITY MAP:



LOCATION MAP:



PROJECT INFORMATION

RENOVATION OF EXISTING PUBLIC SPACES OFFICES LEVELS AND ADDITION OF EXTERIOR GARAGE SCREEN, RETAIL SHELL SPACE AND PORCH.

APPLICABLE CODES:

AUTHORITY HAVING JURISDICTION: CITY OF SAN ANTONIO

CITY OF SAN ANTONIO:

- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2018 INTERNATIONAL FIRE CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2017 NATIONAL ELECTRICAL CODE
- 2012 TEXAS ACCESSIBILITY STANDARD

DRAWING INDEX

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A5.106	ENLARGED PLAN AND ELEVATION - LEVEL 08-10 BUILDING CORE	12.03.2021	PROGRESS, PERMIT AND CD ISSUE
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A7.001	INTERIOR ELEVATIONS - LEVEL 07	12.03.2021	PROGRESS, PERMIT AND CD ISSUE
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A7.003	INTERIOR ELEVATIONS - LEVEL 08-10 CORE RESTROOMS	12.03.2021	PROGRESS, PERMIT AND CD ISSUE
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07. MECHANICAL			
M0.010	MECHANICAL SYMBOLS & ABBREVIATIONS	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
M2.010	MECHANICAL DETAILS	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
08. PLUMBING			
P0.010	PLUMBING SYMBOLS & ABBREVIATIONS	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
P1.010	PLUMBING SCHEDULES	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
P2.010	PLUMBING DETAILS	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
10. ELECTRICAL			
E0.000	ELECTRICAL SYMBOLS & ABBREVIATIONS	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E5.010	ELECTRICAL SCHEDULES	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E5.020	ELECTRICAL SCHEDULES	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
06. STRUCTURAL			
S1.101	RENOVATION DETAILS	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
S0.010	GENERAL NOTES	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
07. MECHANICAL			
M1.108	MECHANICAL FLOOR PLAN LEVEL 08 SPEC SUITE	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
08. PLUMBING			
P1.108	PLUMBING FLOOR PLAN -LEVEL 08 SPEC SUITE	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS

SHEET NO.	SHEET NAME	CURRENT ISSUE DATE	CURRENT ISSUE
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E1.108	LIGHTING FLOOR PLAN -LEVEL 08 SPEC SUITE	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E1.208	POWER FLOOR PLAN -LEVEL 08 SPEC SUITE	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
03. LANDSCAPE			
LC1.0	GENERAL NOTES	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LC1.1	MATERIALS SCHEDULE - GROUND FLOOR	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LC1.3	OVERALL REFERENCE PLAN	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LD1.1	DEMOLITION PLAN - GROUND FLOOR	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LD1.2	DEMOLITION PLAN - GROUND FLOOR	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LL1.1	LIGHTING PLAN - GROUND FLOOR	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LL1.2	LIGHTING PLAN - GROUND FLOOR	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LP1.1	PLANTING PLAN - GROUND FLOOR	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LP1.2	PLANTING PLAN - GROUND FLOOR	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LP.2	PLANT SCHEDULE	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LS1.1	SITE PLAN - GROUND FLOOR	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LS1.2	SITE PLAN - GROUND FLOOR	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
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LS2.2	SITE DETAILS - GROUND FLOOR	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LS2.3	SITE DETAILS - GROUND FLOOR	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LS2.4	SITE DETAILS - GROUND FLOOR	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
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06. STRUCTURAL			
2-S0.010	GENERAL NOTES	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
SS.101	ENLARGED CONSTRUCTION PLAN - STREET LEVEL LOBBY	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
SS.107	ENLARGED PLAN - ANNEX BUILDING - LEVEL 01 & 02	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
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P1.101	PLUMBING ENLARGED FLOOR PLAN -STREET LEVEL LOBBY	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
P1.102	PLUMBING ENLARGED FLOOR PLAN -ANNEX BUILDING -LEVEL 01 & 02	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
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E1.101	ENLARGED LIGHTING PLAN -STREET LEVEL LOBBY	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E1.102	LIGHTING FLOOR PLANS -ANNEX BUILDING	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E1.201	ENLARGED POWER PLAN -STREET LEVEL LOBBY	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E1.202	ENLARGED POWER PLANS -ANNEX BLDG -LEVEL 01 & 02	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
03. LANDSCAPE			
LC1.2	MATERIALS SCHEDULE - TERRACES	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LL1.3	LIGHTING PLAN - TERRACES	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LL1.4	LIGHTING PLAN - TERRACES	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LP1.3	PLANTING PLAN - TERRACES	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LP1.4	PLANTING PLAN - TERRACES	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LS1.3	SITE PLAN - TERRACES	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LS1.4	SITE PLAN - TERRACES	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
LS2.5	SITE DETAILS - TERRACES	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
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3-S0.010	GENERAL NOTES	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
3-S1.108	CONSTRUCTION PLAN - LEVEL 08	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
3-S1.109	CONSTRUCTION PLAN - LEVEL 09	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
3-S1.110	CONSTRUCTION PLAN - LEVEL 10	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
08. PLUMBING			
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P1.109	PLUMBING FLOOR PLAN -LEVEL 09	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
P1.110	PLUMBING FLOOR PLAN -LEVEL 10	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
P2.107	PLUMBING ENLARGED FLOOR PLAN -LEVEL 07	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
P2.108	PLUMBING ENLARGED FLOOR PLAN -LEVEL 08	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
P2.109	PLUMBING ENLARGED FLOOR PLAN -LEVEL 09	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
P2.110	PLUMBING ENLARGED FLOOR PLAN -LEVEL 10	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
10. ELECTRICAL			
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3-E1.208	POWER FLOOR PLAN -LEVEL 08	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E1.107	LIGHTING FLOOR PLAN -LEVEL 07	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E1.109	LIGHTING FLOOR PLAN -LEVEL 09	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E1.110	LIGHTING FLOOR PLAN -LEVEL 10	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E1.207	POWER FLOOR PLAN -LEVEL 07	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E1.209	POWER FLOOR PLAN -LEVEL 09	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E1.210	POWER FLOOR PLAN -LEVEL 10	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E2.101	ENLARGED LIGHTING PLAN -LEVEL 07 -TRANSFER CORE	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E2.102	ENLARGED POWER PLAN -LEVEL 07 -TRANSFER CORE	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E2.103	ENLARGED ELECTRICAL PLANS -LEVEL 07 -LOCKER ROOMS	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E2.104	ENLARGED LIGHTING PLAN -LEVEL 08 - BUILDING CORE	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E2.105	ENLARGED POWER PLAN -LEVEL 08 -BUILDING CORE	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E2.106	ENLARGED LIGHTING PLAN -LEVEL 09 -BUILDING CORE	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E2.107	ENLARGED POWER PLAN -LEVEL 09 -BUILDING CORE	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E2.108	ENLARGED LIGHTING PLAN -LEVEL 10 -BUILDING CORE	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
E2.109	ENLARGED POWER PLAN -LEVEL 10 -BUILDING CORE	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
06. STRUCTURAL			
S1.101	CONSTRUCTION PLAN - LEVEL 01	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
S1.102	CONSTRUCTION PLAN - LEVEL 02	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
S1.108	CONSTRUCTION PLAN - LEVEL 08	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
S1.109	CONSTRUCTION PLAN - LEVEL 09	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
S1.110	CONSTRUCTION PLAN - LEVEL 10	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
S2.001	BUILDING ELEVATIONS - EAST AND NORTH	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
S2.002	BUILDING ELEVATIONS - WEST AND SOUTH	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS

BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



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Date	Description
A 07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
146 Navarro Repositioning CD 75%
Project Number
122.0043.000
Description
SHEET INDEX / PROJECT INFORMATION
Scale

G0.001



## ABBREVIATIONS

A		LB	POUND
ACCESS	ACCESSORY	LT	LIGHT
ACOUS	ACOUSTIC(AL)	LVLG	LEVELING
AFF	ABOVE FINISHED FLOOR	LVT	LOUVER
AL	ALUMINUM	LP	LOW POINT
ALT	ALTERNATE		
ANNUNC	ANNUNCIATOR	M	
ANOD	ANODIZED	MAX	MAXIMUM
APPL	APPLIANCE	MFD	MANUFACTURED
ARCH	ARCHITECT(URAL)	MFR	MANUFACTURER
AUTO	AUTOMATIC	MECH	MECHANICAL
AVG	AVERAGE	MET	METAL
		MEMB	MEMBRANE
B		MEZZ	MEZZANINE
BLDG	BUILDING	MIN	MINIMUM
BOLL	BOLLARD	MISC	MISCELLANEOUS
BD	BOARD	MLWK	MILLWORK
BLKG	BLOCKING	MOIST	MOISTURE
BRDLM	BROADLOOM	MOT	MOTOR(IZED)
BU	BUILT UP	MTD	MOUNTED
C		N	
CAB	CABINET	NIC	NOT IN CONTRCT
CPT	CARPET	NO	NUMBER
CEM	CEMENT(TIOUS)	NTS	NOT TO SCALE
CER	CERAMIC		
CLG	CEILING	O	
COATG	COATING	ORNA	ORNAMENTAL
COILG	COILING	OVFL	OVERFLOW
CONC	CONCRETE	OVDH	OVERHEAD
CONSTR	CONSTRUCTION	OPNG	OPENING(S)
CONT	CONTINUOUS(ATION)	OPR	OPERABLE
CONTR	CONTRACT(OR)	ORD	OVERFLOW ROOF DRAIN
COV	COVER		
CMP	CONCRETE MASONRY UNIT	P	
CIP	CAST-IN-PLACE	PTN	PARTITION
		PBD	PARTICLE BOARD
D		PNL	PANEL
DBL	DOUBLE	POLYST	POLYSTYRENE
DEPT	DEPARTMENT	PORT	PORTABLE
DES	DESIGN(ED)	PREFIN	PREFINISHED
DET	DETAIL	PREFAB	PREFABRICATED
DF	DRINKING FOUNTAIN	PLAM	PLASTIC LAMINATE
DIA	DIAMETER	PLAS	PLASTER
DIFF	DIFFUSER	PLSTC	PLASTIC
DIM	DIMENSION	PLYWD	PLYWOOD
DISP	DISPENSER	PRTECN	PROTECTION
DIV	DIVISION		
DN	DOWN	R	
DWG	DRAWER	RDR	READER
		RECES	RECESSED
E		RECPT	RECEPTACLE
ELAST	ELASTOMERIC	REF	REFER(ENCE)
ELEC	ELECTRICAL	REFL	REFLECTED
EMBED	EMBEDD(ED)(ING)	REFR	REFRIGERATOR
ENGR	ENGINEER(ED)	REQD	REQUIRED
EQ	EQUAL	RESIS	RESIST(ANT)(IVE)
EQUIP	EQUIPMENT	REINF	REINFORCED(D)(ING)(MENT)
EXIST	EXISTING	RESIL	RESILIENT
EXP JT	EXPANSION JOINT	RFG	ROOFING
EXPS	EXPOSED(D)	RM	ROOM
EXT	EXTERIOR	RO	ROUGH OPENING
		RD	ROOF DRAIN
F		RDL	ROOF DRAIN LEADER
FAB	FABRICATION		
FD	FLOOR DRAIN	S	
FE	FIRE EXTINGUISHER	SCR	SCRIBE
FE&C	FIRE EXTINGUISHER AND CABINET	SECUR	SECURITY
FINISH		SF	SQUARE FEET
FLDG	FOLDING	SG	SINGLE
FR	FIRE RAT(ING)(ED)	SIM	SIMILAR
FRMG	FRAMING	SST	STAINLESS STEEL
FXD	FIXED	STD	STANDARD
FXTR	FIXTURE	STL	STEEL
FLR	FLOOR(ING)	STRFR	STOREFRONT
FURN	FURNITURE	STRUCT	STRUCTURAL
		SURF	SURFACE
G		SUSP	SUSPENDED
GA	GAUGE	SYS	SYSTEM(S)
GFR	GLASS FIBER REINFORCED CONCRETE	SCH	SCHEDULE
GFRG	GLASS FIBER REINFORCED GYPSUM		
GFRP	GLAS FIBER REINFORCED PLASTER	T	
GL	GLASS	THK	THICK
GYP	GYPSUM	TLT	TOILET
		TRAF	TRAFFIC
H		TRANS	TRANSPARENT
HDWD	HARDWOOD	TRTD	TREATED
HDWE	HARDWARE	T&G	TONGUE AND GROOVE
HM	HOLLOW METAL	TYP	TYPICAL
HORIZ	HORIZONTAL		
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	U	
HP	HIGH POINT	UNDRLAY	UNDERLAYMENT
		UTIL	UTILITY
I		UNO	UNLESS NOTED OTHERWISE
INFO	INFORMATION		
INSUL	INSULATION	V	
INT	INTERIOR	VEH	VEHICLE
INFILTR	INFILTRATION	VERT	VERTICAL
		VIF	VERIFY IN FIELD
J			
JAN	JANITOR	W	WITH
		WC	WATER CLOSET
K		WD	WOOD
KIT	KITCHEN	WDW	WINDOW
		W/O	WITHOUT
L		WT	WEIGHT
LAV	LAVATORY	WTRPRF	WATERPROOFING

## GRAPHIC SYMBOLS

### REFLECTED CLG

	ACOUS CLG AND GRID
	CLG HEIGHT CHANGE
	FIN CLG HEIGHT SYMBOL
	GRID STARTPOINT SYMBOL
	CLG FINISH TAG
	MOTION SENSOR
	CLG MTD SPEAKER
	CLG MTD CAMERA
	CLG MTD SPRINKLER HEAD
	CLG MTD SMOKE DETECTOR
	CLG MTD STROBE LT
	CLG MTD EXIT SIGNS
	WALL MTD EXIT SIGNS - PARALLEL
	WALL MTD EXIT SIGNS - PERPENDICULAR
	E DENOTES EXISTING TO REMAIN
	R DENOTES EXIST TO BE RELOCATED
	ACCESS DOOR

### LIGHT FIXTURES

	LIGHT FIXTURE
	LIGHT FIXTURE / EMERGENCY CIRCUIT
	EXIST LIGHT FIXTURE TO BE REMOVED
	UNDER CABINET LIGHT FIXTURE
	STRIP FIXTURE
	PENDANT FIXTURE
	SUSPENDED
	RECESS ADJUSTABLE DOWN LIGHT
	RECESS WALL WASHER
	TRACK LIGHTING
	SURFACE MTD LIGHT FIXTURE
	WALL SCOCNE
	LIGHT SWITCH
	DIMMER SWITCH

### MECHANICAL FIXTURE

	RETURN AIR
	SUPPLY AIR
	CIRCULAR DIFFUSER
	LINEAR DIFFUSER
	EXHAUST FAN

### WALL MTD DEVICES

	EQUIP TAG (REFER TO EQUIP SCHEDULE)
	WALL MTD FIRE ALARM STROBE
	FIRE ALARM PULL
	FIRE WARDEN STATION
	THERMOSTAT
	CABLE TV RECPT
	AV RECPT
	AV TROUGH
	ELECTRICAL JUNCTION BOX
	VOICE/DATA JUNCTION BOX
	SYS WORKSTATION PANEL POWER INFEEED
	SYS WORKSTATION PANEL VOICE/DATA INFEEED
	CONDUIT STUB-OUT POWER
	CONDUIT STUB-OUT VOICE AND DATA
	CONDUIT STUB-OUT AV
	PLUG MOLD

### SECURITY DEVICES

	CAMERA
	CARD READER
	ELECTRIC DOOR BELL PUSH
	ELECTRIC DOOR BELL
	INTERCOM
	REMOTE DOOR RELEASE BUTTON
	MOTION SENSOR
	INTRUSION ALARM
	ELECTRIC DOOR HINGE
	ELECTRICAL DOOR HOLD OPEN
	ELECTRICAL DOOR RELEASE
	ELECTRICAL DOOR MONITOR CONTACT
	DOUBLE DOOR MONITOR CONTACT
	ELECTRIC LOCKSET
	ELECTRIC KEY SWITCH
	ELECTRIC STRIKE
	MAGNETIC LOCKSET
	PANIC BUTTON

### POWER & COMM.

#### LEGEND OF COMMON SYMBOL MODIFIERS

	SURF FLR MTD, POKE THRU DEVICES
	FURN SYS MTD DEVICES
	FLUSH FLR MTD DEVICES
	FLUSH FLR MTD, POKE THRU, DEVICES
	SURF FLR MTD DEVICES

#### LEGEND OF COMMON SYMBOLS

	SINGLE RECPT
	DUPLEX RECPT
	QUADRAPLEX RECPT
	COMBINATION DUPLEX & VOICE/DATA RECPT
	COMBINATION QUADRAPLEX & VOICE/DATA RECPTS
	COMBINATION DUPLEX, AUDIO VISUAL AND VOICE/DATA RECPTS
	COMBINATION QUADRAPLEX, AV & VOICE/DATA RECPTS
	VOICE/DATA RECPT
	DATA RECPT
	VOICE RECPT
	AV RECPT
	SYS WORKSTATION PANEL POWER INFEEED
	SYS WORKSTATION PANEL VOICE INFEEED
	SINGLE RECPT
	DUPLEX RECPT
	QUADRAPLEX RECPT
	VOICE/DATA RECPT
	DATA RECPT
	VOICE RECPT

	FURN SYSTEM ELECTRIC PIGTAIL
	FURN MTD, POWER POLE
	SINGLE RECPT
	DUPLEX RECPT
	QUADRAPLEX RECEPT
	COMBINATION DUPLEX & VOICE/DATA RECPT
	COMBINATION QUADRAPLEX & VOICE/DATA RECPTS
	COMBINATION DUPLEX, AUDIO VISUAL AND VOICE/DATA RECPTS
	COMBINATION QUADRAPLEX, AV & VOICE/DATA RECPTS
	COMBINATION POWER, VOICE/DATA
	RAISED FLR BOX, COMBINATION POWER, VOICE/DATA, AV
	RAISED FLR BOX, AV
	CONDUIT STUB UP, AV
	CONDUIT STUB UP, POWER
	CONDUIT STUB UP, VOICE/DATA

### SECTION INDICATIONS

	ACOUSTICAL CEILING TILE
	ALUMINUM
	BRICK
	CARPET
	CONCRETE
	CONCRETE MASONRY UNIT
	CUT STONE
	EARTH
	FABRIC WRAPPED PANEL
	GLASS
	GRAVEL
	GYPSUM PLASTER
	INSULATION (LOOSE OR BATT)
	INSULATION (RIGID)
	METAL
	PLASTIC
	PLYWOOD
	PRE-CAST PANELS
	SAND OR GROUT
	STONE
	WOOD (FINISHED)
	WOOD (CONTINUOUS MEMBER)
	WOOD (INTERRUPTED MEMBER)

### ELEVATION INDICATION

	GLASS SYMBOL
	MASONRY COURSING
	WOOD VENEER
	STONE

## GENERAL NOTES

- A COMPLY WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, ORDERS, RULES, AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- B OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK EXCEPT AS PROVIDED OTHERWISE IN THE SPECIFICATIONS OR OWNER CONTRACTOR AGREEMENT.
- C REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- D COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.
- E OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- F MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH OWNER AND/OR PROPERTY MANAGER TO ENSURE SECURITY.
- G MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH APPLICABLE CODES AND ORDINANCES.
- H DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.

### WALL MOUNTED LIFE SAFETY EQUIPMENT AND DEVICES

	FIRE WARDEN STATION SYMBOL
	WALL MOUNTED FIRE ALARM STROBE SYMBOL
	FIRE ALARM PULL SYMBOL
	WALL MOUNTED, FIRE EXTINGUISHER CABINET
	WALL MOUNTED FIRE EXTINGUISHER
	WALL MOUNTED FIRE HOSE CABINET
	WALL MOUNTED FIRE VALVE CABINET

### KEYNOTE DESCRIPTION

	PROJECT MANUAL SPECIFICATION REFERENCE
	FOR INTERNAL ARCHITECTURAL REFERENCE ONLY
	NOT FOR CONTRACTOR USE
	PRODUCT, MATERIAL, SYSTEM DESCRIPTION

### FINISH

	WALL FINISH TAG BASE FINISH TAG
	WALL FINISH TAG
	SPECIAL FINISH TAG
	FLOOR FINISH TAG
	CEILING FINISH TAG
	CHANGE IN FLOOR FINISH

## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



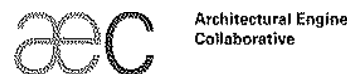
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San Antonio, Texas 78209  
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MP Studio Landscape  
Architecture  
201 Grovelton St  
San Antonio, Texas 78210  
Tel 210.314.5582

Date	Description
------	-------------

A	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
B	12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning

CD 75%

Project Number

122.0043.000

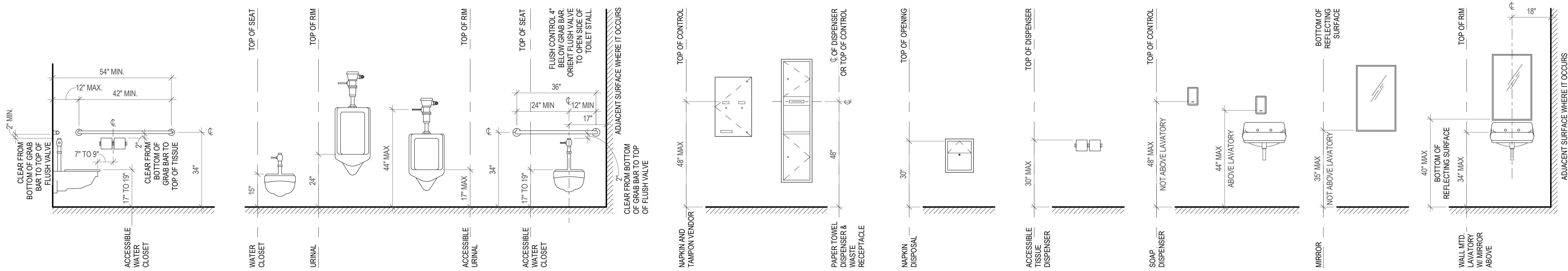
Description

ABBREVIATIONS/ GRAPHIC SYMBOLS

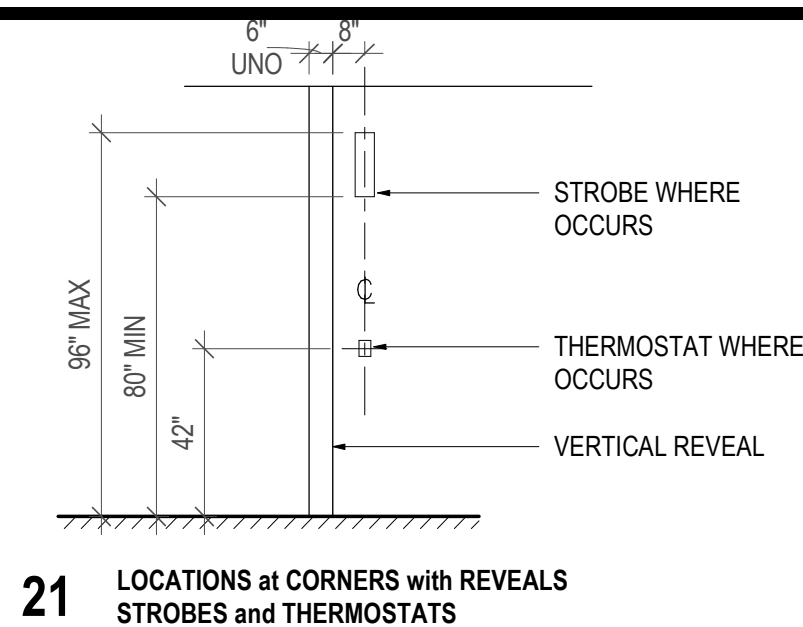
Scale

## G1.001

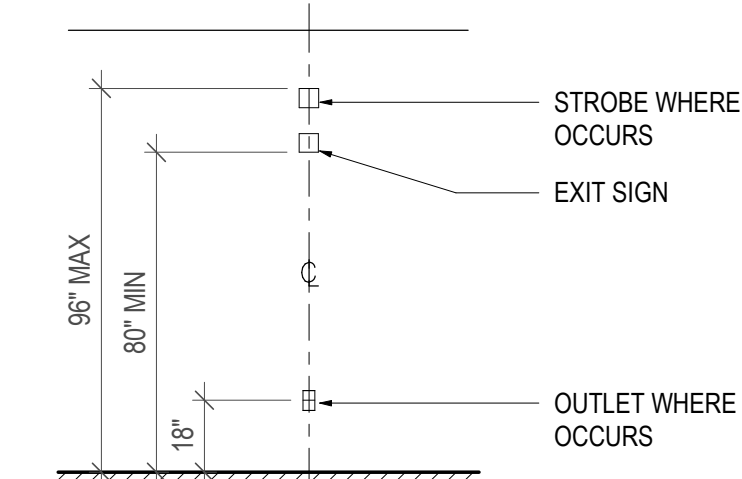
MOUNTING LOCATIONS



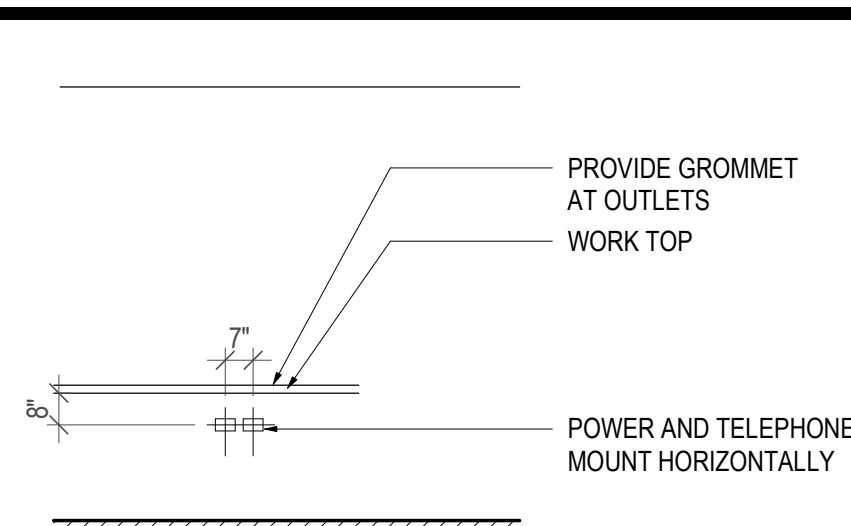
MOUNTING LOCATIONS - ADULT RESTROOMS



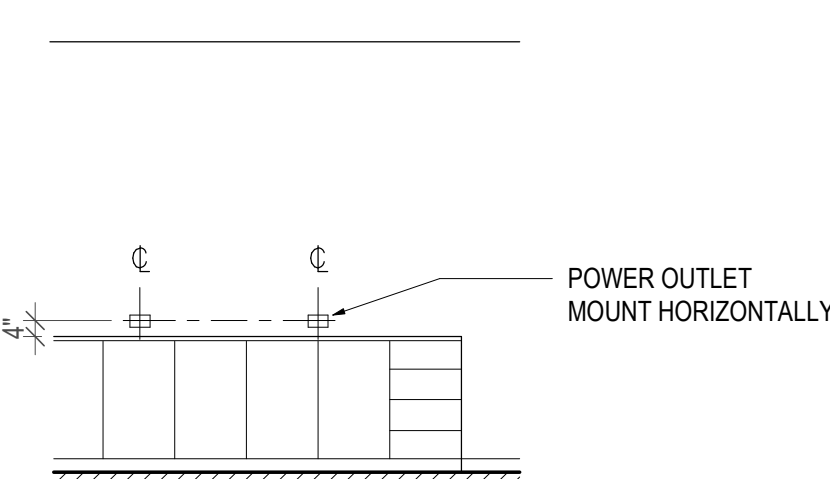
21 LOCATIONS at CORNERS with REVEALS STROBES and THERMOSTATS



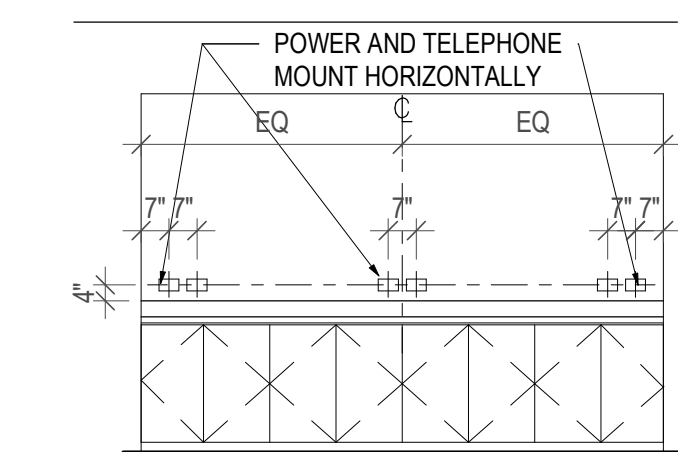
22 LOCATION FOR EXIT SIGNS (WALL MOUNTED)



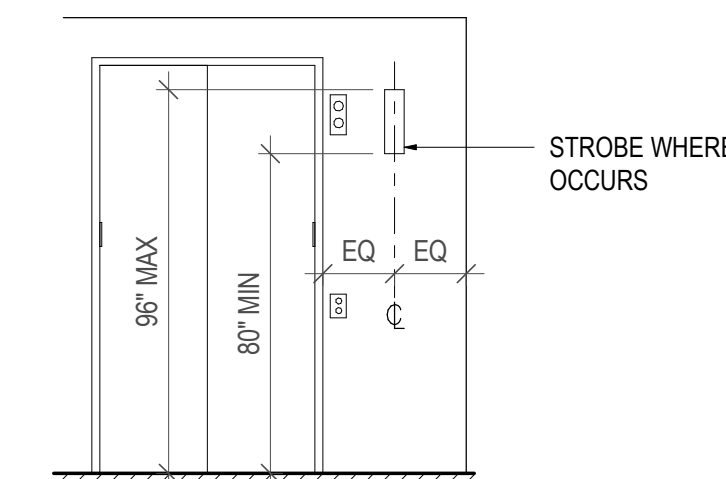
16 LOCATIONS at WORK SURFACES OUTLETS



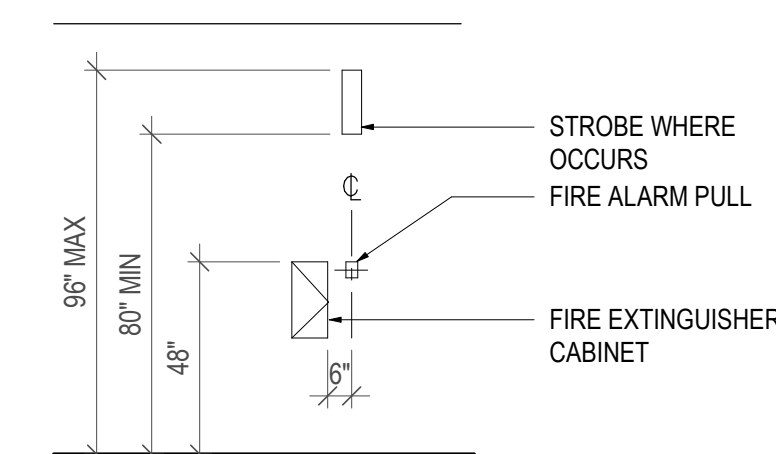
17 LOCATIONS at MILLWORK COUNTERS MAX 25\"/>



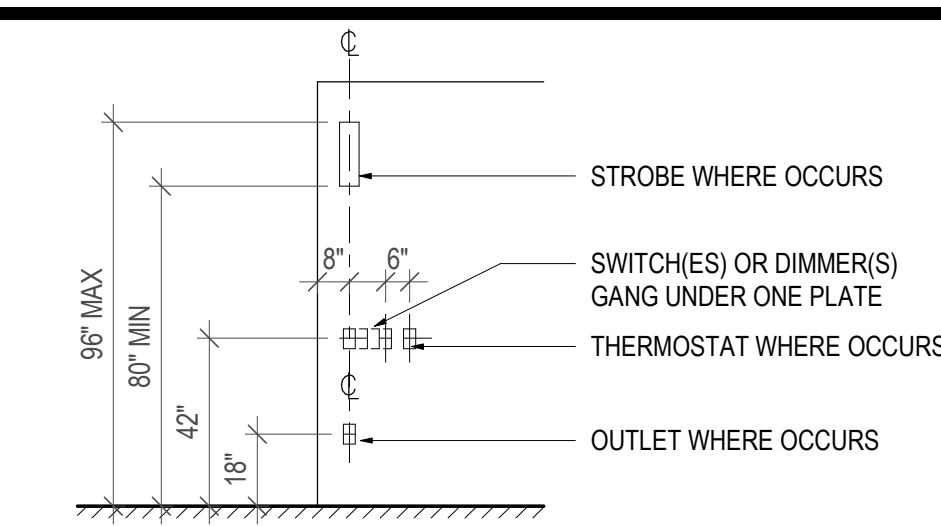
18 LOCATIONS at MILLWORK COUNTERS MAX 25\"/>



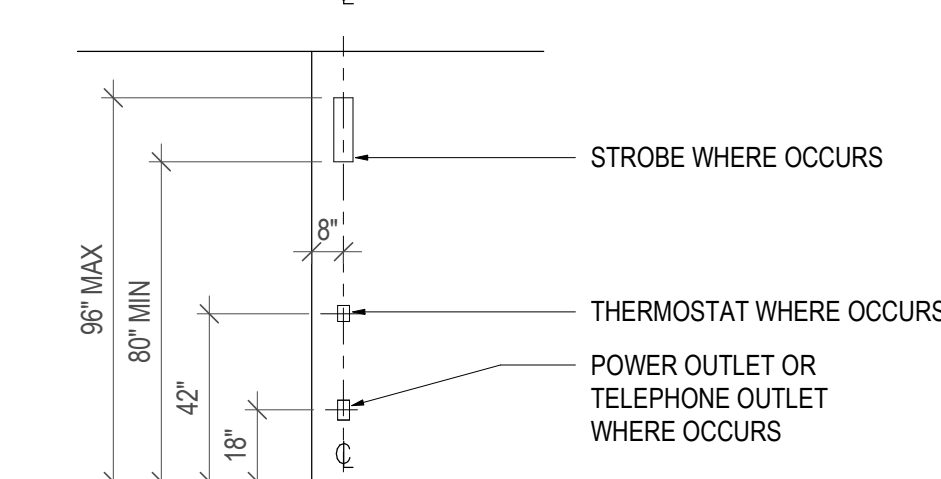
19 LOCATIONS at FREIGHT ELEVATORS STROBES



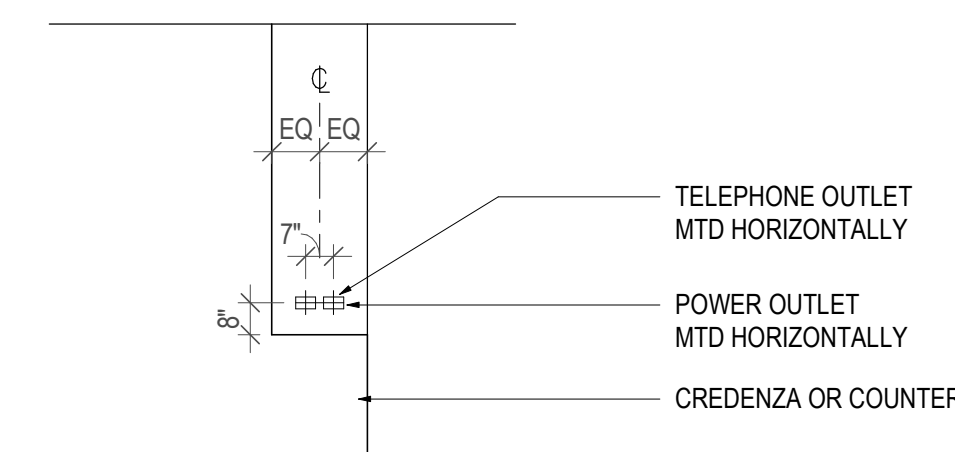
20 LOCATIONS at FIRE EXTINGUISHER CABINET STROBES and FIRE ALARM PULLS



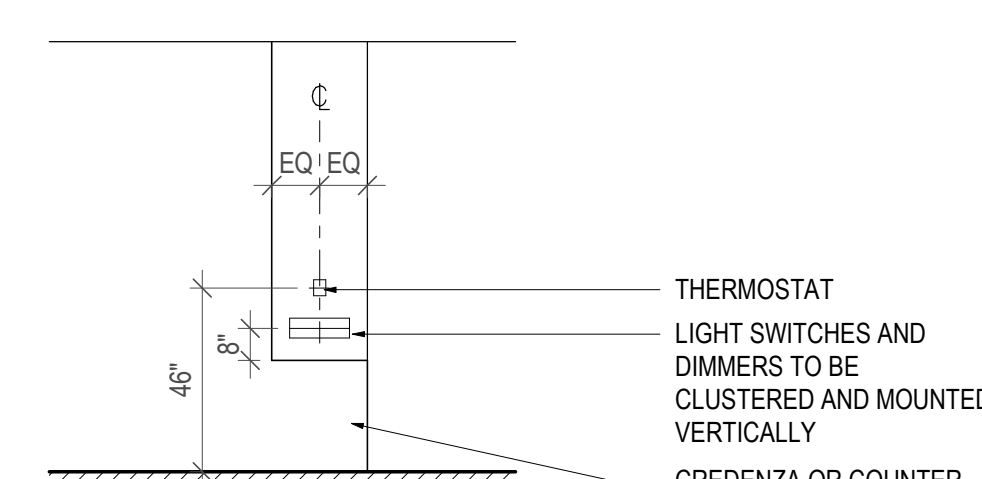
11 LOCATIONS at CORNERS SWITCHES, OUTLETS, STROBES and THERMOSTATS



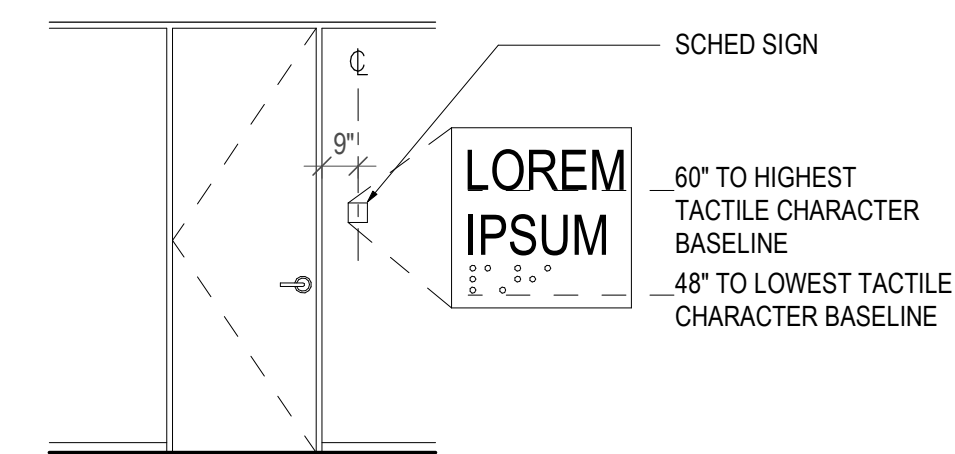
12 LOCATIONS at CORNERS OUTLETS, STROBES and THERMOSTATS



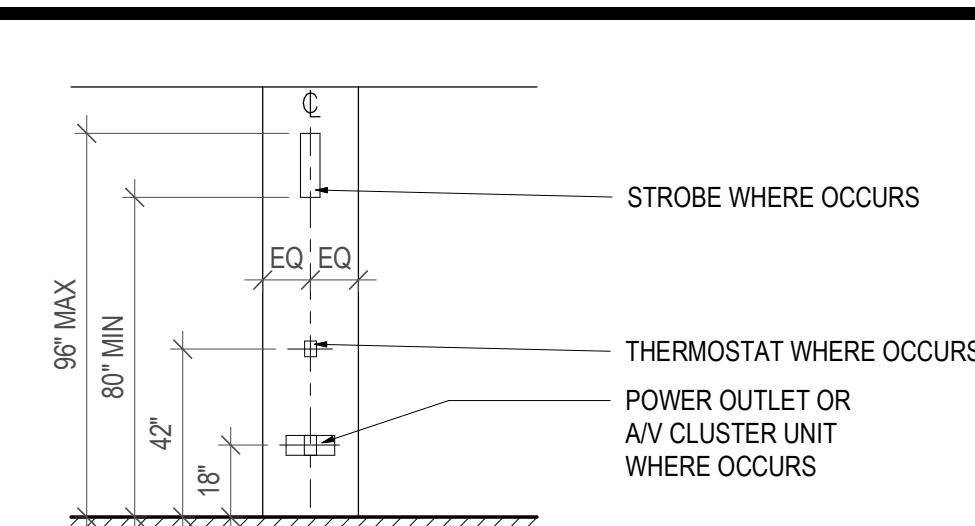
13 LOCATIONS at CREDENZAS or COUNTERS OUTLETS



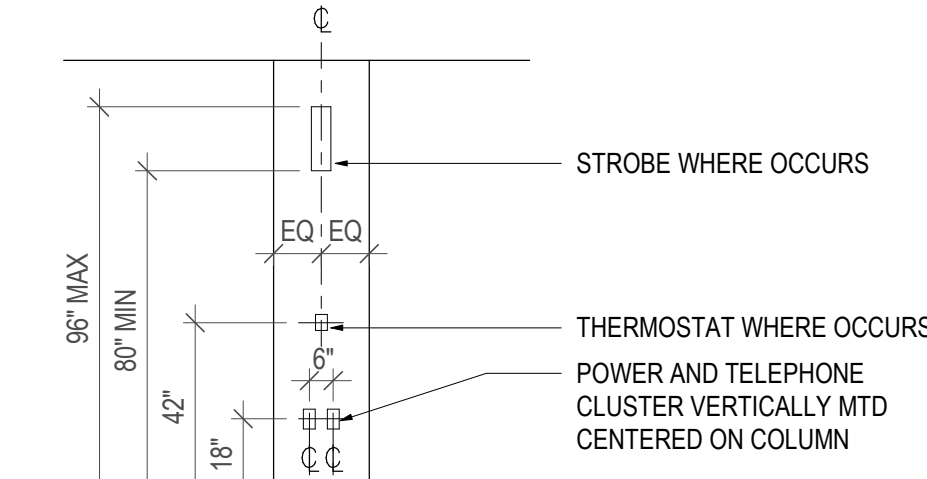
14 LOCATIONS at CREDENZAS or COUNTERS SWITCHES and THERMOSTATS



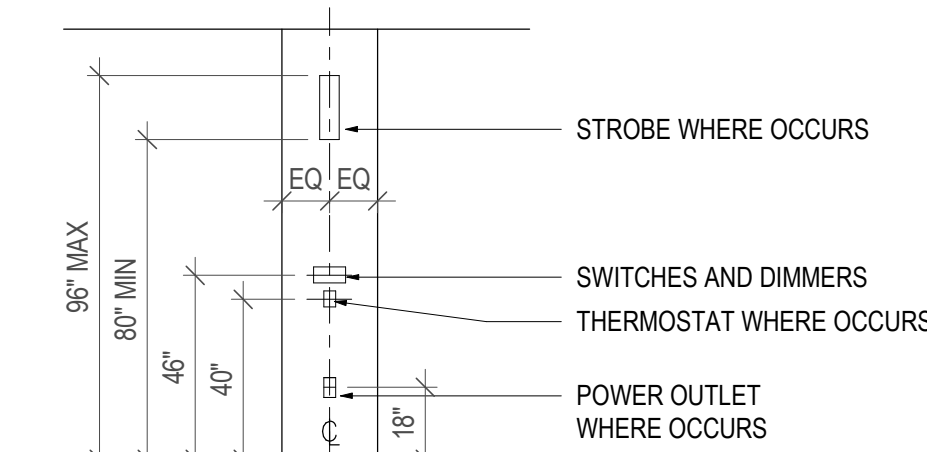
15 LOCATION FOR TYPICAL SIGNS



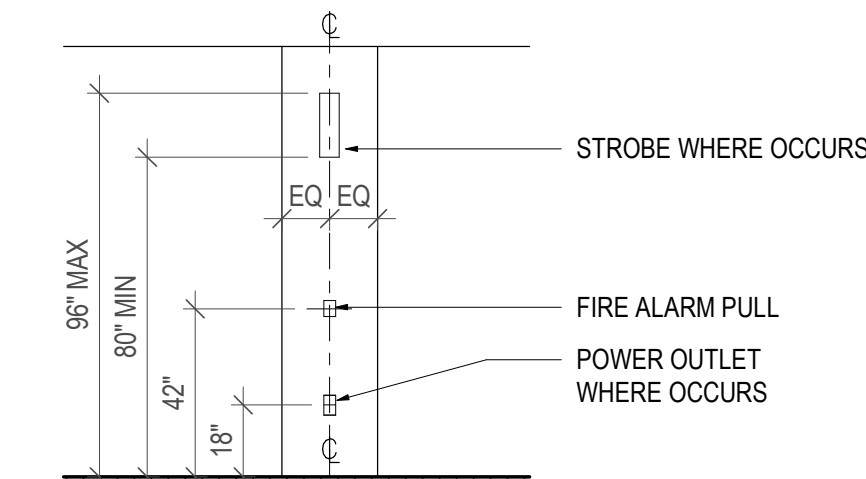
6 LOCATIONS at COLUMNS, BETWEEN DOORS, ETC. OUTLETS, STROBES and THERMOSTATS



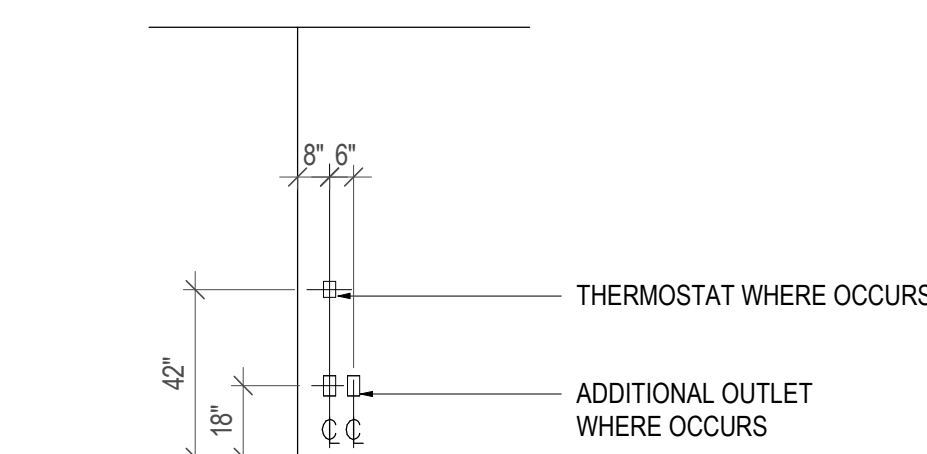
7 LOCATIONS at COLUMNS, BETWEEN DOORS, ETC. OUTLET GROUPS, STROBES and THERMOSTATS



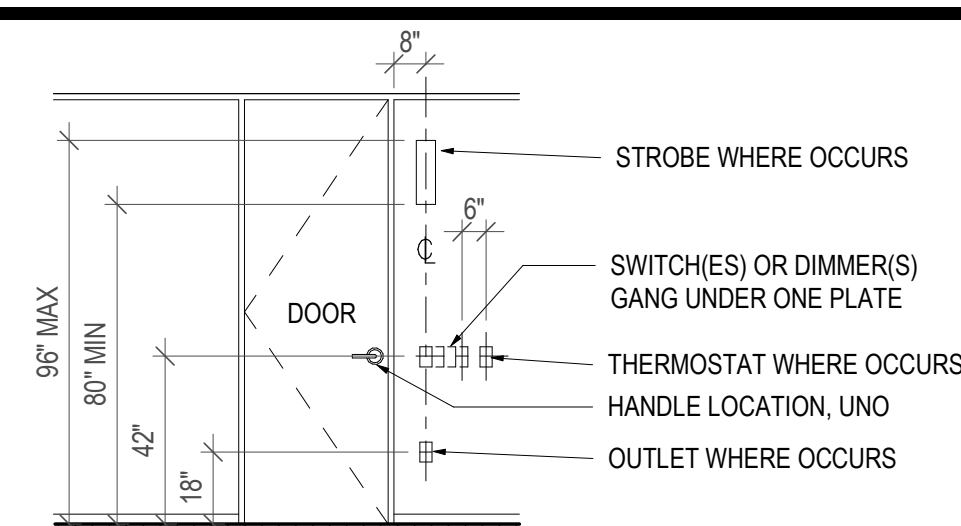
8 LOCATIONS at COLUMNS, BETWEEN DOORS, ETC. SWITCHES, STROBES and THERMOSTATS



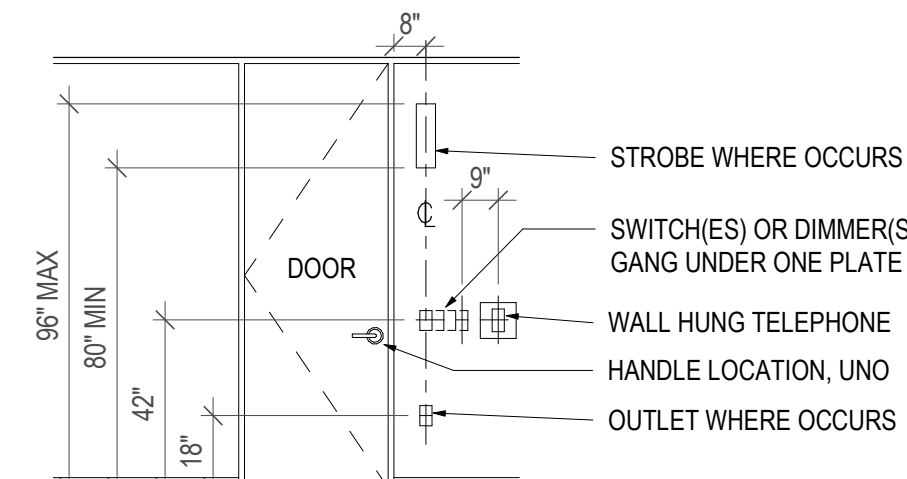
9 LOCATIONS at COLUMNS, BETWEEN DOORS, ETC. OUTLETS, STROBES and FIRE ALARM PULLS



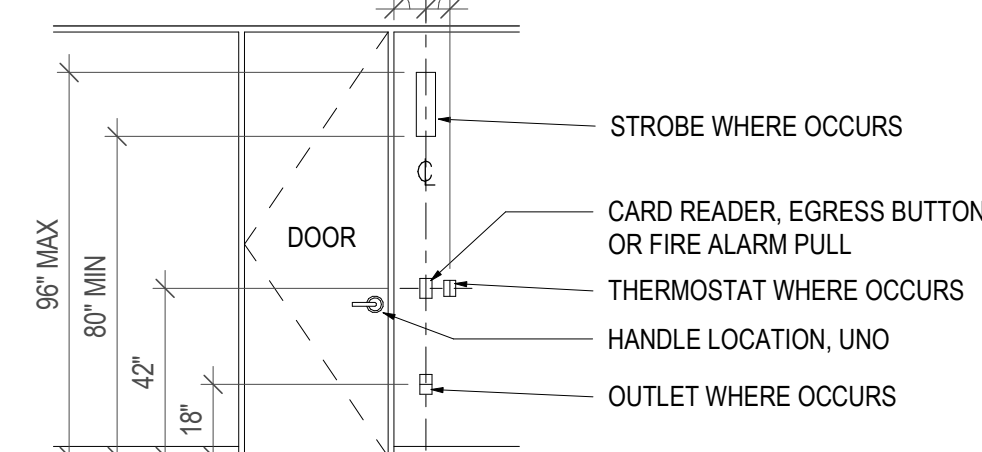
10 LOCATIONS at CORNERS OUTLETS



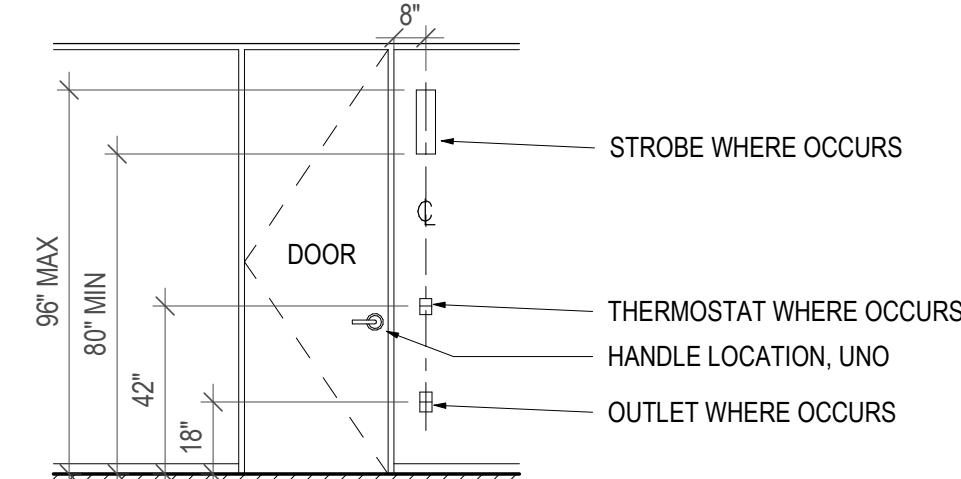
1 LOCATIONS at DOOR JAMBS SWITCH and THERMOSTAT



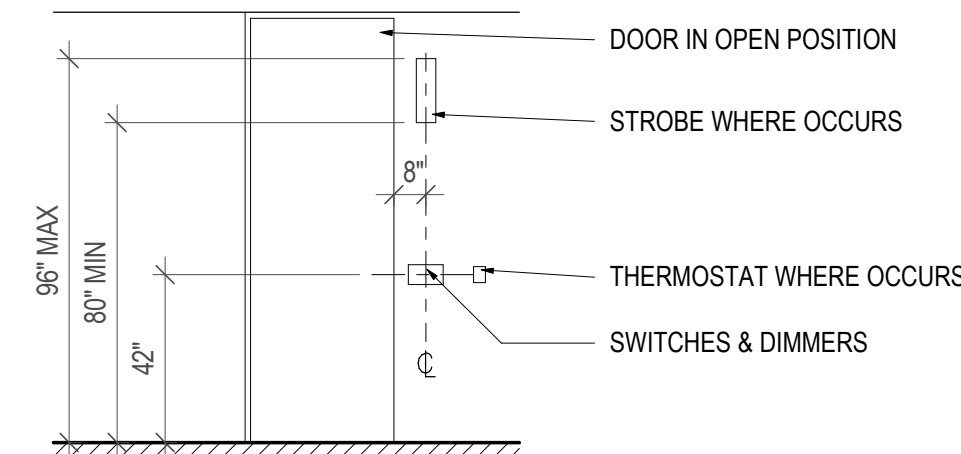
2 LOCATIONS at DOOR JAMBS SWITCH and TELEPHONE



3 LOCATIONS at DOOR JAMBS CARD READER, EGRESS BUTTON or FIRE ALARM PULL



4 LOCATIONS at DOOR JAMBS THERMOSTAT, STROBE or OUTLET



5 LOCATIONS at OPEN DOORS SWITCHES, STROBES and THERMOSTATS

BH PROPERTIES

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San Antonio, Texas 78209  
Tel 210.890.4200



MP Studio Landscape  
Architecture  
201 Grovelton St  
San Antonio, Texas 78210  
Tel 210.314.5582

Date	Description
A 07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

NOT FOR CONSTRUCTION

Project Name	146 Navarro Repositioning CD 75%
Project Number	122.0043.000
Description	MOUNTING LOCATIONS

Scale  
As indicated

G1.002



EGRESS ANALYSIS

OCCUPANT LOAD =	100
EGRESS WIDTH PER OCCUPANT SERVED: IBC TABLE 1005.1 STAIRWAYS OTHER EGRESS COMPONENTS	0.30" PER OCCUPANT SERVED 0.20" PER OCCUPANT SERVED
EGRESS WIDTH CALCULATIONS: STAIRWAY EGRESS WIDTH REQUIRED = STAIRWAY EGRESS WIDTH PROVIDED = OTHER EGRESS COMPONENT (DOORS) WIDTH REQUIRED = OTHER EGRESS COMPONENT (DOORS) WIDTH PROVIDED = OTHER EGRESS COMPONENT (CORRIDORS) WIDTH REQUIRED = OTHER EGRESS COMPONENT (CORRIDORS) WIDTH PROVIDED =	30"  20" ?" 20"
EGRESS ACCESS TRAVEL DISTANCE: IBC TABLE 1016.1 MAXIMUM EXIT ACCESS TRAVEL DISTANCE ALLOWED = MAXIMUM EXIT ACCESS TRAVEL DISTANCE PROVIDED = MIN. EXIT ACCESS DOORWAY SEPARATION DISTANCE ALLOWED = EXIT ACCESS DOORWAY SEPARATION DISTANCE PROVIDED =	
PORTABLE FIRE EXTINGUISHERS: WHERE REQUIRED PER IFC SECTION 906 AND TABLE 906.1  MAXIMUM FLOOR AREA PER UNIT OF A ALLOWED = MAXIMUM FLOOR AREA PER UNIT OF A PROVIDED = MAXIMUM FLOOR AREA FOR EXTINGUISHER ALLOWED = MAXIMUM FLOOR AREA FOR EXTINGUISHER PROVIDED = MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER ALLOWED = MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER PROVIDED =	

- EXIT OR EXIT ACCESS DOORWAYS REQUIRED (IBC SECTION 1015.1 AND TABLE 1015.1):
- TWO EXITS OR EXIT ACCESS DOORWAYS FROM ANY SPACE SHALL BE PROVIDED WHERE ONE OF THE FOLLOWING CONDITIONS EXISTS:
1. THE OCCUPANT LOAD OF THE SPACE EXCEEDS THE FOLLOWING:  
OCCUPANCY GROUP A = 50 OCCUPANTS. (50 X 15 = 750 SF)  
OCCUPANCY GROUP B = 50 OCCUPANTS. (50 X 100 = 5,000 SF)
  2. THE COMMON PATH OF EGRESS TRAVEL EXCEEDS THE LIMITATIONS OF SECTION 1014.3.

MINIMUM PLUMBING FACILITIES

USE		WATERCLOSETS		URINALS	LAVATORIES		SHOWERS/ TUBS	DRINKING FOUNTAINS	
		MALE	FEMALE		MALE	FEMALE		REG	ACCESSIBLE
LEVEL 01	EXISTING	0	0	0	0	0	0	0	0
LEVEL 01	NEW	1	1	0	1	1	0	0	0
LEVEL 01	REQUIRED	0	0	0	0	0	0	0	0
LEVEL 07	EXISTING	0	0	0	0	0	0	0	0
LEVEL 07	NEW	1	1	0	1	1	2		1
LEVEL 07	REQUIRED								1
LEVEL 08	EXISTING	0	0	0	0	0	0	0	0
LEVEL 09	NEW	3	6	2	4	5	0	1	1
LEVEL 09	REQUIRED	5	5	-	4	4	0	1	1
LEVEL 09	EXISTING	5	5	2	2	2	0	0	0
LEVEL 09	NEW	3	6	2	4	5	0	1	1
LEVEL 09	REQUIRED	5	5	-	4	4	0	1	1
LEVEL 10	EXISTING	5	5	2	2	2	0	0	0
LEVEL 10	NEW	3	6	2	4	5	0	1	1
LEVEL 10	REQUIRED	5	5	-	4	4	0	1	1

ALLOWABLE BUILDING HEIGHT AND AREA

BUILDING HEIGHT: 140  
NUMBER OF STORIES: 10

CONSTRUCTION TYPE: ☒ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A  
☐ I-B ☐ II-B ☐ III-B ☐ V-B

FIRE-RESISTANCE RATING REQUIREMENTS

BUILDING ELEMENT	EXISTING
STRUCTURAL FRAME, INCLUDING COLUMNS, GIRDEES AND TRUSSES	3 HR
BEARING WALLS - EXTERIOR	3 HR
NONBEARING WALLS - EXTERIOR	TABLE 602
BEARING WALLS - INTERIOR	3 HR
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBER	2 HR
NONBEARING WALLS - INTERIOR	0
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBER	1.5 HR

\* Indicate section number permitting reduction  
\*\* 0-4 hours or N/A - Not applicable

FIRE-RESISTANCE RATED CONSTRUCTION

BUILDING ELEMENT	Hour Rating
SHAFT ENCLOSURES - EXIT (S713)	2 HR
SHAFT ENCLOSURES - OTHER (S713)	2 HR
CORRIDOR SEPARATION (T1020.1)	0
OCCUPANCY SEPARATION (T508.4)	N/A
PARTYFIRE WALL SEPARATION (T706.4)	3 HR
SMOKE BARRIER SEPARATION (S710)	1 HR
TENANT SEPARATION (S402.7.2)	N/A

INTERIOR FINISHES

WALL AND CEILING FINISHES  
CLASS A: FLAME SPREAD 0-25; SMOKE-DEVELOPED 0-450  
CLASS B: FLAME SPREAD 26-75; SMOKE-DEVELOPED 0-450  
CLASS C: FLAME SPREAD 76-200; SMOKE-DEVELOPED 0-450

GROUP  
EXIT ENCL/EXIT PASSAGEWAYS  
CORRIDORS  
ROOMS AND ENCL SPACES

CLASS  
B  
B, C  
C

OCCUPANCY CLASSIFICATION

OCCUPANCY

ASSEMBLY ☐ A-1 ☐ A-2 ☒ A-3 ☐ A-4 ☐ A-5

BUSINESS ☒

EDUCATIONAL ☐

FACTORY ☐ F-1 MODERATE ☐ F-2 LOW

HAZARDOUS ☐ H-1 DETONATE ☐ H-2 DEFLAGRATE ☐ H-3 COMBUST ☐ H-4 HEALTH ☐ H-5 HPM

INSTITUTIONAL ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4

I-3 CONDITION ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5

MERCANTILE ☐

RESIDENTIAL ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4

STORAGE ☐ S-1 MODERATE ☐ S-2 LOW ☐ HIGH-PILED

☐ PARKING GARAGE ☐ OPEN ☐ ENCLOSED ☐ REPAIR GARAGE

UTILITY AND MISC. ☐

ACCESSORY OCCUPANCIES

ASSEMBLY ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5

BUSINESS ☐

EDUCATIONAL ☐

FACTORY ☐ F-1 MODERATE ☐ F-2 LOW

HAZARDOUS ☐ H-1 DETONATE ☐ H-2 DEFLAGRATE ☐ H-3 COMBUST ☐ H-4 HEALTH ☐ H-5 HPM

INSTITUTIONAL ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4

I-3 CONDITION ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5

MERCANTILE ☐

RESIDENTIAL ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4

STORAGE ☐ S-1 MODERATE ☐ S-2 LOW ☐ HIGH-PILED

☐ PARKING GARAGE ☐ OPEN ☐ ENCLOSED ☐ REPAIR GARAGE

UTILITY AND MISC. ☐

- INCIDENTAL USES ( TABLE 508.2.5)
- ☐ FURNACE ROOM WHERE AND PIECE OF EQUIPMENT IS OVER 400.00 BTU PER HOUR INPUT
  - ☐ ROOMS WITH BOILERS WHERE THE LARGEST PIECE OF EQUIPMENT IS OVER 15 PSI AND 10 HORSEPOWER
  - ☐ REFRIGERANT MACHINE ROOM (T508.2.5 SEPARATION: 1 HR OR PROVIDE AUTOMATIC SPRINKLER SYSTEM)
  - ☐ HYDROGEN CUTOFF ROOMS, NOT CLASSIFIED AS GROUP H
  - ☐ INCINERATOR ROOMS
  - ☐ PAINT SHOPS, NOT CLASSIFIED AS GROUP H, LOCATED IN OCCUPANCIES OTHER THAN GROUP F
  - ☐ LABORATORIES AND VOCATIONAL SHOPS, NOT CLASSIFIED AS GROUP H, LOCATED IN A GROUP E OR I-2 OCC.
  - ☐ LAUNDRY ROOMS OVER 100 SQUARE FEET
  - ☐ GROUP I-3 CELLS EQUIPPED WITH PADDED SURFACES
  - ☐ GROUP I-2 WASTE AND LINEN COLLECTION ROOMS
  - ☐ WASTE AND LINEN COLLECTION ROOMS OVER 100 SQUARE FEET
  - ☐ STATIONARY STORAGE BATTERY SYSTEMS HAVING A LIQUID ELECTROLYTE CAPACITY OF MORE THAN 50 GALLONS, OR A LITHIUM-ION CAPACITY OF 1,00 POUNDS USED FOR FACILITY STANDBY POWER, EMERGENCY POWER OR UNINTERRUPTED POWER SUPPLIES (T508.2.5 SEPARATION: 1 HR)
  - ☐ ROOMS CONTAINING FIRE PUMPS (T508.2.5 SEPARATION: 1 HR AND PROVIDE AUTOMATIC SPRINKLER SYSTEM THROUGHOUT BUILDING)
  - ☐ GROUP I-2 STORAGE ROOMS OVER 100 SQUARE FEET
  - ☐ GROUP I-2 COMMERCIAL KITCHENS
  - ☐ GROUP I-2 LAUNDRIES EQUAL TO OR LESS THAN 100 SQUARE FEET
  - ☐ GROUP I-2 ROOMS OR SPACES THAT CONTAIN FUEL-FIRED HEATING EQUIPMENT

SPECIAL USES ☐ 402 ☐ 403 ☐ 404 ☐ 405 ☐ 406 ☐ 407 ☐ 408 ☐ 409 ☐ 410 ☐ 411 ☐ 412

☐ 413 ☐ 414 ☐ 415 ☐ 416 ☐ 417 ☐ 418 ☐ 419 ☐ 420 ☐ 421 ☐ 422 ☐ 423 ☐ 424 ☐ 425

☐ 426 ☐ 427

SPECIAL PROVISIONS: ☐ 509.2 ☐ 509.3 ☐ 509.4 ☐ 509.5 ☐ 509.6 ☐ 509.7 ☐ 509.8 ☐ 509.9

MIXED OCCUPANCY: ☐ NO ☐ YES SEPARATION: \_\_\_\_\_ HR EXCEPTION: \_\_\_\_\_

☐ INCIDENTAL USES SEPARATION (508.2.5) ☐ ACCESSORY OCCUPANCY (508.2) - A-3 CONFERENCE ROOMS  
THIS SEPARATION IS NOT EXEMPT AS A NON-SEPARATED USE (SEE EXCEPTIONS)

☒ NON-SEPARATED USE (508.3) - B AND FUTURE A-3

THE REQUIRED TYPE OF CONSTRUCTION FOR THE BUILDING SHALL BE DETERMINED BY APPLYING THE HEIGHT AND AREA LIMITATIONS FOR EACH OF THE APPLICABLE OCCUPANCIES TO THE ENTIRE BUILDING. THE MOST RESTRICTIVE TYPE OF CONSTRUCTION, SO DETERMINED, SHALL APPLY TO THE SEPARATED USE (508.4) - SEE BELOW FOR AREA CALCULATIONS

FOR EACH STORY, THE AREA OF THE OCCUPANCY SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE ACTUAL FLOOR AREA OF EACH USE DIVIDED BY THE ALLOWABLE FLOOR AREA FOR EACH USE SHALL NOT EXCEED 1. (508.4.2)

$$\frac{ACTUAL\ AREA\ OF\ OCCUPANCY\ A}{ALLOWABLE\ AREA\ OF\ OCCUPANCY\ A} + \frac{ACTUAL\ AREA\ OF\ OCCUPANCY\ B}{ALLOWABLE\ AREA\ OF\ OCCUPANCY\ B} \leq 1$$

$$\frac{ACTUAL = ?}{ALLOWABLE = ?} + \frac{ACTUAL = ?}{ALLOWABLE = ?} = ? \leq 1$$

PROJECT DESCRIPTION

A [fill in area] SF [choose one or all that apply and delete those not applicable. Remember to apply area to each. NEW CONSTRUCTION, DEMOLITION, ADDITION, REPAIR, REMODEL, FOUNDATION, OTHER] OF A [choose one or all that apply and delete those not applicable. RETAIL, RESTAURANT, OFFICE, WAREHOUSE, GARAGE, OTHER], [choose one FULLY SPRINKLERED, NOT SPRINKLERED] [choose one WITH, WITH NO] SITE IMPROVEMENTS. [If there is a change in occupancy for any portion, note it here, eg., CHANGE OF OCCUPANCY FROM GROUP B TO GROUP A OF THE REMODEL PORTION OF THIS PROJECT] [If project will be phased or if portions of this project are under a separate permit or if there is something germane to the construction, note it here]

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 08	32,499 SF
LEVEL 09	30,838 SF
LEVEL 10	31,517 SF
Grand total	94,814 SF

SPRINKLERS: ☐ NO ☒ YES ☐ PARTIAL

STANDPIPES: ☐ NO ☐ YES CLASS: ☐ I ☐ II ☐ III ☐ WET ☐ DRY

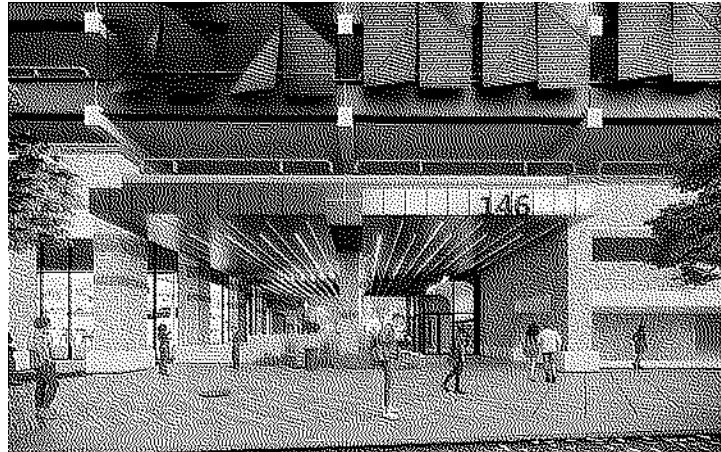
FIRE PROTECTION: APPROVED AUTOMATIC SPRINKLER SYSTEM PER NFPA 13 WITH MULTIPURPOSE DRY-CHEMICAL PORTABLE FIRE EXTINGUISHERS TYPE 2A 10BC, 5 LB. CAPACITY, SPACED AT 75'-0" TRAVEL DISTANCE AROUND THE FLOOR.

2018 IBC HIGH RISE CODE REQUIREMENTS

- 403.4.6 Fire command.  
A fire command center complying with Section 911 shall be provided in a location approved by the fire code official.
- 1009.3.2 Stairway width.  
Stairways shall have a clear width of 48 inches (1219 mm) minimum between handrails.
- 1025.1 Luminous Egress Path Markings General.  
Approved luminous egress path markings delineating the exit path shall be provided in high-rise buildings of Group A, B, E, I-1, M or R-1 occupancies in accordance with this section.

BH PROPERTIES

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MP Studio Landscape  
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San Antonio, Texas 78210  
Tel 210.314.5582

△	Date	Description
A	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
B	12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

NOT FOR CONSTRUCTION

Project Name  
146 Navarro Repositioning  
CD 75%

Project Number  
122.0043.000

Description  
CODE ANALYSIS

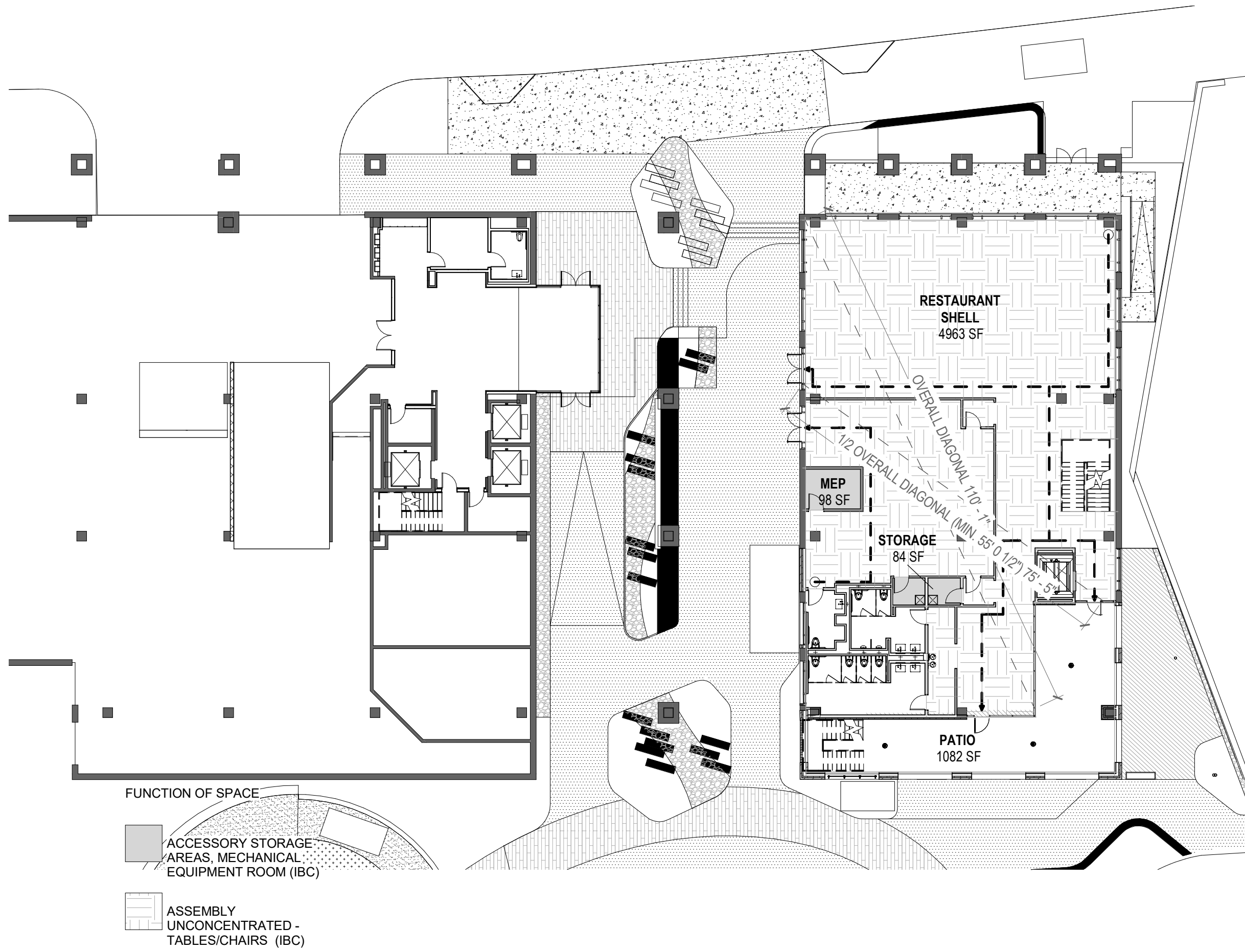
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G2.001



01 LIFE SAFETY PLAN - LEVEL 01

SCALE: 1" = 20'-0"



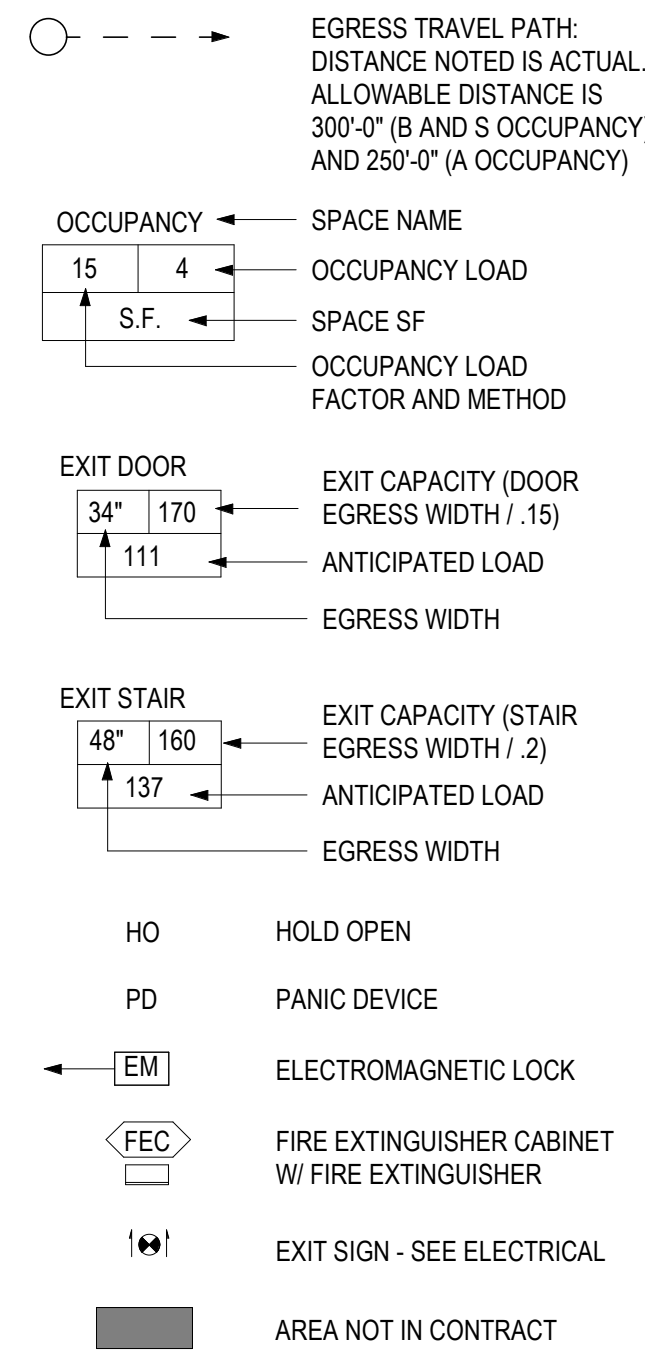
MAX. FLOOR AREA ALLOWANCE PER OCCUPANT

LEVEL 02 - OCCUPANCY TABULATION TABLE						
NAME	OCCUPANCY TYPE	AREA	SOFT PER OCCUPANT	OCCUPANT LOAD	WIDTH REQUIRED (SPRINKLER) OTHER (IN)   STAIRS (IN)	
MEP	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM (IBC)	223 SF	300	2	0.26	0.35
PATIO	ASSEMBLY UNCONCENTRATED - TABLES/CHAIRS (IBC)	1,081 SF	15	73	10.88	14.51
RESTAURANT SHELL	ASSEMBLY UNCONCENTRATED - TABLES/CHAIRS (IBC)	3,219 SF	15	215	32.27	43.02
		4,522 SF		289	43.41	57.88

LEVEL 02 - EGRESS PATHS

ROUTE ID	EGRESS LENGTH
L2-1	74' 5 3/4"

LIFE SAFETY LEGEND



GENERAL NOTES

- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A WITHIN 75-FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR, AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY AUTHORITY HAVING JURISDICTION.
- PROVIDE EXIT SIGN WITH 6" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS AND AS REQUIRED BY APPLICABLE CODES, AND ADDITIONAL SIGNS AS REQUIRED BY AUTHORITY HAVING JURISDICTION. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS AS REQUIRED. COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
- DOORS OPENING INTO REQUIRED 1-HOUR, FIRE-RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SMOKE OR DRAFT STOP ASSEMBLY HAVING A 20-MINUTE RATING AND SHALL BE SELF-CLOSING.
- 20-MINUTE DOOR JAMBS TO BE TIGHT-FITTING, SMOKE AND DRAFT CONTROLLED.
- STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS AND HAZARDOUS SUBSTANCES SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS.
- WOOD BLOCKING WHERE PERMITTED SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
- EXTEND OR MODIFY EXISTING FIRE/LIFE SAFETY SYSTEM AS REQUIRED TO PROVIDE AN APPROVED FIRE/LIFE SAFETY SYSTEM. SUBMIT PLANS TO AUTHORITY HAVING JURISDICTION WITH COMPLETE DESCRIPTION OF SEQUENCE OF OPERATION, AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
- EXTEND OR MODIFY EXISTING AUTOMATIC FIRE EXTINGUISHING SYSTEM AS REQUIRED TO PROVIDE AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM. SUBMIT PLANS TO AUTHORITY HAVING JURISDICTION AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
- AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR REMOTE STATION SERVICE OR A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION.

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Date	Description
12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

LIFE SAFETY PLAN - LEVELS 01-02

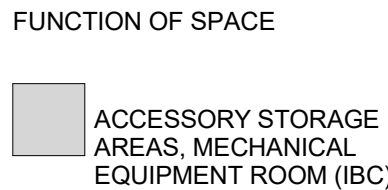
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1" = 20'-0"

G2.002

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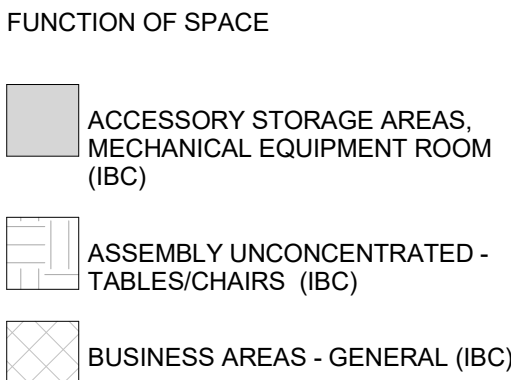




NAME	OCCUPANCY TYPE	AREA	SQFT PER OCCUPANT	OCCUPANT LOAD	WIDTH REQUIRED (SPRINKLER)	
					OTHER (IN)	STAIRS (IN)
BOH	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM (BC)	52 SF	300	1	0.1	0.13
BOH / MECH	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM (BC)	87 SF	300	1	0.12	0.16
STORAGE	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM (BC)	303 SF	300	2	0.23	0.3
		442 SF			0.45	0.59

ROUTE ID	EGRESS LENGTH
L7-1	83' 5 3/4"

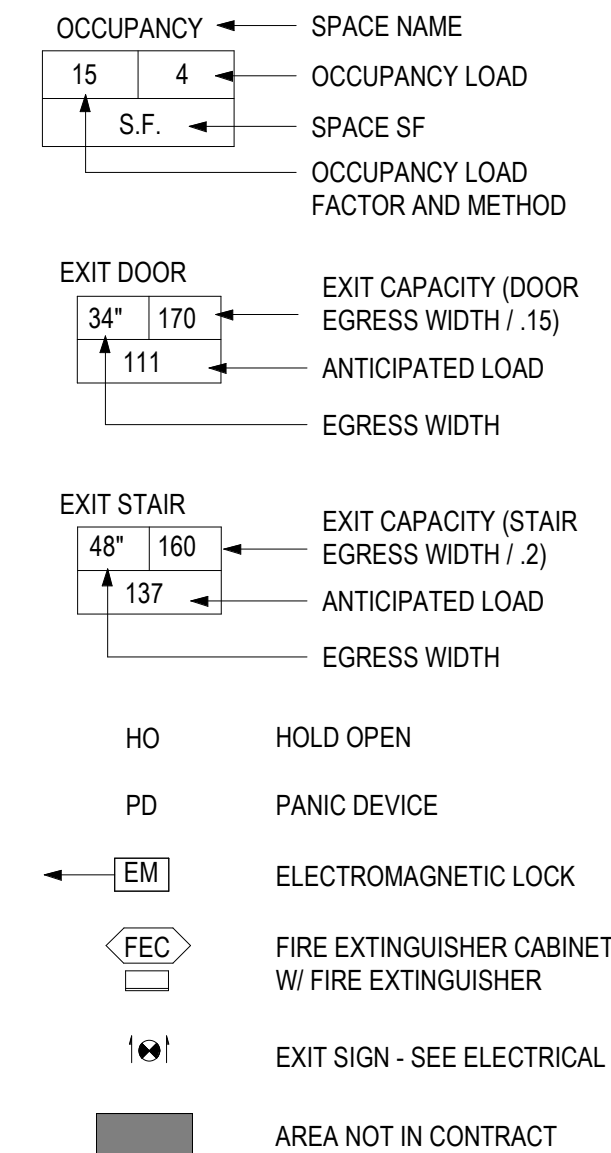
SCALE: 1" = 20'-0"



NAME	OCCUPANCY TYPE	AREA	SF PER OCCUPANT	OCCUPANT LOAD	WIDTH REQUIRED (SPRINKLER)	
					OTHER (IN)	STAIRS (IN)
BOH / MECH	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM (IBC)	1,471 SF	300	5	0.74	0.98
OFFICE SHELL	BUSINESS AREAS - GENERAL (IBC)	29,760 SF 31,231 SF	150	198 203	29.76 30.5	39.68 40.66

NAME	OCCUPANCY TYPE	AREA	SF PER OCCUPANT	OCCUPANT LOAD	WIDTH REQUIRED (SPRINKLER)	
					OTHER (IN)	STAIRS (IN)
EXTERIOR TERRACE - NORTH EAST	ASSEMBLY UNCONCENTRATED - TABLES/CHAIRS (IBC)	694 SF	15	46	6.94	9.25
EXTERIOR TERRACE - NORTH WEST	ASSEMBLY UNCONCENTRATED - TABLES/CHAIRS (IBC)	0 SF	15	0	0	0
EXTERIOR TERRACE - SOUTH	ASSEMBLY UNCONCENTRATED - TABLES/CHAIRS (IBC)	469 SF	15	31	4.69	6.26
TERRACE CIRCULATION	(none)	808 SF	0	0	0	0
TERRACE PLANTED AREA	(none)	1,404 SF	0	0	0	0
		3,375 SF		78	11.63	15.51

ROUTE ID	EGRESS LENGTH
L8-1	213' 8"



- A. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A WITHIN 75-FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR, AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY AUTHORITY HAVING JURISDICTION.
- B. PROVIDE EXIT SIGN WITH 6" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS AND AS REQUIRED BY APPLICABLE CODES, AND ADDITIONAL SIGNS AS REQUIRED BY AUTHORITY HAVING JURISDICTION. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS AS REQUIRED. COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
- C. DOORS OPENING INTO REQUIRED 1-HOUR, FIRE-RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SMOKE OR DRAFT STOP ASSEMBLY HAVING A 20-MINUTE RATING AND SHALL BE SELF-CLOSING.
- D. 20-MINUTE DOOR JAMBS TO BE TIGHT-FITTING, SMOKE AND DRAFT CONTROLLED.
- E. STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS AND HAZARDOUS SUBSTANCES SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS.
- F. WOOD BLOCKING WHERE PERMITTED SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
- G. EXTEND OR MODIFY EXISTING FIRE/LIFE SAFETY SYSTEM AS REQUIRED TO PROVIDE AN APPROVED FIRE/LIFE SAFETY SYSTEM. SUBMIT PLANS TO AUTHORITY HAVING JURISDICTION WITH COMPLETE DESCRIPTION OF SEQUENCE OF OPERATION, AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
- H. EXTEND OR MODIFY EXISTING AUTOMATIC FIRE EXTINGUISHING SYSTEM AS REQUIRED TO PROVIDE APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM. SUBMIT PLANS TO AUTHORITY HAVING JURISDICTION AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
- I. AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR REMOTE STATION SERVICE OR A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION.

△	Date	Description
B	12.03.2021	PROGRESS, PERMIT AND CD ISSUE

$$1'' = 20'-0''$$

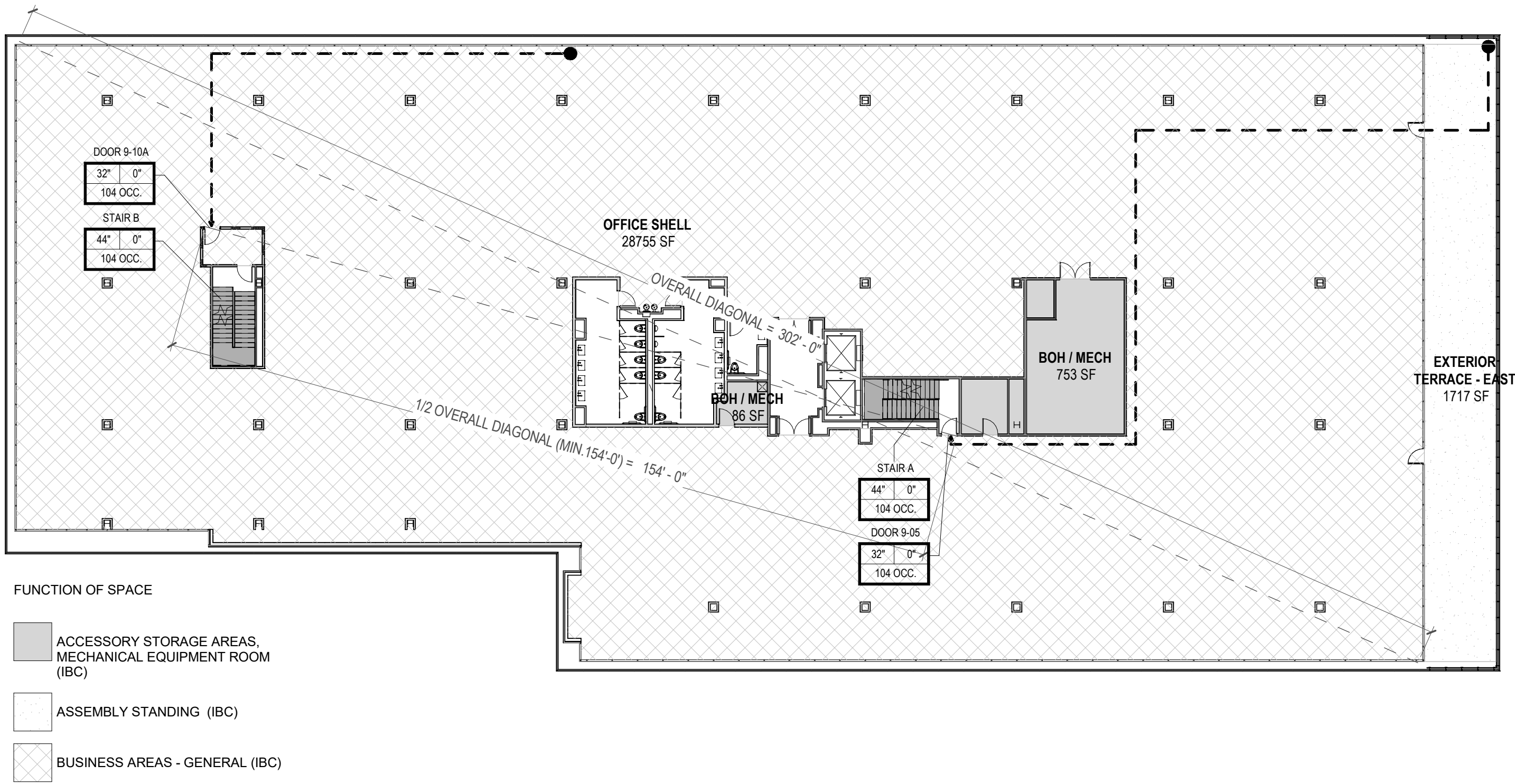
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01 LIFE SAFETY PLAN - LEVEL 09

SCALE: 1" = 20'-0"



MAX. FLOOR AREA ALLOWANCE PER OCCUPANT

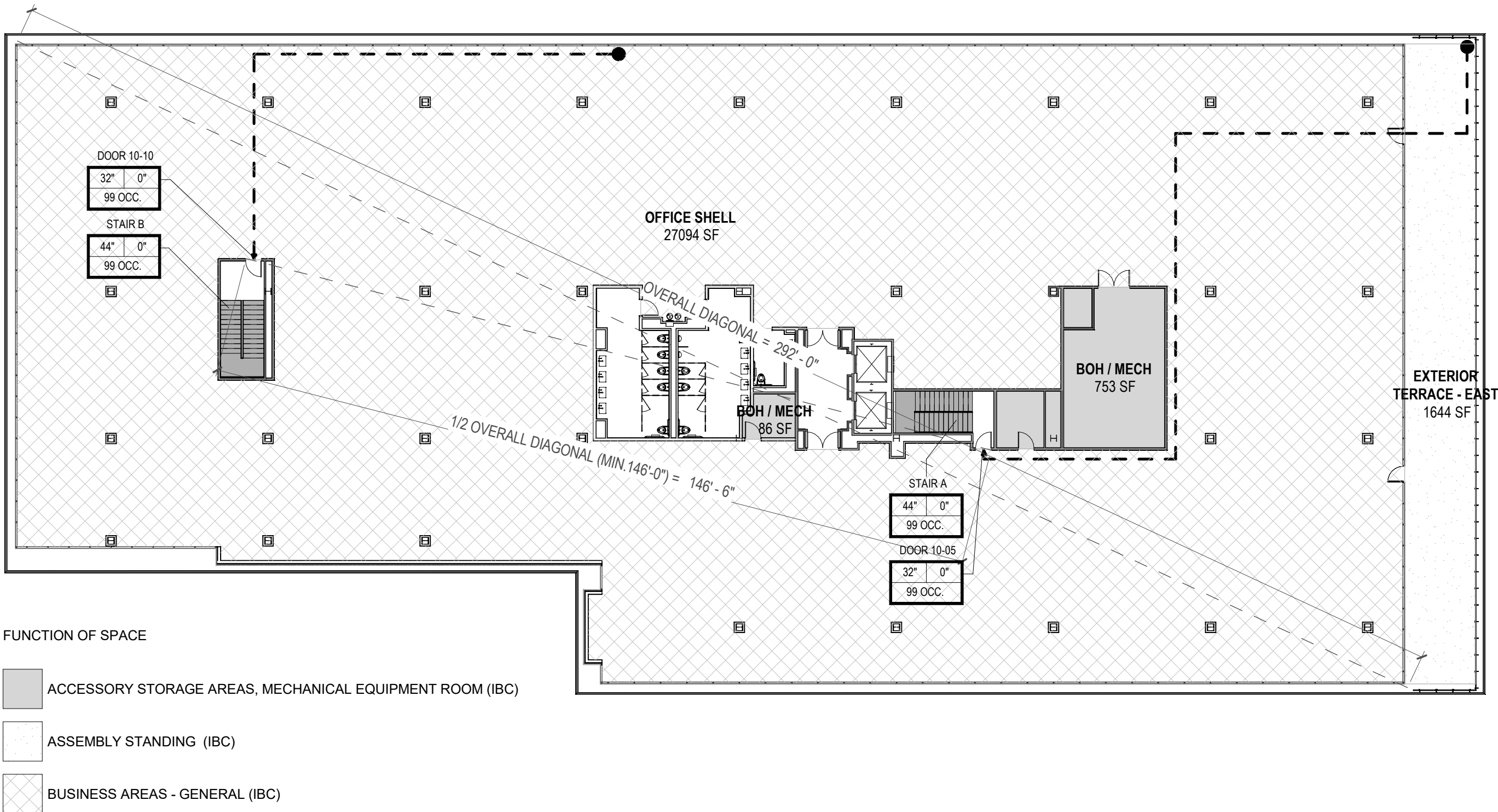
LEVEL 08 - OCCUPANCY TABULATION TABLE						
NAME	OCCUPANCY TYPE	AREA	SF PER OCCUPANT	OCCUPANT LOAD	WIDTH REQUIRED (SPRINKLER)	
BOH / MECH	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM (IBC)	839 SF	300	3	0.42	0.56
OFFICE SHELL	BUSINESS AREAS - GENERAL (IBC)	28,755 SF	150	192	28.76	38.34
		29,594 SF		194	29.17	38.9

LEVEL 08 - OCCUPANCY TABULATION TABLE						
NAME	OCCUPANCY TYPE	AREA	SF PER OCCUPANT	OCCUPANT LOAD	WIDTH REQUIRED (SPRINKLER)	
EXTERIOR TERRACE - EAST	ASSEMBLY STANDING (IBC)	1,717 SF	15	114	17.17	22.9
		1,717 SF		114	17.17	22.9

LEVEL 09 - EGRESS PATHS	
ROUTE ID	EGRESS LENGTH
L9-1	186' 2"

02 LIFE SAFETY PLAN - LEVEL 10

SCALE: 1" = 20'-0"



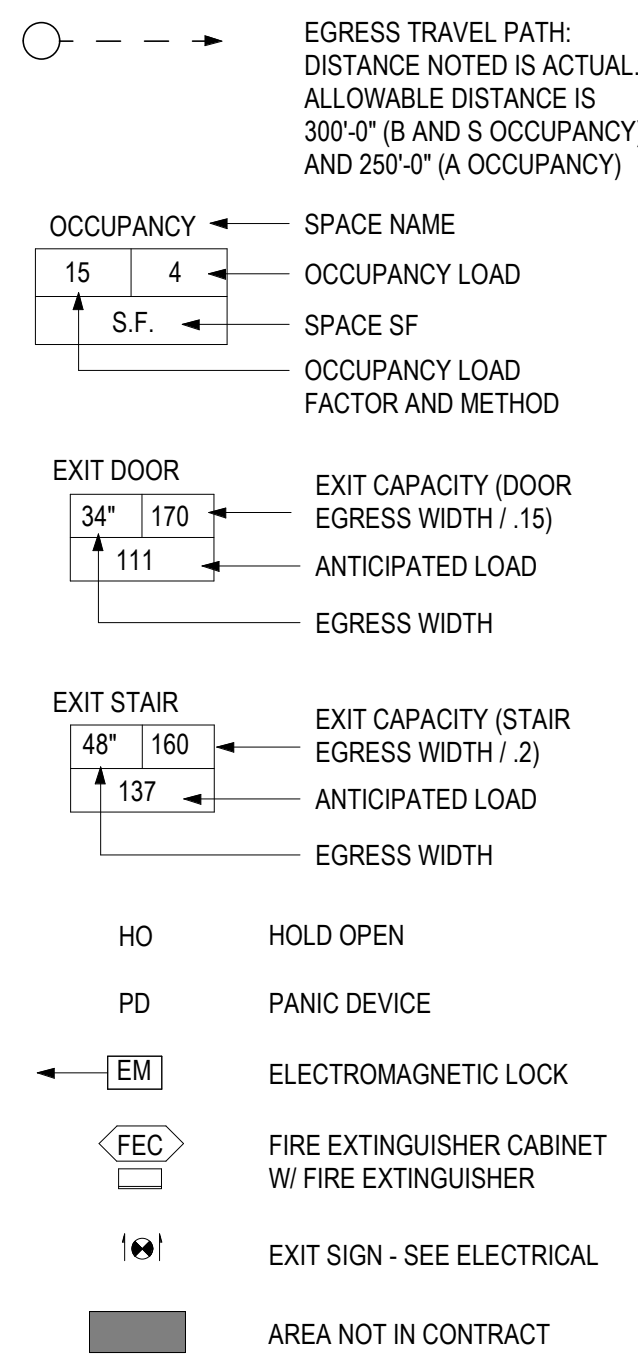
MAX. FLOOR AREA ALLOWANCE PER OCCUPANT

LEVEL 08 - OCCUPANCY TABULATION TABLE						
NAME	OCCUPANCY TYPE	AREA	SF PER OCCUPANT	OCCUPANT LOAD	WIDTH REQUIRED (SPRINKLER)	
BOH / MECH	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM (IBC)	839 SF	300	3	0.42	0.56
OFFICE SHELL	BUSINESS AREAS - GENERAL (IBC)	27,094 SF	150	181	27.09	36.13
		27,933 SF		183	27.51	36.68

LEVEL 08 - OCCUPANCY TABULATION TABLE						
NAME	OCCUPANCY TYPE	AREA	SF PER OCCUPANT	OCCUPANT LOAD	WIDTH REQUIRED (SPRINKLER)	
EXTERIOR TERRACE - EAST	ASSEMBLY STANDING (IBC)	1,644 SF	15	110	16.44	21.92
		1,644 SF		110	16.44	21.92

LEVEL 10 - EGRESS PATHS	
ROUTE ID	EGRESS LENGTH
L10-1	172' 1 1/2"

LIFE SAFETY LEGEND



GENERAL NOTES

- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A WITHIN 75-FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR, AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY AUTHORITY HAVING JURISDICTION.
- PROVIDE EXIT SIGN WITH 6" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS AND AS REQUIRED BY APPLICABLE CODES, AND ADDITIONAL SIGNS AS REQUIRED BY AUTHORITY HAVING JURISDICTION. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS AS REQUIRED. COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
- DOORS OPENING INTO REQUIRED 1-HOUR, FIRE-RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SMOKE OR DRAFT STOP ASSEMBLY HAVING A 20-MINUTE RATING AND SHALL BE SELF-CLOSING.
- 20-MINUTE DOOR JAMBS TO BE TIGHT-FITTING, SMOKE AND DRAFT CONTROLLED.
- STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS AND HAZARDOUS SUBSTANCES SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS.
- WOOD BLOCKING WHERE PERMITTED SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
- EXTEND OR MODIFY EXISTING FIRE/LIFE SAFETY SYSTEM AS REQUIRED TO PROVIDE AN APPROVED FIRE/LIFE SAFETY SYSTEM. SUBMIT PLANS TO AUTHORITY HAVING JURISDICTION WITH COMPLETE DESCRIPTION OF SEQUENCE OF OPERATION, AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
- EXTEND OR MODIFY EXISTING AUTOMATIC FIRE EXTINGUISHING SYSTEM AS REQUIRED TO PROVIDE AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM. SUBMIT PLANS TO AUTHORITY HAVING JURISDICTION AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
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BH PROPERTIES

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Date	Description
B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

NOT FOR CONSTRUCTION

Project Name  
146 Navarro Repositioning  
CD 75%

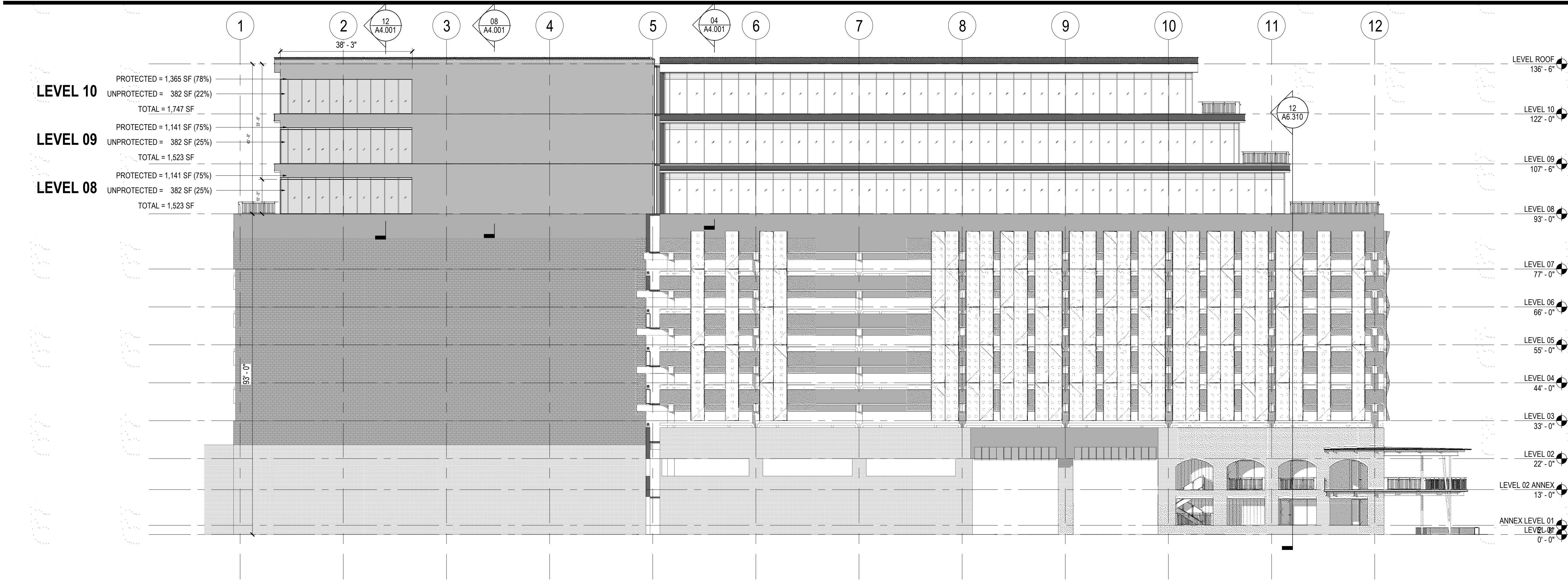
Project Number  
122.0043.000

Description  
LIFE SAFETY PLAN - LEVELS 09-10

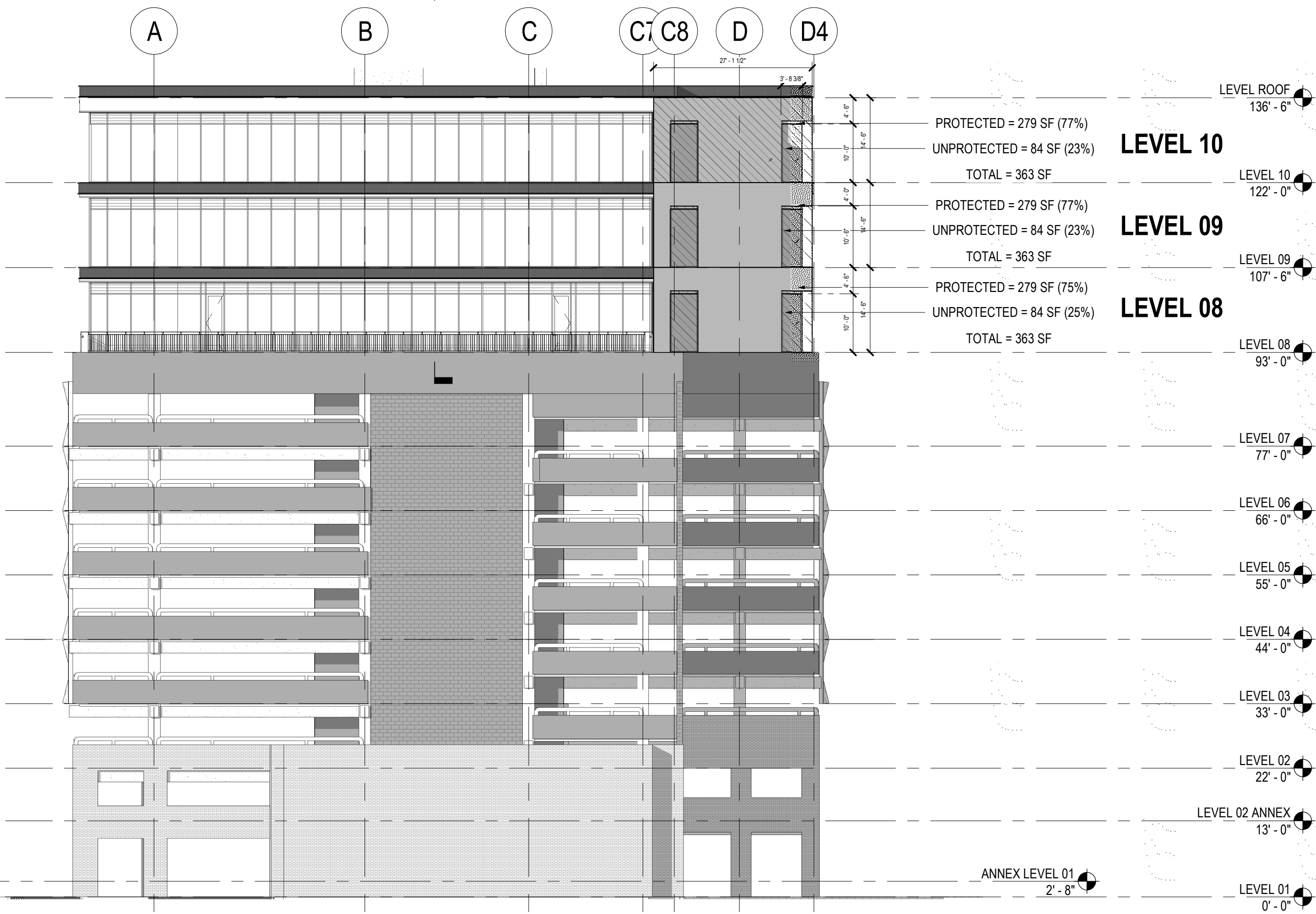
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01 ELEVATION - EAST - 25% OPEN  
SCALE: 1/16" = 1'-0"

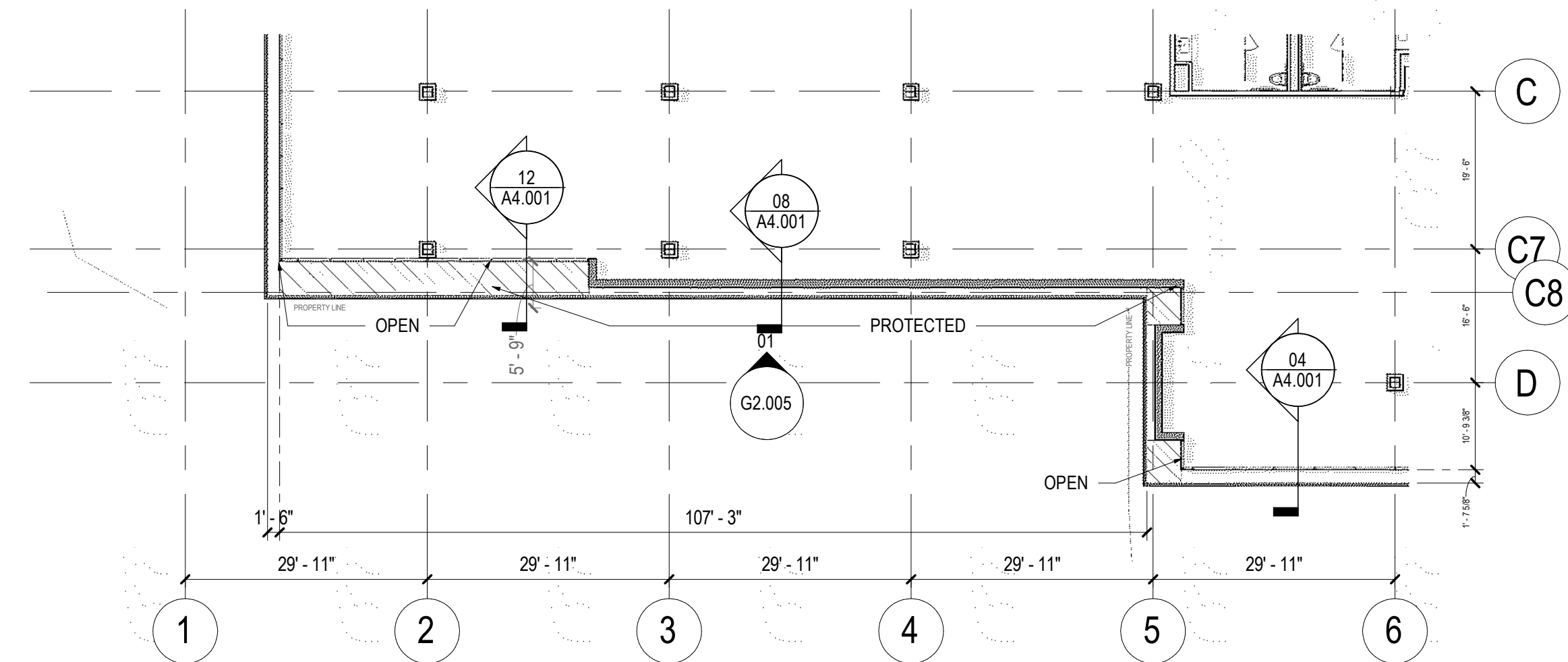


03 ELEVATION - SOUTH - 25% OPEN  
SCALE: 1/16" = 1'-0"

TABLE 705.8 MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION		
FIRE SEPARATION DISTANCE (feet)	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA <sup>a</sup>
0 to less than 3 <sup>b,c,d</sup>	Unprotected, Nonsprinklered (UP, NS)	Not Permitted <sup>e</sup>
	Unprotected, Sprinklered (UP, S)	Not Permitted <sup>e</sup>
	Protected (P)	Not Permitted <sup>e</sup>
3 to less than 5 <sup>d,e</sup>	Unprotected, Nonsprinklered (UP, NS)	Not Permitted
	Unprotected, Sprinklered (UP, S)	15%
	Protected (P)	15%
5 to less than 10 <sup>b,f,g</sup>	Unprotected, Nonsprinklered (UP, NS)	10% <sup>h</sup>
	Unprotected, Sprinklered (UP, S)	25%
	Protected (P)	25%
10 to less than 15 <sup>g</sup>	Unprotected, Nonsprinklered (UP, NS)	15% <sup>h</sup>
	Unprotected, Sprinklered (UP, S)	45%
	Protected (P)	45%
15 to less than 20 <sup>g,i</sup>	Unprotected, Nonsprinklered (UP, NS)	25%
	Unprotected, Sprinklered (UP, S)	75%
	Protected (P)	75%

EXISTING GLAZING LINE:  
5 to less than 10 (Unprotected, Sprinklered) = 25% ALLOWABLE AREA  
East Elevation As-built = 71.4% Unprotected  
South Elevation As-built = 71.4% Unprotected

OPTION 2 / MODIFIED TO MEET CODE:  
5 to less than 10 (Unprotected, Sprinklered) = 25% ALLOWABLE AREA  
East Elevation As-built = 25% Unprotected  
South Elevation As-built = 25% Unprotected



02 GLAZING LOCATION PLAN - LEVEL 10 - 25% OPEN  
SCALE: 1/16" = 1'-0"

## BH PROPERTIES

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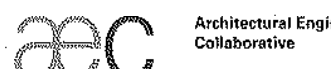
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Date	Description
12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

## NOT FOR CONSTRUCTION

Project Name  
146 Navarro Repositioning  
CD 75%

Project Number  
122.0043.000

Description  
EXTERIOR WALL OPENING ANALYSIS  
- EAST & SOUTH ELEVATIONS

Scale  
1/16" = 1'-0"

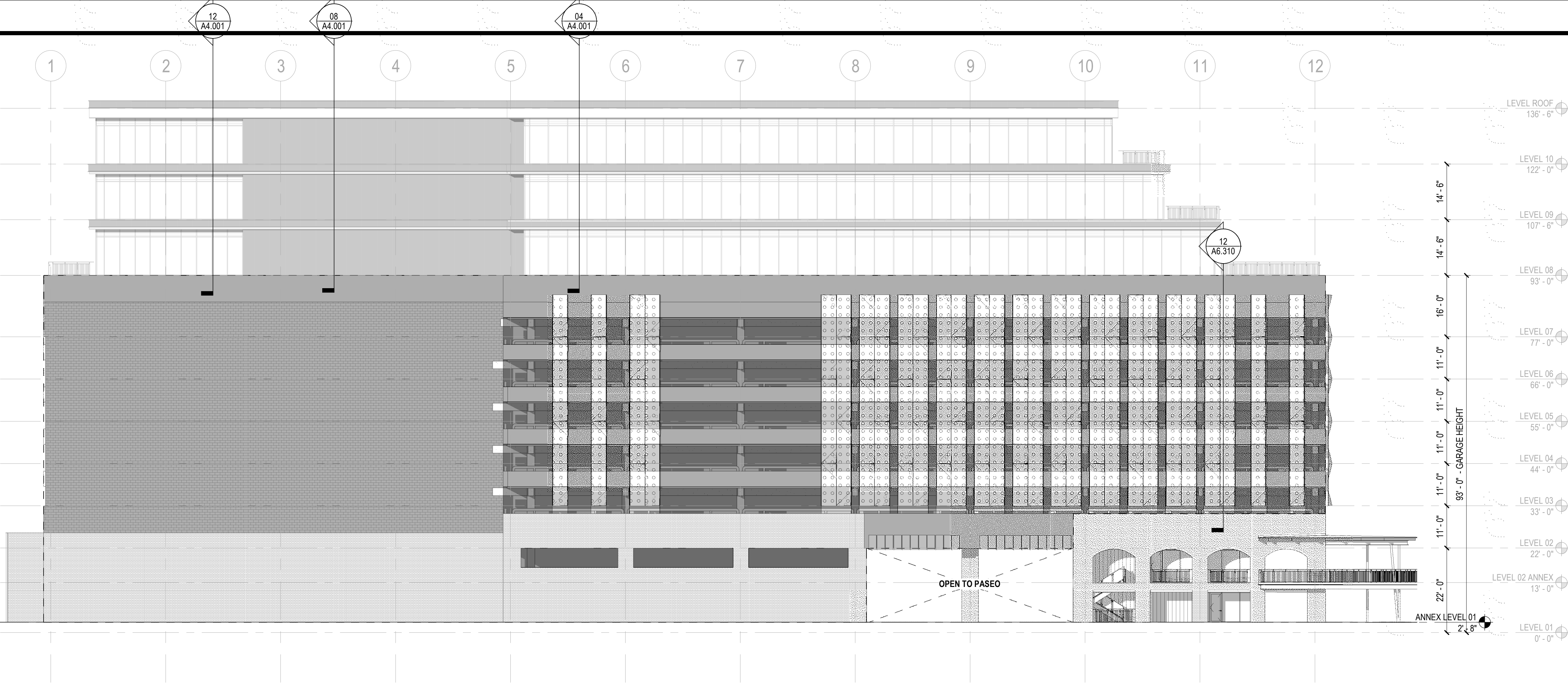
## G2.005

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EAST ELEVATION OPEN AIR:

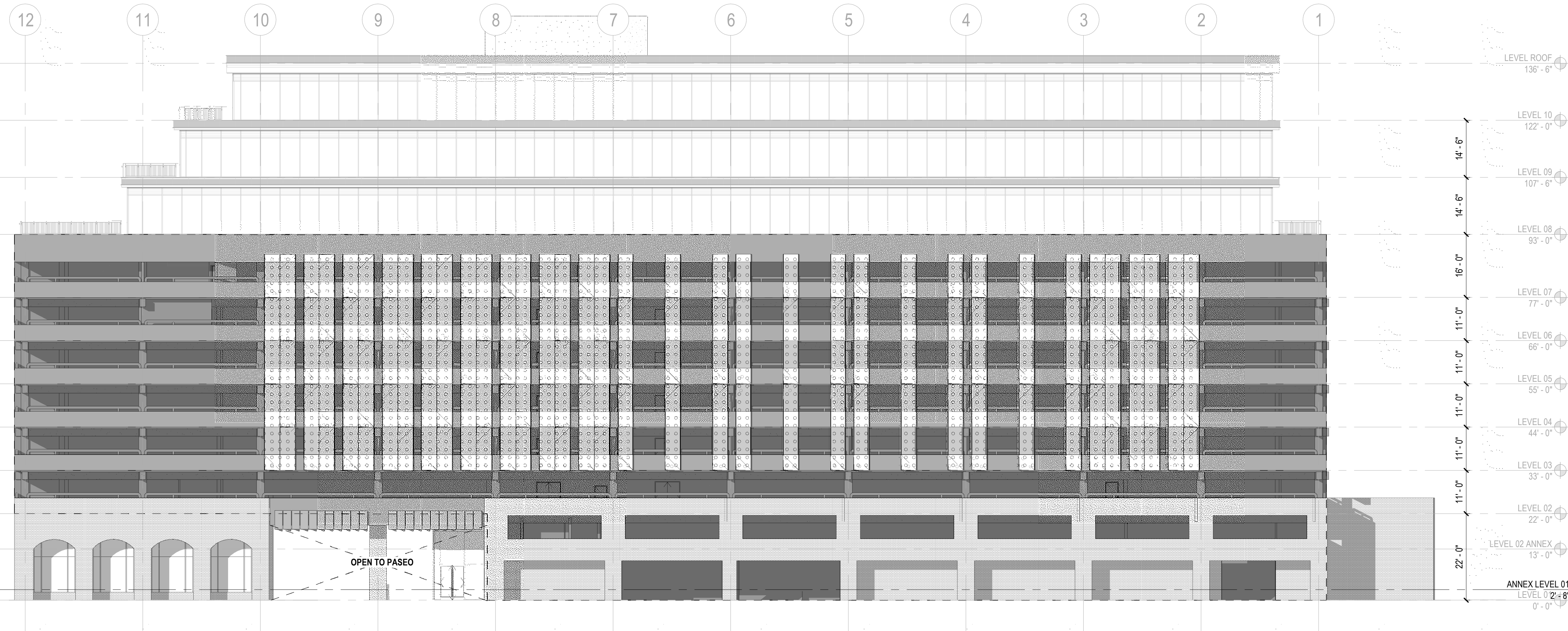
	EXISTING	REQUIRED	PROVIDED
TOTAL ELEV. AREA	27,325SF	27,325SF	27,325SF
OPEN AIR AREA	7,890SF	5,465SF	5,538SF
100% OPEN	7,890SF		3,970SF
40% OPEN			1,568SF
%OPEN	28.4%	20%	20.2%



01 ELEVATION - EAST OPEN AREA ANALYSIS  
SCALE: 1/16" = 1'-0"

WEST ELEVATION OPEN AIR:

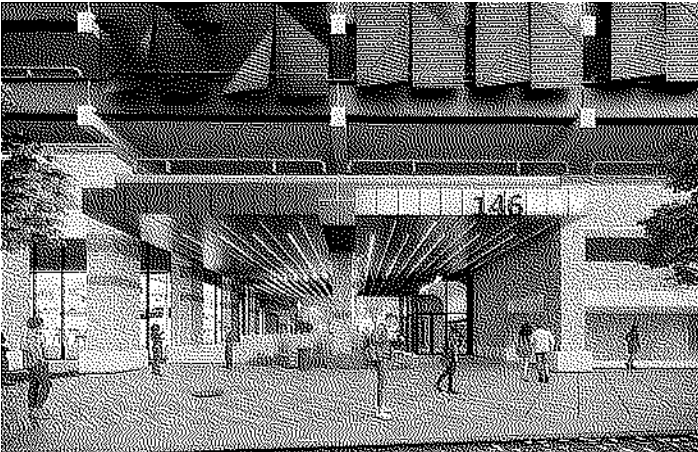
	EXISTING	REQUIRED	PROVIDED
TOTAL ELEV. AREA	28,387SF	28,387SF	28,387SF
OPEN AIR AREA	14,991SF	5,678SF	12,831SF
100% OPEN	14,991SF		11,391SF
40% OPEN			1,440SF
%OPEN	52.8%	20%	45.2%



04 ELEVATION - WEST OPEN AREA ANALYSIS  
SCALE: 1/16" = 1'-0"

## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



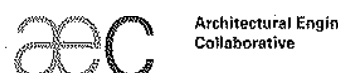
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MP Studio Landscape  
Architecture  
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San Antonio, Texas 78210  
Tel 210.314.5582

Date	Description
B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

**NOT FOR  
CONSTRUCTION**

Project Name  
146 Navarro Repositioning  
CD 75%

Project Number  
122.0043.000

Description  
GARAGE OPEN AIR ANALYSIS

Scale  
1/16" = 1'-0"

**G2.006**



NORTH ELEVATION OPEN AIR:			
	EXISTING	REQUIRED	PROVIDED
TOTAL ELEV. AREA	8,562SF	8,562SF	8,562SF
OPEN AIR AREA	2,335SF	1,712SF	1,957SF
100% OPEN	2,335SF		1,705SF
40% OPEN			252SF
%OPEN	27.3%	20%	22.9%

## 01 ELEVATION - NORTH OPEN AREA ANALYSIS

SCALE: 1/16" = 1'-0"

SOUTH ELEVATION OPEN AIR:			
	EXISTING	REQUIRED	PROVIDED
TOTAL ELEV. AREA	10,394SF	10,394SF	10,394SF
OPEN AIR AREA	3,611SF	2,079SF	3,611SF
100% OPEN	3,611SF		3,611SF
40% OPEN			
%OPEN	34.7%	20%	34.7%

## 04 ELEVATION - SOUTH OPEN AREA ANALYSIS

SCALE: 1/16" = 1'-0"

## BH PROPERTIES

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Tel 210.314.5582

Date	Description
B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

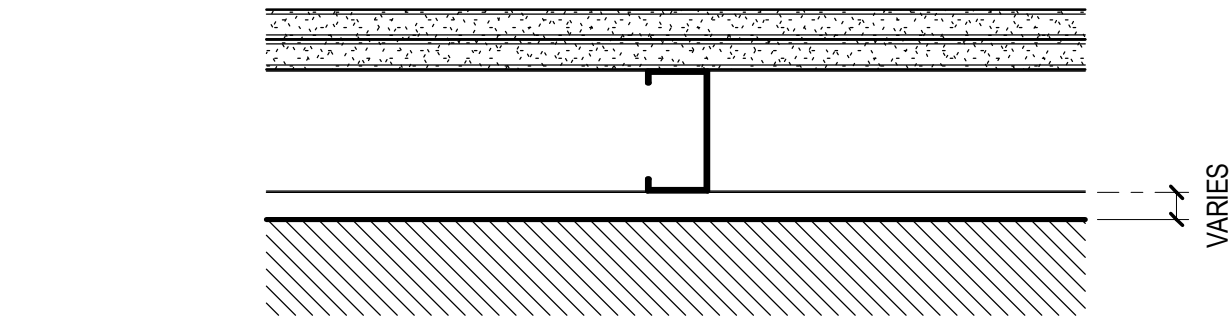
NOT FOR  
CONSTRUCTION

Project Name
146 Navarro Repositioning CD 75%
Project Number
122.0043.000
Description
GARAGE OPEN AIR ANALYSIS

Scale
1/16" = 1'-0"

G2.007

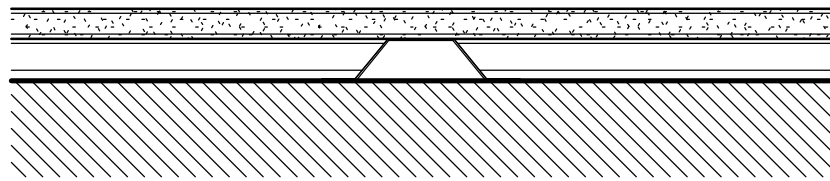




PARTITION TYPE MARK	THK (IN)	FRAMING		DETAILS		ATTEN THK	FIRE RTG	TESTED ASSEMBLY	STC RTG	SHEET NOTES
		DEPTH	SPACING	TOP	BOT					

## 04 E SERIES PARTITION TYPES

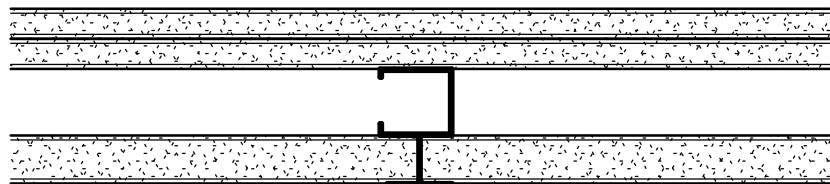
SCALE: 3" = 1'-0"



PARTITION TYPE MARK	THK (IN)	FRAMING		DETAILS		ATTEN THK	FIRE RTG	TESTED ASSEMBLY	STC RTG	SHEET NOTES
		DEPTH	SPACING	TOP	BOT					

## 05 F SERIES PARTITION TYPES

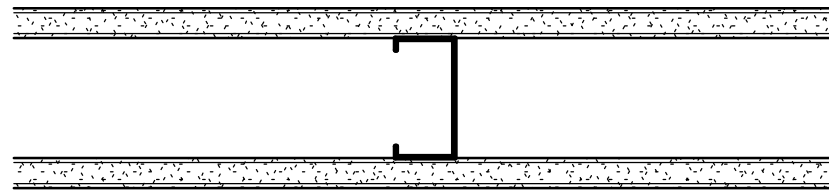
SCALE: 3" = 1'-0"



PARTITION TYPE MARK	THK (IN)	FRAMING		DETAILS		ATTEN THK	FIRE RTG	TESTED ASSEMBLY	STC RTG	SHEET NOTES
		DEPTH	SPACING	TOP	BOT					

## 06 J SERIES PARTITION TYPES

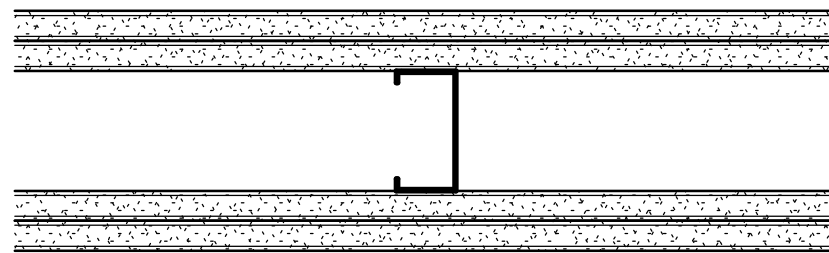
SCALE: 3" = 1'-0"



PARTITION TYPE MARK	THK (IN)	FRAMING		DETAILS		ATTEN THK	FIRE RTG	TESTED ASSEMBLY	STC RTG	SHEET NOTES
		DEPTH	SPACING	TOP	BOT					

## 01 A SERIES PARTITION TYPES

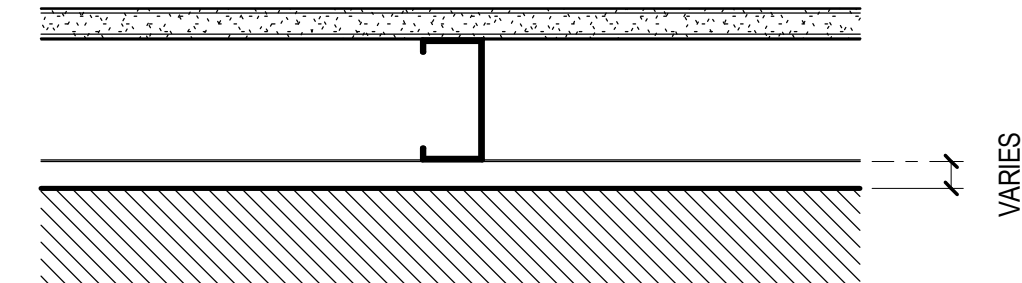
SCALE: 3" = 1'-0"



PARTITION TYPE MARK	THK (IN)	FRAMING		DETAILS		ATTEN THK	FIRE RTG	TESTED ASSEMBLY	STC RTG	SHEET NOTES
		DEPTH	SPACING	TOP	BOT					

## 02 B SERIES PARTITION TYPES

SCALE: 3" = 1'-0"



PARTITION TYPE MARK	THK (IN)	FRAMING		DETAILS		ATTEN THK	FIRE RTG	TESTED ASSEMBLY	STC RTG	SHEET NOTES
		DEPTH	SPACING	TOP	BOT					

## 03 D SERIES PARTITION TYPES

SCALE: 3" = 1'-0"

### SHEET NOTES

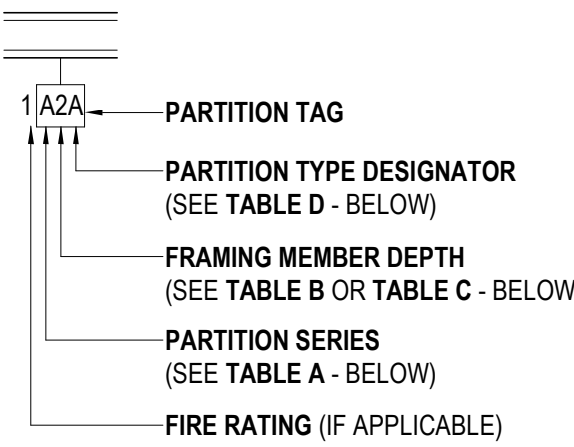


TABLE A - PARTITION SERIES CONSTRUCTION ASSEMBLY

SERIES	SHEATHING	FRAMING MEMBERS	SHEATHING
A	1 LAYER	METAL C STUD	1 LAYER
B	2 LAYERS	METAL C STUD	2 LAYERS
C	1 LAYER	METAL C STUD	2 LAYERS
D	1 LAYER	METAL C STUD	NONE
E	2 LAYERS	METAL C STUD	NONE
F	1 LAYER	METAL HAT CHANNEL	NONE
G	1 LAYER	NONE	NONE
H	1 LAYER	METAL C-H STUD	NONE
J	2 LAYERS	METAL C-H STUD	LINER PNL
K	1 LAYER	(2) METAL C STUDS	1 LAYER
L	2 LAYERS	(2) METAL C STUDS	2 LAYERS
M	NONE	CMU	NONE
N-U	RESERVED FOR FUTURE EXPANSION		
V-Z	CUSTOM	N/A	N/A

TABLE B - FRAMING DEPTH SCHEDULE

TAG NUMBER	METAL STUD	METAL C-H	WOOD
DESIGNATIO	DEPTH	STUD DEPTH	STUD DEPTH
N	NO FRAMING		DEPTH
0	7/8" FURRING CHANNEL		N/A
1	1 5/8"	N/A	N/A
2	2 1/2"	2 1/2"	N/A
3	3 5/8"	N/A	N/A
4	4"	4"	4"
6	6"	6"	6"
8	8"	N/A	N/A
10	10"	N/A	N/A

TABLE C - MASONRY WIDTH SCHEDULE

TAG NUMBER	CMU
DESIGNATIO	WIDTH
N	3 5/8"
6	5 5/8"
8	7 5/8"
10	9 5/8"
12	11 5/8"

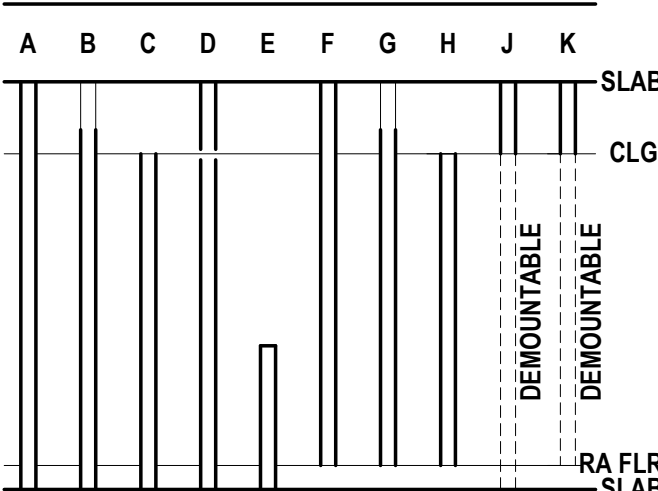
### STEEL SHEET THICKNESS FOR STUDS AND RUNNERS

GAGE*	MIN. STEEL BASE METAL THICKNESS (UNCOATED)		
	INCH	MILS	MM
12	0.1017	97	X
14	0.0713	68	X
16	0.0566	54	1.34
18	0.0451	43	1.09
20	0.0312	30	0.84
22	0.0270	27	0.68
25	0.0179	18	0.45

\*GAGE 16 AND 18 USED FOR STRUCTURAL FRAMING; 20, 22, AND 25 USED FOR NON-STRUCTURAL FRAMING, ADJUST GAGE ACCORDINGLY FOR VERTICALLY SPANNING WALLS.

\*USE OF DIMPLED STEEL STUDS ACCEPTABLE PROVIDED CONTRACTOR SUPPLIES DOCUMENTATION PROVING THE EQUIVALENT MINIMUM BASE METAL THICKNESS IS ACHIEVED

TABLE D - PARTITION MODIFIER DIAGRAM



### GENERAL NOTES

- GN-01. PARTITION TYPES ARE NOT SEQUENTIAL.
- GN-02. ALL PARTITION SHEATHING TO BE 5/8" GYPSUM BOARD UNLESS OTHERWISE NOTED.
- GN-03. REFER TO A09.200 SERIES FOR TOP OF PARTITION AND A09.300 SERIES FOR BOTTOM OF PARTITION CONDITIONS LISTED IN PARTITION SCHEDULE.
- GN-04. ALL PARTITIONS SHALL BE COORDINATED WITH SCHEDULED FINISHES FOR PARTITION LAYOUT AND REQUIRED CLEARANCES.
- GN-05. PROVIDE BLOCKING IN PARTITIONS FOR ARTWORK HANGING AS INDICATED. SEE CONSTRUCTION PLAN(S) AND/ OR INTERIOR ELEVATIONS FOR LOCATIONS.
- GN-06. FOR INTERIOR FRAMING LIMITING HEIGHTS REFER TO SSMA TABLES FOR INTERIOR NON-STRUCTURAL NON-COMPOSITE PARTITIONS
- GN-07. CONTRACTOR TO RE-CONFIRM STUD SIZING AND SUBMIT SELECTION CRITERIA FOR REVIEW INCLUDING DELINEATION OF SLAB TO UNDERSIDE OF SLAB INFORMATION

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Date	Description
A 07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

PARTITION TYPES - PLAN VIEWS

Scale

3" = 1'-0"

## G5.001



DOOR SCHEDULE

NUMBER	LOCATION	TYPE	DOOR			FRAME			ASSEMBLY RATING			HARDWARE SET	REMARKS			
			WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	Head	JAMB	SILL	MATERIAL			FINISH	FIRE RATING	TEMP RISE
LEVEL 01																
1-01A	STREET LEVEL ELEVATOR LOBBY	G	6'- 0"	8'- 11"	0' - 1 3/4"	AL						AL				
1-01B	STREET LEVEL ELEVATOR LOBBY	G	6'- 0"	8'- 11"	0' - 1 3/4"	AL						AL				
1-01C	STREET LEVEL ELEVATOR LOBBY	B	6'- 0"	7'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
1-02	STREET LEVEL ELEVATOR LOBBY	A	3'- 0"	7'- 0"	0' - 1 3/4"	HM	PT					HM	PT	90-MIN		
1-03	ELEC. RM	A	3'- 0"	7'- 0"	0' - 1 3/4"	HM	PT					HM	PT	90-MIN		
1-04	FIRE COMMAND	A	3'- 0"	7'- 0"	0' - 1 3/4"	HM	PT					HM	PT	90-MIN		
1-06	SECURITY OFFICE	A	3'- 0"	7'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
1-07	UNISEX RESTROOM	A	3'- 0"	7'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
1-20A	RESTAURANT SHELL	G	3'- 0"	7'- 8"	0' - 0 1/2"	AL						AL				
1-28A	KITCHEN SHELL	G	5'- 11"	8'- 11"	0' - 1 3/4"	AL						AL				
EX1-20	RESTAURANT SHELL	G	5'- 11"	8'- 9"	0' - 1 3/4"	AL						AL				
EX1-28B	KITCHEN SHELL	A	3'- 0"	7'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
LEVEL 02 ANNEX																
A2-20A	EXTERIOR TERRACE	G	3'- 0"	8'- 5"	0' - 0 1/2"	AL						AL				
A2-20B	EXTERIOR TERRACE	G	3'- 0"	8'- 5"	0' - 0 1/2"	AL						AL				
EX2-25	RESTAURANT SHELL	A	3'- 0"	7'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
EX2-26	EXISTING STAIR	A	3'- 0"	7'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
LEVEL 07																
7-01	OFFICE LOBBY VESTIBULE	B	6'- 0"	8'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
7-02		A	3'- 0"	7'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
7-03A	OFFICE LOBBY VESTIBULE	G	3'- 0"	9'- 0"	0' - 0 1/2"	AL						AL				
7-03B	OFFICE LOBBY VESTIBULE	G	3'- 0"	9'- 0"	0' - 0 1/2"	AL						AL				
7-04	BIKE STORAGE	A	3'- 0"	8'- 10"	0' - 1 3/4"	HM	PT					HM	PT			
7-06	CORRIDOR	A	3'- 0"	8'- 10"	0' - 1 3/4"	HM	PT					HM	PT			PROVIDE 1" UNDERCUT
7-07	SHOWER	A	3'- 0"	8'- 10"	0' - 1 3/4"	HM	PT					HM	PT			PROVIDE 1" UNDERCUT
7-08	JANITOR	A	3'- 0"	8'- 10"	0' - 1 3/4"	HM	PT					HM	PT			
7-09	ELEC. RM	A	3'- 0"	7'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
7-10A	STAIR A	A	3'- 0"	7'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
LEVEL 08																
8-01A	ELEVATOR LOBBY	B	6'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT	SMOKE-RATED		
8-01B	ELEVATOR LOBBY	B	6'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT	SMOKE-RATED		
8-02	ELEV. MECH. ROOM	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT	90-MIN		
8-03	MECH. AIR HANDLER	B	6'- 0"	8'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
8-04	ELEC.	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT	90-MIN		
8-05	STAIR A	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT	90-MIN		
8-06	JAN CLOS.	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
8-07	ALL GENDER RESTROOM	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
8-08	MEN'S RESTROOM	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
8-09	WOMEN'S RESTROOM	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
8-10A		A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT	90-MIN		
8-10B	STAIR B	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT	90-MIN		
8-12A	EXISTING - SHELL OFFICE	G	3'- 0"	9'- 11"	0' - 0 1/2"	AL						AL				
8-12B	EXISTING - SHELL OFFICE	G	3'- 0"	9'- 11"	0' - 0 1/2"	AL						AL				
8-13A	EXISTING - SHELL OFFICE	G	3'- 0"	9'- 11"	0' - 0 1/2"	AL						AL				
8-13B	EXISTING - SHELL OFFICE	G	3'- 0"	9'- 11"	0' - 0 1/2"	AL						AL				
LEVEL 09																
9-00A	EXISTING SHELL OFFICE	G	3'- 0"	9'- 11"	0' - 0 1/2"	AL						AL				
9-00B	EXISTING SHELL OFFICE	G	3'- 0"	9'- 11"	0' - 0 1/2"	AL						AL				
9-01A	ELEVATOR LOBBY	B	6'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT	SMOKE-RATED		
9-01B	ELEVATOR LOBBY	B	6'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT	SMOKE-RATED		
9-03	MECH. AIR HANDLER	B	6'- 0"	8'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
9-04A	ELEC.	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT	90-MIN		
9-05	STAIR A	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT	90-MIN		
9-06	JAN CLOS.	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
9-07	ALL GENDER RESTROOM	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
9-08	MEN'S RESTROOM	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
9-09	WOMEN'S RESTROOM	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
9-10A		A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT	90-MIN		
9-10B	STAIR B	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT	90-MIN		
LEVEL 10																
10-00A	EXISTING OFFICE SHELL	G	3'- 0"	9'- 11"	0' - 0 1/2"	AL						AL				
10-00B	EXISTING OFFICE SHELL	G	3'- 0"	9'- 9"	0' - 0 1/2"	AL						AL				
10-01A	ELEVATOR LOBBY	B	6'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT	SMOKE-RATED		
10-01B	ELEVATOR LOBBY	B	6'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT	SMOKE-RATED		
10-03	MECH. AIR HANDLER	B	6'- 0"	8'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
10-04A	ELEC.	A	3'- 0"	8'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
10-05	STAIR A	A	3'- 0"	8'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
10-06	JAN CLOS.	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
10-07	ALL GENDER RESTROOM	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
10-08	MEN'S RESTROOM	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
10-09	WOMEN'S RESTROOM	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT			
10-10	STAIR B	A	3'- 0"	9'- 0"	0' - 1 3/4"	HM	PT					HM	PT	90-MIN		
TOTAL: 67																

SHEET NOTES

- CO CASED OPENING
- EA ENTRANCES, AUTOMATIC  
EB ENTRANCES, BALANCED  
ES ENTRANCES, SLIDING AUTOMATIC  
ER ENTRANCES, REVOLVING  
EX EXISTING DOOR, REPLACE HARDWARE
- F FLUSH  
FB FLUSH, BI-FOLD  
FD FLUSH, DUTCH  
FF FLUSH, FULL LITE  
FH FLUSH, HALF LITE  
FL FLUSH, LOUVER  
FN FLUSH, NARROW LITE  
FT FLUSH, TRANSOM
- G GLASS ENTRANCES
- OHC OVERHEAD COILING  
OHCC OVERHEAD COILING COUNTER  
OHF OVERHEAD, FABRIC FIRE SHUTTER  
OHG OVERHEAD GRILLE  
OHR OVERHEAD, RAPID ROLL-UP  
OHS OVERHEAD SECTIONAL  
OHSG OVERHEAD SECTIONAL, GLASS
- OPA OPERABLE PTN, ACCORDION FOLDING  
OPF OPERABLE PTN, FOLDING  
OPP OPERABLE PTN, POCKET  
OPV OPERABLE PTN, VERTICALLY FOLDING
- SN STILE NARROW  
SM STILE MEDIUM  
SR STILE AND RAILL  
SW STILE WIDE
- TR TRAFFIC  
WM WIRE MESH

ALL LISTED TYPES MAY NOT BE USED, REFER TO SCHEDULE.

GENERAL NOTES

- A. LOCATIONS AS NOTED ON SCHEDULE CAN VARY. REFER TO PLANS FOR SPECIFIC LOCATIONS.
- B. DOUBLE DOORS ARE INDICATED WITH A DESIGNATION FOR EACH LEAF (TYPE/TYPE). EXAMPLE: F1/F1 OR F1/FH1.
- C. THE MINIMUM CLEAR OPENING SHALL BE 32 INCHES, UNO CLEAR OPENINGS AT SWINGING DOORS SHALL BE MEASURED FROM FACE OF DOOR AND THE STOP WITH DOOR OPEN 90 DEGREES.
- D. THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWING, SLIDING, OR FOLDING DOORS AND GATES, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS.
- E. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- F. THE UNLATCHING OF ANY EGRESS DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- G. GLAZING IN DOORS SHALL BE SAFETY GLAZING COMPLYING WITH IBC CHAPTER 24.
- H. ELECTRONIC LOCKS ARE SUBMITTED UNDER A SEPARATE PERMIT. COORDINATE WITH SECURITY.
- I. ASSEMBLY AND HARDWARE SET NUMBERS ARE THE SAME.

BH PROPERTIES  
146 Navarro Street; San Antonio, TX 78205



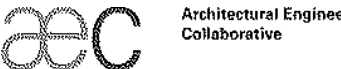
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MP Studio Landscape  
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San Antonio, Texas 78210  
Tel 210.314.5582

△	Date	Description
A	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
B	12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

NOT FOR  
CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

DOOR SCHEDULE

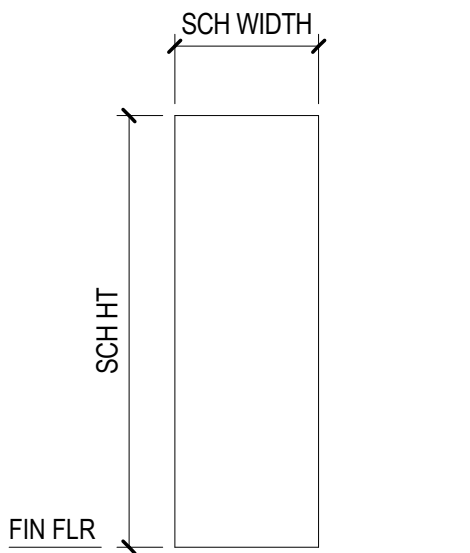
Scale

G6.100

01 DOOR TYPES

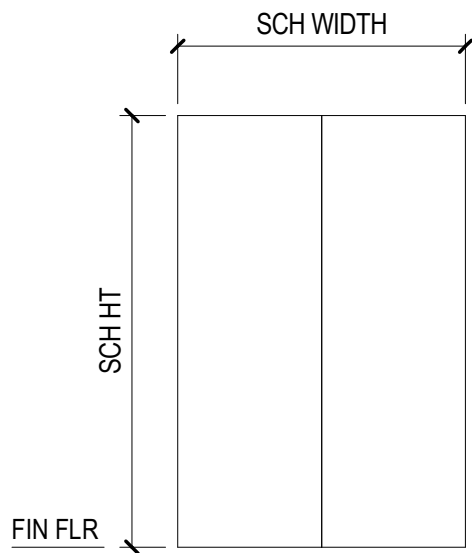
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TYPE A



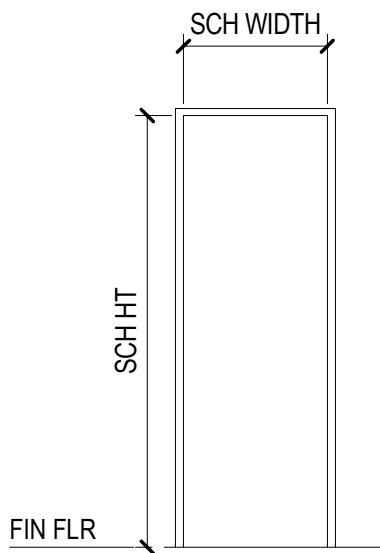
- F1: 08 11 13 FLUSH HOLLOW METAL  
F2: 08 14 16 FLUSH WOOD  
F3: 08 34 73 FLUSH SOUND CONTROL  
F4: 10 22 19 DEMOUNTABLE PARTITIONS

TYPE B



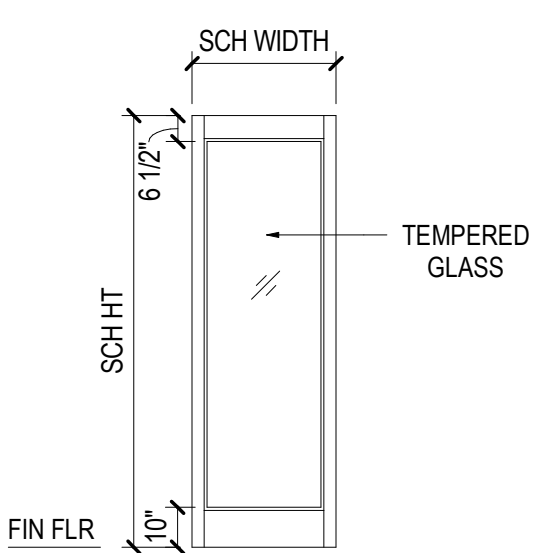
- F1: 08 11 13 FLUSH HOLLOW METAL  
F2: 08 14 16 FLUSH WOOD  
F3: 08 34 73 FLUSH SOUND CONTROL  
F4: 10 22 19 DEMOUNTABLE PARTITIONS

TYPE C



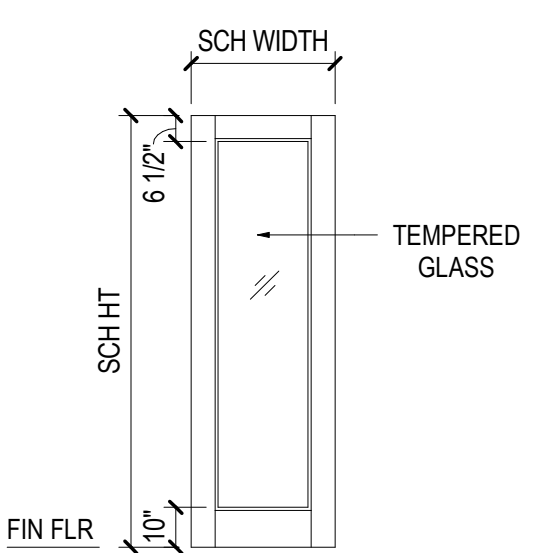
- CO1: 08 11 13 HOLLOW METAL, CASSED OPENING  
CO2: 06 43 00 WOOD, CASSED OPENING  
CO3: 08 12 16 INTERIOR ALUMINUM, CASSED OPENING

TYPE G



- NARROW STILE  
SN1: 08 12 16 INTERIOR ALUMINUM  
SN2: 08 41 13 ALUMINUM FRAMED ENTRANCES  
SN3 10 22 19 DEMOUNTABLE PARTITION

TYPE H



- MEDIUM STILE  
SM1: 08 12 16 ALUMINUM, INTERIOR  
SM2: 08 41 13 ALUMINUM FRAMED ENTRANCES  
SM3: 10 22 19 DEMOUNTABLE PARTITION

SHEET NOTES

CO CASED OPENING

EA ENTRANCES, AUTOMATIC  
EB ENTRANCES, BALANCED  
ES ENTRANCES, SLIDING AUTOMATIC  
ER ENTRANCES, REVOLVING

F FLUSH  
FB FLUSH, BI-FOLD  
FD FLUSH, DUTCH  
FF FLUSH, FULL LITE  
FH FLUSH, HALF LITE  
FL FLUSH, LOUVER  
FN FLUSH, NARROW LITE  
FT FLUSH, TRANSOM

G GLASS ENTRANCES

OHC OVERHEAD COILING  
OHCC OVERHEAD COILING COUNTER  
OHF OVERHEAD, FABRIC FIRE SHUTTER  
OHG OVERHEAD GRILLE  
OHR OVERHEAD, RAPID ROLL-UP  
OHS OVERHEAD SECTIONAL  
OHSG OVERHEAD SECTIONAL, GLASS

OPA OPERABLE PTN, ACCORDION FOLDING  
OPF OPERABLE PTN, FOLDING  
OPP OPERABLE PTN, POCKET  
OPV OPERABLE PTN, VERTICALLY FOLDING

SN STILE NARROW  
SM STILE MEDIUM  
SR STILE AND RAILL  
SW STILE WIDE

TR TRAFFIC  
WM WIRE MESH

ALL LISTED TYPES MAY NOT BE USED, REFER TO SCHEDULE.

GENERAL NOTES

- A. LOCATIONS AS NOTED ON SCHEDULE CAN VARY. REFER TO PLANS FOR SPECIFIC LOCATIONS.  
B. DOUBLE DOORS ARE INDICATED WITH A DESIGNATION FOR EACH LEAF (TYPE)TYPE). EXAMPLE: F1/F1 OR F1/FH1.  
C. THE MINIMUM CLEAR OPENING SHALL BE 32 INCHES, UNO CLEAR OPENINGS AT SWINGING DOORS SHALL BE MEASURED FROM FACE OF DOOR AND THE STOP WITH DOOR OPEN 90 DEGREES.  
D. THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWING, SLIDING, OR FOLDING DOORS AND GATES, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS.  
E. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.  
F. THE UNLATCHING OF ANY EGRESS DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.  
G. GLAZING IN DOORS SHALL BE SAFETY GLAZING COMPLYING WITH IBC CHAPTER 24.  
H. ELECTRONIC LOCKS ARE SUBMITTED UNDER A SEPARATE PERMIT. COORDINATE WITH SECURITY.  
I. ASSEMBLY AND HARDWARE SET NUMBERS ARE THE SAME.

BH PROPERTIES

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146 Navarro Repositioning

CD 75%

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Description

DOOR TYPES AND DETAILS

Scale

1/4" = 1'-0"

G6.101

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INTERIOR FINISHES

TR11	RESINOUS MATRIX TERRAZZO FLOORING
SPECIFICATION SECTION: 09 66 23	
ITEM: PRECAST TERRAZZO	
MANUFACTURER: THE VENICE ART TERRAZZO COMPANY	
COLOR: CUSTOM COLOR AND AGGREGATE MIX	
FINISH: POLISHED	
NAME / NO. / COLOR: CUSTOM	
CONTACT: Lawrence Di Filippo 210.533.7231	
Vatoo@theveniceart.com	
LOCATION: LEVEL 01 LOBBY	
NOTES: LARGE/MEDIUM AGGREGATE SIZE	

TR12	RESINOUS MATRIX TERRAZZO FLOORING
SPECIFICATION SECTION: 09 66 23	
ITEM: PRECAST TERRAZZO	
MANUFACTURER: THE VENICE ART TERRAZZO COMPANY	
COLOR: CUSTOM COLOR AND AGGREGATE MIX	
FINISH: POLISHED	
NAME / NO. / COLOR: CUSTOM	
CONTACT: Lawrence Di Filippo 210.533.7231	
Vatoo@theveniceart.com	
LOCATION: LEVEL 01 LOBBY	
NOTES: MEDIUM/SMALL AGGREGATE SIZE	

WB##	WOOD BASE - INTERIOR ARCHITECTURAL WOODWORK
SPECIFICATION SECTION: 06 40 23	
SPECIES: SOLID HARDWOOD	
FINISH: PTF#	
SHEEN: SATIN 30-50	
BASE DETAIL KEY IN: <INSERT>	
FLAME SPREAD INDEX / RESISTANCE: CLASS C, ASTM E84	
LOCATION: <INSERT GENERAL LOCATION OR USE>	
NOTES: BACK PRIME AND SEAL ALL EDGES INCLUDING FIELD CUT	

WD11	WOOD - INTERIOR ARCHITECTURAL WOODWORK
SPECIFICATION SECTION: 06 40 23	
SPECIES & GRADE: FLAT CUT BROWN ASH	
FINISH: WATER BASED CLEAR MATTE SEALER	
FLAME SPREAD INDEX / RESISTANCE: CLASS C, ASTM E84	
LOCATION: ELEVATOR LOBBY WOOD PANELING	

WD12	WOOD - INTERIOR ARCHITECTURAL WOODWORK
SPECIFICATION SECTION: 06 16 00	
SPECIES & GRADE: PLYWOOD	
FINISH: WATER BASED CLEAR MATTE SEALER	
LOCATION: WALL FINISH AT LEVEL 07 BIKE STORAGE	

WT11	ROLLER WINDOW SHADES
SPECIFICATION SECTION: 12 24 13	
PRODUCT NAME: MECHOSHADE THERMOVEIL	
TYPE: SINGLE SHADE MANUALLY OPERATED	
COLOR: TBD	
OPENNESS FACTOR: 3%	
FLAME SPREAD INDEX / RESISTANCE: CLASS A	

UM01	UNIT MASONRY - CONCRETE UNIT MASONRY
SPECIFICATION SECTION: 04 22 00	
MANUFACTURER: WAUSAU OR EQ.	
PRODUCT NAME: H SERIES	
PRODUCT NUMBER: MIX OF HFT-12,HFT-30, HFT-35	
COLOR: PER PRODUCT #	
FINISH: PER PRODUCT #	
SIZE: MIX OF 6"X18", 12"X36" AND 8"X24"	
THICKNESS: 1 5/8"	
LOCATION: EXTERIOR PATIO AND OUTDOOR SEATING LOCATIONS	
NOTES: RE: ARCH DRAWINGS FOR TYP. PATTERN	

TL11	TILING
SPECIFICATION SECTION: 09 30 00	
ITEM: PORCELAIN FLOOR TILE	
MANUFACTURER: STONE SOURCE	
PRODUCT NAME: EME	
COLOR: ANTHRACITE	
SIZE: 24"X48"	
JOINT WIDTH: 1/16 INCH	
LOCATION: TRANSFER ELEVATOR LOBBY ON LEVEL 7 AND ELEVATOR LOBBY ON LEVEL 08-10	

TL12	TILING
SPECIFICATION SECTION: 09 30 00	
ITEM: PORCELAIN TILE	
MANUFACTURER: STONESOURCE TILE	
FINISH: NATURAL FINISH	
SIZE: 24"X48"	
NAME / NO. / COLOR: ARENA MATRIX	
JOINT WIDTH: 1/16 INCH	
LOCATION: LEVEL 07 SHOWER ROOM MAIN FLOORS/WALLS, FLOORS AT CORE RESTROOMS	

TL13	TILING
SPECIFICATION SECTION: 09 30 00	
ITEM: PORCELAIN TILE	
MANUFACTURER: MARAZZI	
FINISH: GLOSSY	
SIZE: 17X4"	
NAME / NO. / COLOR: ZELIGE CARBONE ZL12	
JOINT WIDTH: 1/16 INCH	
LOCATION: CORE RESTROOM VANITY TILE	
NOTES: ASSUME \$10/SF MATERIAL COST	

TL14	TILING
SPECIFICATION SECTION: 09 30 00	
ITEM: PORCELAIN TILE	
MANUFACTURER: OTTIMO CERAMICS	
FINISH: MATTE	
SIZE: 8"X8"	
NAME / NO. / COLOR: STUDIO WHITE W/ BLACK LINES	
FAS001SP	
JOINT WIDTH: 1/16 INCH	
LOCATION: CORE RESTROOM DECORATIVE TILE	
NOTES: ASSUME \$10/SF MATERIAL COST	

TL15	TILING
SPECIFICATION SECTION: 09 30 00	
ITEM: PORCELAIN FLOOR TILE	
MANUFACTURER: DAL TILE	
FINISH: MATTE	
SIZE: 17X1"	
NAME / NO. / COLOR: UPTOWN GLASS MATTE EBONY	
UP22 HEXAGON	
JOINT WIDTH: 1/16 INCH	
LOCATION: LEVEL 07 SHOWER FLOOR	

TL16	TILING
SPECIFICATION SECTION: 09 30 00	
ITEM: PORCELAIN TILE	
MANUFACTURER: OTTIMO CERAMICS	
FINISH: MATTE	
SIZE: 8"X8"	
NAME / NO. / COLOR: STUDIO BLACK W/ WHITE LINES	
FAS003SP	
JOINT WIDTH: 1/16 INCH	
LOCATION: LEVEL 07 SHOWER ROOM DECORATIVE TILE	

WC11	WALL COVERINGS
SPECIFICATION SECTION: 09 72 00	
MANUFACTURER: MAHARAM	
FINISH: STAIN REPELLENT	
NAME / NO. / COLOR: TEK-WALL ASPECT 300023-015	
ONYX	
BACKING MATERIAL: ACRYLIC	
FLAME SPREAD INDEX / RESISTANCE: [CLASS A]	
[CLASS B] [CLASS C] [ASTM E-84] [NFPA 701]	
[CALIFORNIA BULLETIN 117] [CALIFORNIA BULLETIN 117E]	
LOCATION: STREET LEVEL ELEVATOR LOBBY	

PT01	EXTERIOR PAINTING
SPECIFICATION SECTION: 09 91 23	
MANUFACTURER: SHERWIN WILLIAMS	
SHEEN: EGGSHELL	
PRODUCT NUMBER: SW 7069	
COLOR NAME: IRON ORE	
LOCATION: EXTERIOR PARKING GARAGE AND BUILDING SURFACES	

PT02	EXTERIOR PAINTING
SPECIFICATION SECTION: 09 91 23	
MANUFACTURER: SHERWIN WILLIAMS	
SHEEN: FLAT	
COLOR NUMBER: SW 7649	
COLOR NAME: SILVERPLATE	
LOCATION: ANNEX EXTERIOR SOFFIT	

PT03	HIGH-PERFORMANCE COATINGS
SPECIFICATION SECTION: 07 21 63	
MANUFACTURER: TNEMEC OR EQ.	
SHEEN: SATIN	
COLOR NUMBER: 34 GR	
COLOR NAME: DEEPSPACE	
LOCATION: EXPOSED STEEL FRAMING AT ANNEX EXTENSION	

PT11	INTERIOR PAINTING
SPECIFICATION SECTION: 09 91 23	
MANUFACTURER: BENJAMIN MOORE	
SHEEN: EGGSHELL	
COLOR NUMBER: OC-17	
COLOR NAME: WHITE DOVE	
LOCATION: GENERAL WALL PAINT	

PT12	INTERIOR PAINTING
SPECIFICATION SECTION: 09 91 23	
MANUFACTURER: SHERWIN WILLIAMS	
SHEEN: EGGSHELL	
COLOR NUMBER: SW 6991	
COLOR NAME: BLACK MAGIC	
LOCATION: STREET LEVEL ELEVATOR LOBBY	

RB01	RESILIENT WALL BASE AND ACCESSORIES
SPECIFICATION SECTION: 09 65 13	
MANUFACTURER: ROPPEE OR EQ.	
PRODUCT NAME: <INSERT>	
PRODUCT NUMBER: <INSERT>	
COLOR: <INSERT>	
SIZE: 4 INCHES	
FLAME SPREAD INDEX / RESISTANCE: [CLASS A]	
[CLASS B] [CLASS C] [ASTM E84]	
CONTACT: <INSERT>	
LOCATION: <INSERT GENERAL LOCATION OR USE>	
NOTES: <INSERT>	

SC01	SIMULATED STONE COUNTERTOPS
SPECIFICATION SECTION: 12 36 61	
MANUFACTURER: CORIAN QUARTZ	
COLOR: PORTORO	
LOCATION: VANITY/LAVATORY COUNTER AT CORE RESTROOMS, LEVEL 07 SHOWER ROOMS, LEVEL 01 RESTROOM	

TL01	TILING
SPECIFICATION SECTION: 09 30 00	
MANUFACTURER: CERAMICA VOGUE	
PRODUCT NAME: FLAUTI	
PRODUCT NUMBER: FL LM 20	
MATERIAL: CERAMIC TILE	
FINISH: SATIN FINISH	
SIZE: UNITS OF 8H"X12"W	
THICKNESS: 3/8"	
LOCATION: ANNEX STAIR ENTRY ACCENT WALL	
NOTES: VERTICAL ORIENTATION, ACCENT WALL TILE	

TL02	TILING
SPECIFICATION SECTION: 09 30 00	
MANUFACTURER: MOSA	
PRODUCT NAME: TERRA TONES	
PRODUCT NUMBER: MID GREY, DARK MID GREY, AND LIGHT ANTHRACITE	
MATERIAL: EXTERIOR PORCELAIN TILE	
FINISH: SATIN FINISH	
SIZE: MIX OF 6"X 24", 12"X 24", 4"X 24", AND 24"X 24"	
THICKNESS: 3/8"	
LOCATION: ANNEX TERRACE AND EXTENSION AREAS	
NOTES: STACKED, STAGGER ASHLAR PATTERN RE: ARCH DRAWINGS FOR TYP. PATTERN	

MT01	DECORATIVE METAL
SPECIFICATION SECTION: 08 44 13	
MANUFACTURER: KAWNEER	
PRODUCT NAME: 1600 WALL SYSTEM	
COLOR: CHARCOAL GRAY, 399B159	
FINISH: FLUOROPON FINISH	
LOCATION: STREET LEVEL LOBBY CURTAIN WALL	
LEVEL 08-10 OFFICE WINDOW WALL	
NOTES: MULLION COLOR	

MT11	DECORATIVE METAL
SPECIFICATION SECTION: 05 70 00	
MANUFACTURER: KLOECKNER METALS PVD	
COLOR: BLACK	
LOCATION: ELEVATOR SURROUND LEVELS 01, 07 AND 08	

PL11	PLASTIC LAMINATE - INT ARCHITECTURAL WOODWORK
SPECIFICATION SECTION: 06 40 23	
MANUFACTURER: FORMICA	
NAME / NO. / COLOR: BLACK 909	
CONTACT: Ann Benton 281-682-5253	
a.benton@dakotahardwoods.com	
LOCATION: VANITY/LAVATORY COUNTER SKIRT AT CORE RESTROOMS, LEVEL 07 SHOWER ROOMS, LEVEL 01 RESTROOM	

PL12	PLASTIC LAMINATE - INT ARCHITECTURAL WOODWORK
SPECIFICATION SECTION: 06 40 23	
MANUFACTURER: FORMICA	
COLOR: FINNISH OAK 118-58	
FINISH: MATTE	
CONTACT: Ann Benton 281-682-5253	
a.benton@dakotahardwoods.com	
LOCATION: SECURITY/ MAILROOM MILLWORK	

BP01	PARTITION SYSTEMS
SPECIFICATION SECTION: 10 21 13	
MANUFACTURER: ASI	
GLOBAL TOILET PARTITIONS	
COLOR: WOOD GRAIN FINISH	
LOCATION: CORE RESTROOM TOILET PARTITIONS	

CL11	GYPSUM BOARD CEILINGS
SPECIFICATION SECTION: 09 51 13	
COLOR: WHITE	
FINISH: FLAT FINISH	
NOTES: PAINTED GYP. CEILING	

CL12	ACOUSTICAL TILE CEILINGS
SPECIFICATION SECTION: 09 51 23	
MANUFACTURER: ARMSTRONG WORLD INDUSTRIES INC.	
COLOR: WHITE	
SIZE: 12 BY 12 INCHES	
THICKNESS: 3/4"	
PANEL EDGE: SQUARE	
TILE EDGE: BEVELED TEGULAR 9/16"	
INSTALLATION: GRID SUSPENSION SYSTEM	
FLAME SPREAD INDEX / RESISTANCE: CLASS A	

CL##	LINEAR METAL CEILINGS
SPECIFICATION SECTION: 09 54 23	
MANUFACTURER: [ARMSTRONG WORLD INDUSTRIES INC.] [CEILINGS PLUS] [CHICAGO METALLIC CORPORATION] [USG INTERIORS INC.] <INSERT MANUFACTURER>	
PRODUCT NAME: <INSERT>	
PRODUCT NUMBER: <INSERT>	
FINISH: <INSERT>	
FLAME SPREAD INDEX / RESISTANCE: [CLASS A]	
[CLASS B] [CLASS C] [ASTM E84]	
CONTACT: <INSERT>	
LOCATION: <INSERT GENERAL LOCATION OR USE>	
NOTES: <INSERT>	

FG11	WALK OFF MAT
SPECIFICATION SECTION: 12 48 13	
MANUFACTURER: CONSTRUCTION SPECIALTIES	
PRODUCT NAME: PEDIMAT	
PRODUCT NUMBER: M1	
TYPE: RECESSED LEVEL BASE FRAME	
THICKNESS: MAT: 1/2", ALUMINUM BASE FRAME: 1/4"	
INSTALLATION: 3/4" RECESS ON CONCRETE SLAB	
COLOR: CARPET INSERT - 9322 SLATE	
THICKNESS: MAT: 1/2", ALUMINUM BASE FRAME: 1/4"	
WEARING SURFACE: [TEXTURED FOR SLIP RESISTANCE] [MANUFACTURER'S STANDARD ORANGE-PEEL TEXTURE] [SMOOTH] <INSERT DESCRIPTION>	
LOCATION: LEVEL 01 LOBBY ENTRANCE	

EXTERIOR FINISHES

CL01	LINEAR METAL CEILINGS
SPECIFICATION SECTION: 09 54 26	
MANUFACTURER: LONG BOARD OR EQ.	
MATERIAL: "WOOD LOOK" ALUM. PANEL SOFFIT SYSTEM	
"WOOD LOOK" METAL PANEL SOFFIT	
FINISH: TBD	
COLOR NAME: TBD	
FLAME SPREAD INDEX / RESISTANCE: CLASS A	
LOCATION: LEVEL 08-10 EXTERIOR SOFFITT	

CL02	PLASTER SOFFIT
SPECIFICATION SECTION: 09 25 13	
MANUFACTURER: USG OR EQ.	
COLOR: PT02	
FINISH: SMOOTH TEXTURE	
SHEEN: FLAT	
FLAME SPREAD INDEX / RESISTANCE: CLASS A	
LOCATION: ANNEX BUILDING EXTERIOR SOFFIT CONDITIONS LEVEL 01 AND LEVEL 02	
NOTES: SMOOTH MONOLITHIC FINISH WITH MINIMAL CONTROL JOINTS	

CL03	METAL PANEL SOFFIT
SPECIFICATION SECTION: 07 42 13	
MANUFACTURER: KOVACH OR EQ.	
MATERIAL: FORMED ALUM. SOFFIT PANEL	
COLOR: CLASSIC COPPER	
FINISH: FLUROPON 3 COAT	
LOCATION: LEVEL 01 EXTERIOR BREEZEWAY SOFFIT	
NOTES: HUNG FROM EXISTING SOFFIT, SHOULD INCLUDE INTEGRAL LED LINEAR LIGHTING ACCENT	

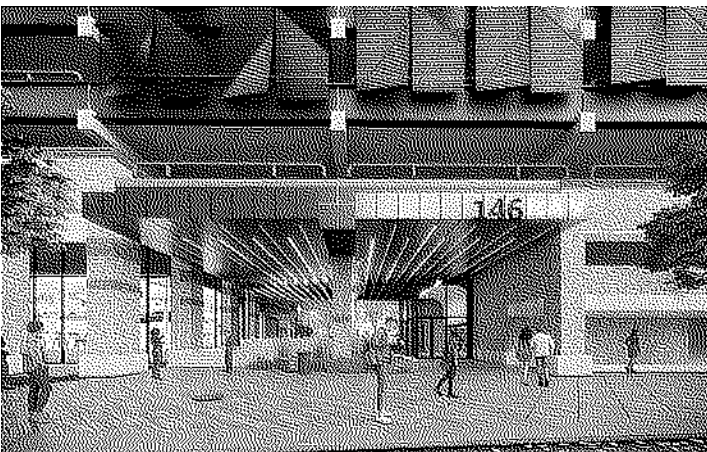
GL01	GLAZING
SPECIFICATION SECTION: 08 80 00	
MANUFACTURER: VIRACON	
PRODUCT NAME: VLE1-70	
TYPE: LAMINATED GLASS HS/HS	
COLOR: CLEAR	
LOCATION: STREET LEVEL LOBBY VESTIBULE	



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## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



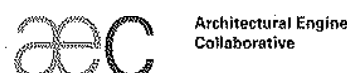
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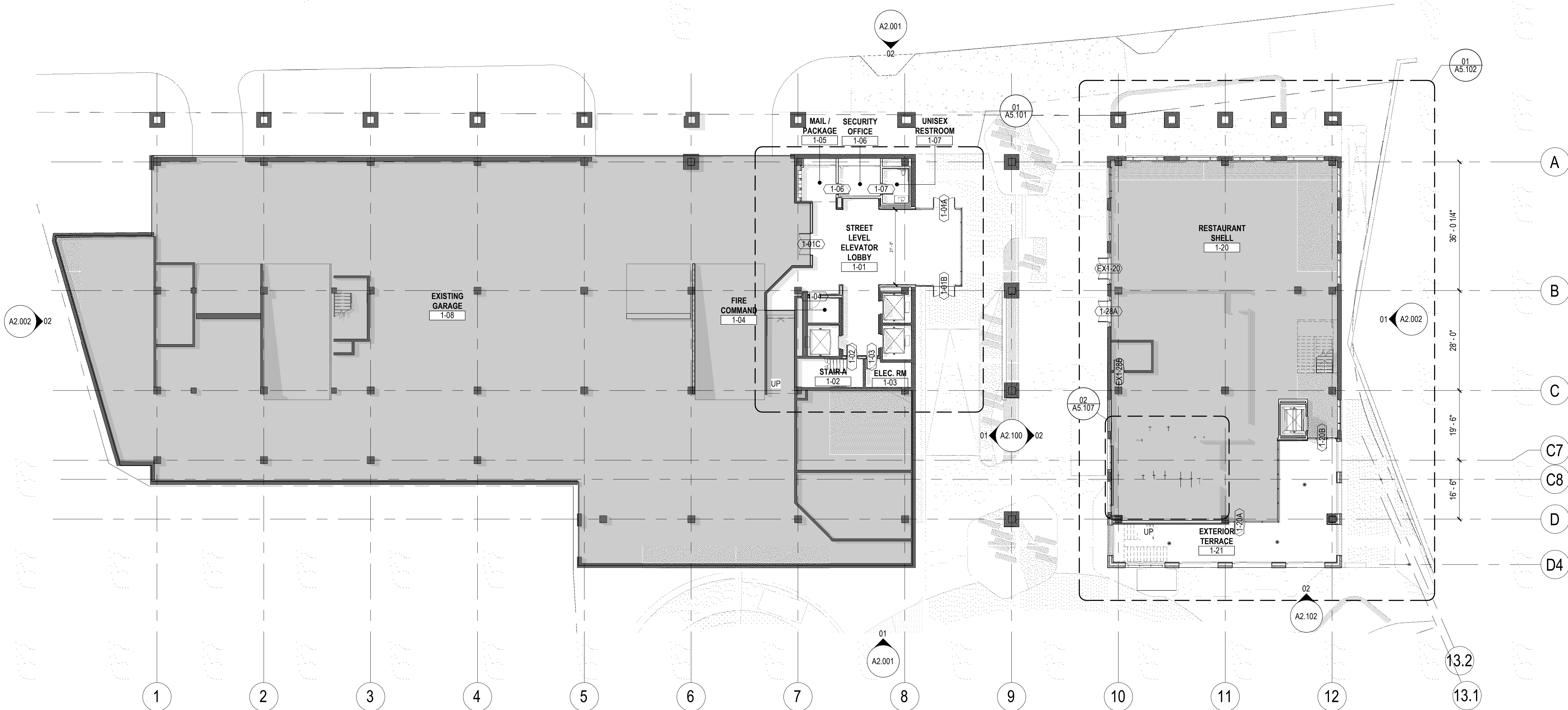
CONSTRUCTION PLAN - LEVEL 01

Scale

1/16" = 1'-0"

# A1.101

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## 01 CONSTRUCTION PLAN - LEVEL 01

SCALE: 1/16" = 1'-0"

### SHEET NOTES

### GENERAL NOTES

- ALL DIMENSIONS OF EXISTING BUILDING ELEMENTS ARE TO BE VERIFIED IN FIELD.
- RE: G1.001 DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- RE: G2.001 SHEET FOR CODE ANALYSIS RELATED TO PROJECT.
- ALL PARTITIONS TO BE TYPE "A3A", UNO, ALL FURRED-OUT PARTITIONS TO BE TYPE "D3", UNO, RE: G5.001 FOR PARTITION TYPES.
- DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: A10.100 FOR DOOR SCHEDULE AND TYPES.
- EXISTING DOORS, FRAMES, AND HARDWARE AFFECTED BY SCOPE OR AS NOTED IN THE DRAWINGS SHALL BE REPLACED. EXISTING DOORS NOT AFFECTED BY WORK SHALL REMAIN. PROTECT DURING CONSTRUCTION. RE: G6.100 FOR DOOR SCHEDULE INFORMATION.
- ALL PARTITIONS AT THE WINDOW WALL ARE CENTERED ON EITHER COLUMNS OR WINDOW MULLIONS, UNO.
- COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.
- PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.



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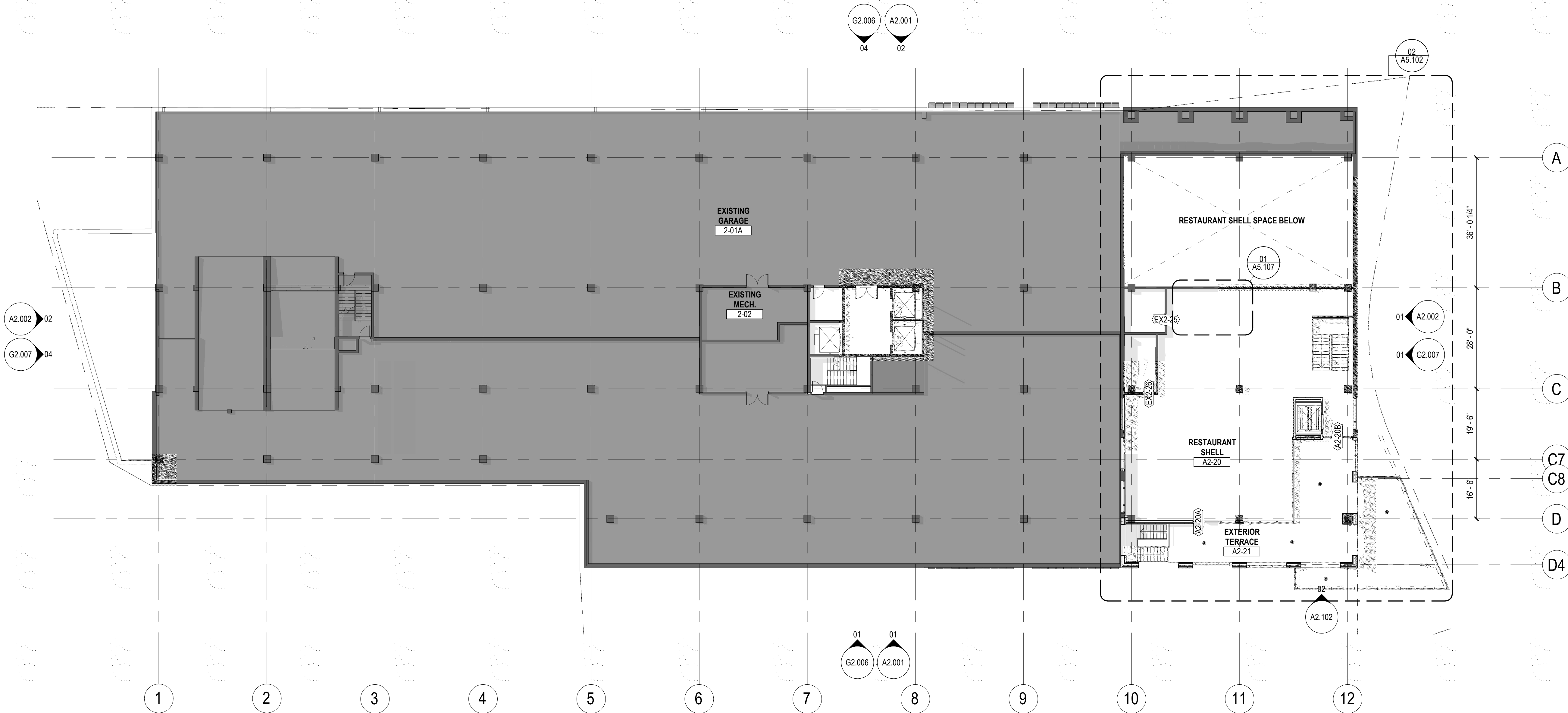
# 01 CONSTRUCTION PLAN - LEVEL 02

SCALE: 1/16" = 1'-0"

## SHEET NOTES

## GENERAL NOTES

- ALL DIMENSIONS OF EXISTING BUILDING ELEMENTS ARE TO BE VERIFIED IN FIELD.
- RE: G1.001 DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- RE: G2.001 SHEET FOR CODE ANALYSIS RELATED TO PROJECT.
- ALL PARTITIONS TO BE TYPE "A3A", UNO, ALL FURRED-OUT PARTITIONS TO BE TYPE "D3", UNO, RE: G5.001 FOR PARTITION TYPES.
- DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: A10.100 FOR DOOR SCHEDULE AND TYPES.
- EXISTING DOORS, FRAMES, AND HARDWARE AFFECTED BY SCOPE OR AS NOTED IN THE DRAWINGS SHALL BE REPLACED. EXISTING DOORS NOT AFFECTED BY WORK SHALL REMAIN. PROTECT DURING CONSTRUCTION. RE: G6.100 FOR DOOR SCHEDULE INFORMATION.
- ALL PARTITIONS AT THE WINDOW WALL ARE CENTERED ON EITHER COLUMNS OR WINDOW MULLIONS, UNO.
- COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.
- PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.



## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



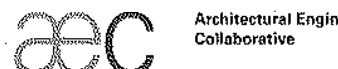
## Gensler

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Tel 210.890.4200



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Architecture  
201 Grovelton St  
San Antonio, Texas 78210  
Tel 210.514.5582

Date	Description
07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

CONSTRUCTION PLAN - LEVEL 02

Scale

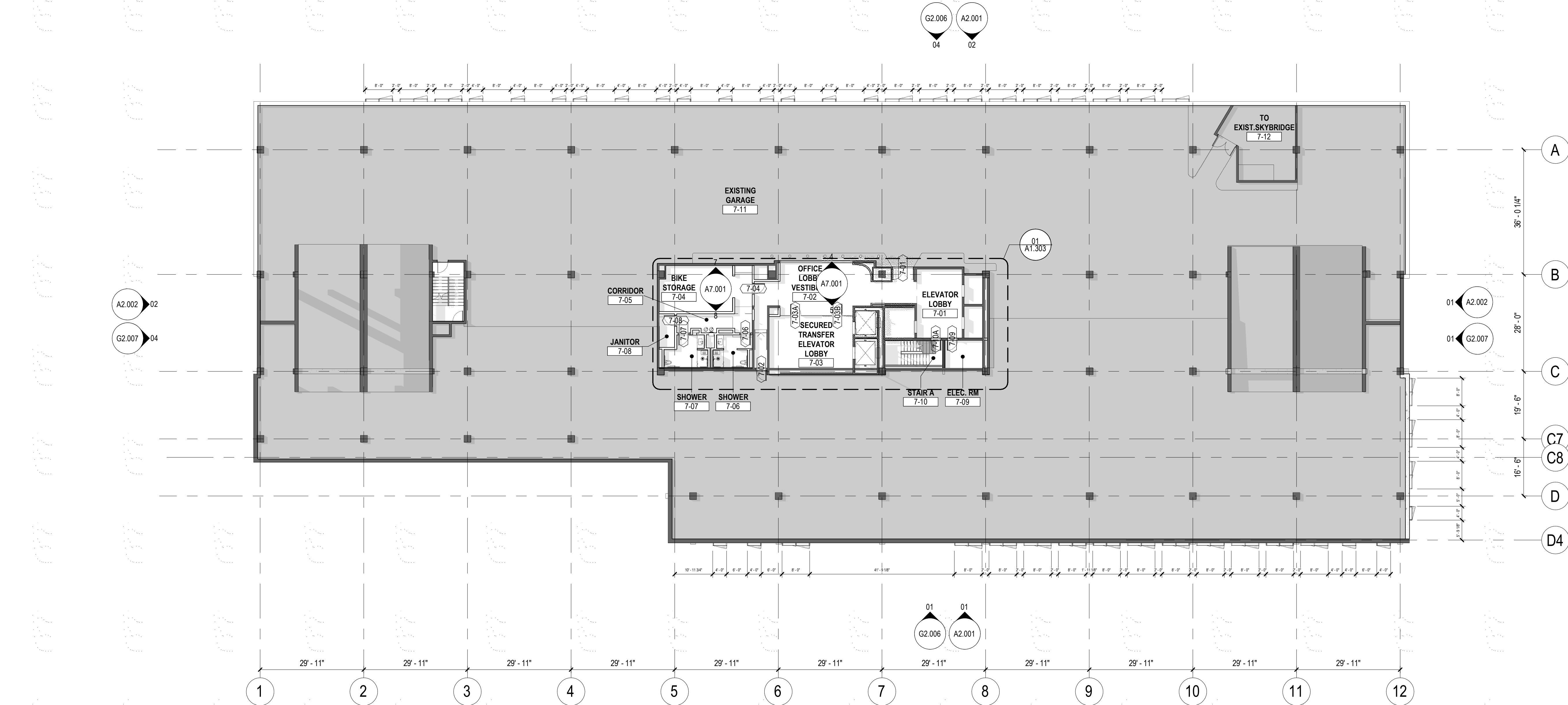
1/16" = 1'-0"

## A1.102

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## 01 ENLARGED PLAN - LEVEL 07 TRANSFER CORE

SCALE: 1/16" = 1'-0"

### SHEET NOTES

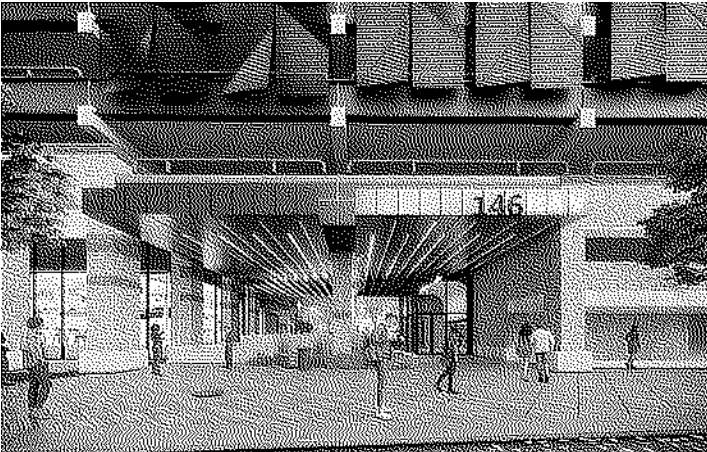
### GENERAL NOTES

- ALL DIMENSIONS OF EXISTING BUILDING ELEMENTS ARE TO BE VERIFIED IN FIELD.
- RE: G1.001 DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- RE: G2.001 SHEET FOR CODE ANALYSIS RELATED TO PROJECT.
- ALL PARTITIONS TO BE TYPE "A3A", UNO, ALL FURRED-OUT PARTITIONS TO BE TYPE "D3", UNO, RE: G5.001 FOR PARTITION TYPES.
- DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: A10.100 FOR DOOR SCHEDULE AND TYPES.
- EXISTING DOORS, FRAMES, AND HARDWARE AFFECTED BY SCOPE OR AS NOTED IN THE DRAWINGS SHALL BE REPLACED. EXISTING DOORS NOT AFFECTED BY WORK SHALL REMAIN. PROTECT DURING CONSTRUCTION. RE: G6.100 FOR DOOR SCHEDULE INFORMATION.
- ALL PARTITIONS AT THE WINDOW WALL ARE CENTERED ON EITHER COLUMNS OR WINDOW MULLIONS, UNO.
- COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.
- PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.

### KEY PLAN

## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



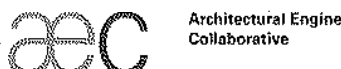
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Tel 210.514.5582

Date	Description
A 07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

CONSTRUCTION PLAN - LEVEL 07

Scale

1/16" = 1'-0"

# A1.107

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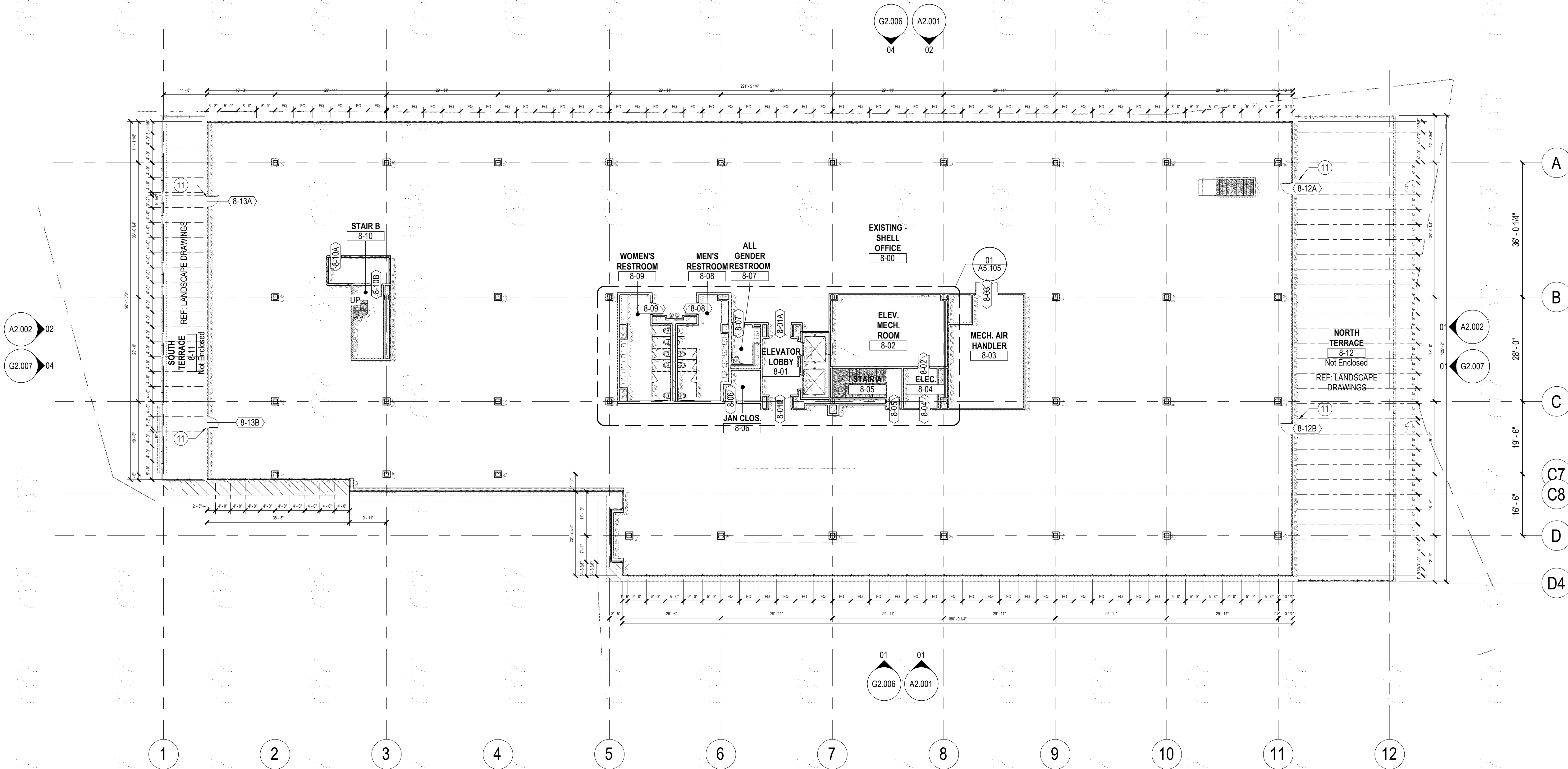
# 01 CONSTRUCTION PLAN - LEVEL 08

SCALE: 1/16" = 1'-0"

## SHEET NOTES

## GENERAL NOTES

- ALL DIMENSIONS OF EXISTING BUILDING ELEMENTS ARE TO BE VERIFIED IN FIELD.
- RE: G1.001 DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- RE: G2.001 SHEET FOR CODE ANALYSIS RELATED TO PROJECT.
- ALL PARTITIONS TO BE TYPE "A3A", UNO, ALL FURRED-OUT PARTITIONS TO BE TYPE "D3", UNO, RE: G5.001 FOR PARTITION TYPES.
- DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: A10.100 FOR DOOR SCHEDULE AND TYPES.
- EXISTING DOORS, FRAMES, AND HARDWARE AFFECTED BY SCOPE OR AS NOTED IN THE DRAWINGS SHALL BE REPLACED. EXISTING DOORS NOT AFFECTED BY WORK SHALL REMAIN. PROTECT DURING CONSTRUCTION. RE: G6.100 FOR DOOR SCHEDULE INFORMATION.
- ALL PARTITIONS AT THE WINDOW WALL ARE CENTERED ON EITHER COLUMNS OR WINDOW MULLIONS, UNO.
- COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.
- PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.



## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



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Date	Description
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B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

CONSTRUCTION PLAN - LEVEL 08

Scale

1/16" = 1'-0"

# A1.108

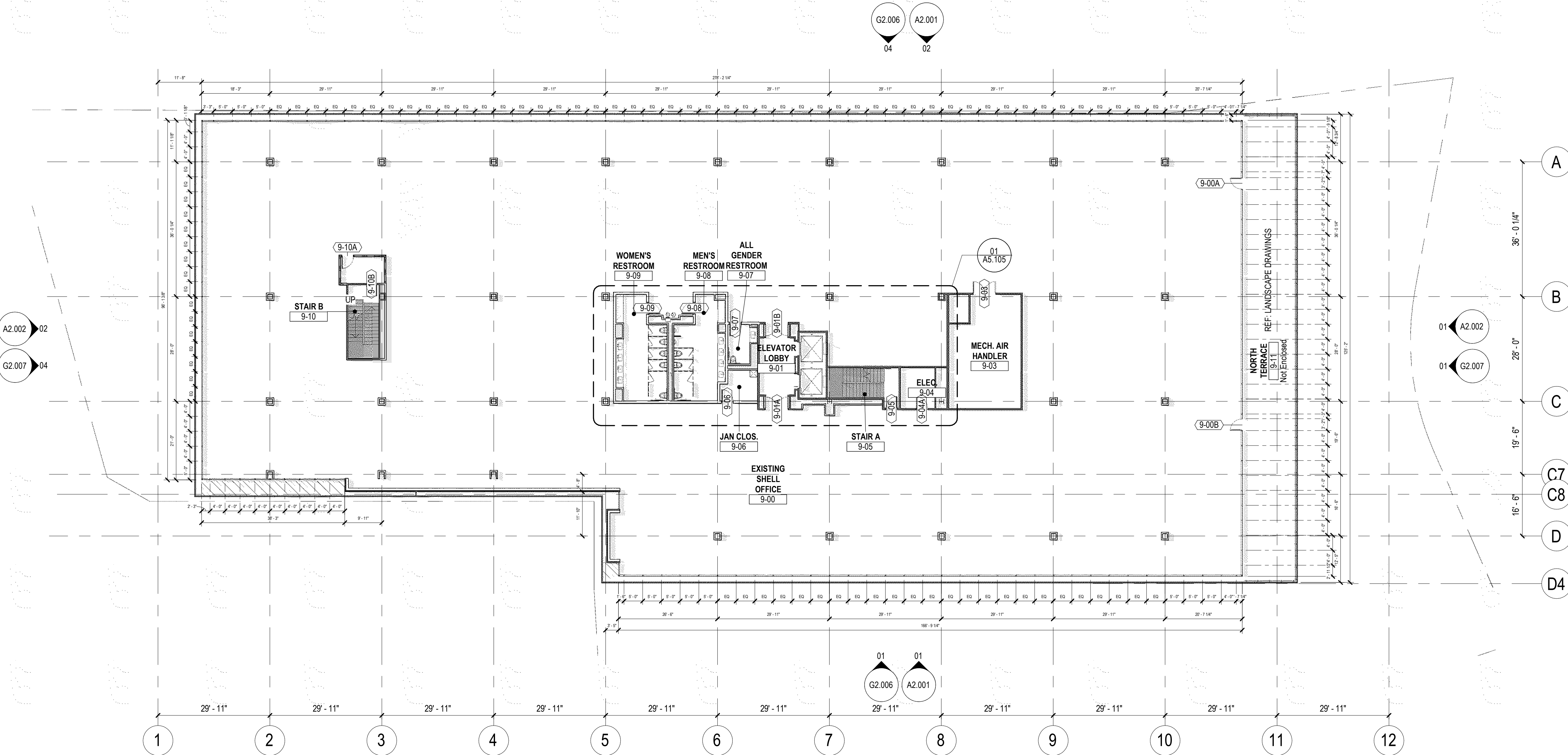
# 01 CONSTRUCTION PLAN - LEVEL 09 - P3

SCALE: 1/16" = 1'-0"

## SHEET NOTES

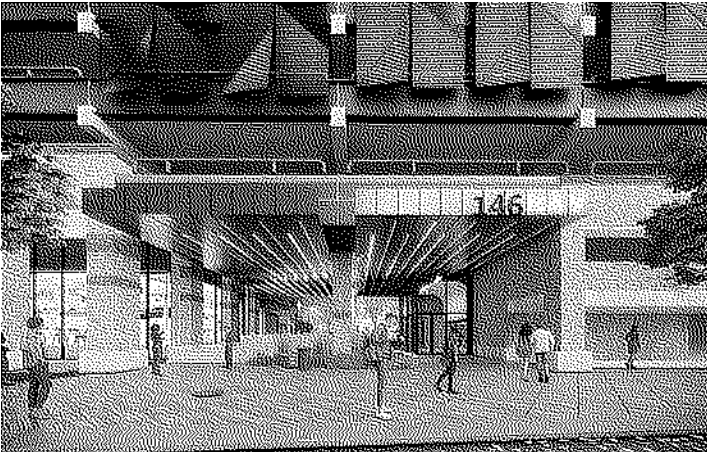
## GENERAL NOTES

- ALL DIMENSIONS OF EXISTING BUILDING ELEMENTS ARE TO BE VERIFIED IN FIELD.
- RE: G1.001 DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- RE: G2.001 SHEET FOR CODE ANALYSIS RELATED TO PROJECT.
- ALL PARTITIONS TO BE TYPE "A3A", UNO. ALL FURRED-OUT PARTITIONS TO BE TYPE "D3", UNO. RE: G5.001 FOR PARTITION TYPES.
- DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: A10.100 FOR DOOR SCHEDULE AND TYPES.
- EXISTING DOORS, FRAMES, AND HARDWARE AFFECTED BY SCOPE OR AS NOTED IN THE DRAWINGS SHALL BE REPLACED. EXISTING DOORS NOT AFFECTED BY WORK SHALL REMAIN. PROTECT DURING CONSTRUCTION. RE: G6.100 FOR DOOR SCHEDULE INFORMATION.
- ALL PARTITIONS AT THE WINDOW WALL ARE CENTERED ON EITHER COLUMNS OR WINDOW MULLIONS, UNO.
- COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.
- PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.



## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



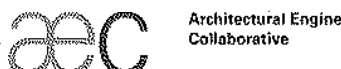
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Date	Description
A 07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

CONSTRUCTION PLAN - LEVEL 09

Scale

1/16" = 1'-0"

## A1.109



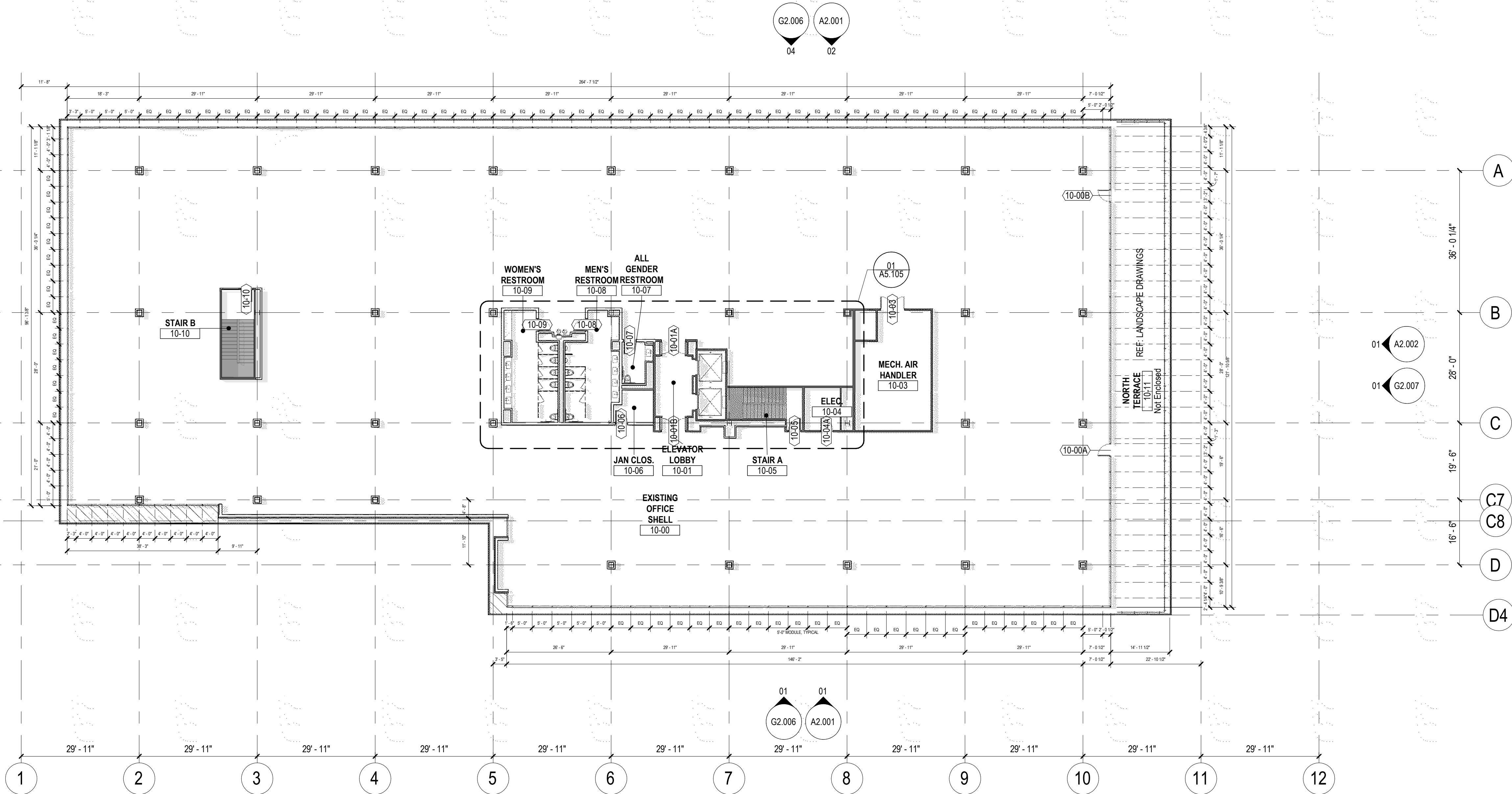
# 01 CONSTRUCTION PLAN - LEVEL 10 - P3

SCALE: 1/16" = 1'-0"

## SHEET NOTES

## GENERAL NOTES

- A. ALL DIMENSIONS OF EXISTING BUILDING ELEMENTS ARE TO BE VERIFIED IN FIELD.
- B. RE: G1.001 DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- C. RE: G2.001 SHEET FOR CODE ANALYSIS RELATED TO PROJECT.
- D. ALL PARTITIONS TO BE TYPE "A3A", UNO. ALL FURRED-OUT PARTITIONS TO BE TYPE "D3", UNO. RE: G5.001 FOR PARTITION TYPES.
- E. DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: A10.100 FOR DOOR SCHEDULE AND TYPES.
- F. EXISTING DOORS, FRAMES, AND HARDWARE AFFECTED BY SCOPE OR AS NOTED IN THE DRAWINGS SHALL BE REPLACED. EXISTING DOORS NOT AFFECTED BY WORK SHALL REMAIN. PROTECT DURING CONSTRUCTION. RE: G6.100 FOR DOOR SCHEDULE INFORMATION.
- G. ALL PARTITIONS AT THE WINDOW WALL ARE CENTERED ON EITHER COLUMNS OR WINDOW MULLIONS, UNO.
- H. COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.
- I. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.



## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



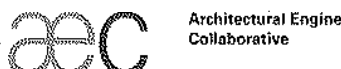
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B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

CONSTRUCTION PLAN - LEVEL 10

Scale

1/16" = 1'-0"

# A1.110

11/29/2021 2:04:38 PM BM\_360/122.0039.000 - 146 Navarro Repositioning/Architecture - 122.0039.000\_146NAV.rvt

# 01 REFLECTED CEILING PLAN - LEVEL 07 - P3

SCALE: 1/16" = 1'-0"

## SHEET NOTES

## GENERAL NOTES

- A. ALL DIMENSIONS OF EXISTING BUILDING ELEMENTS ARE TO BE VERIFIED IN FIELD.

B. RE: G1.001 DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.

C. RE: G2.001 SHEET FOR CODE ANALYSIS RELATED TO PROJECT.

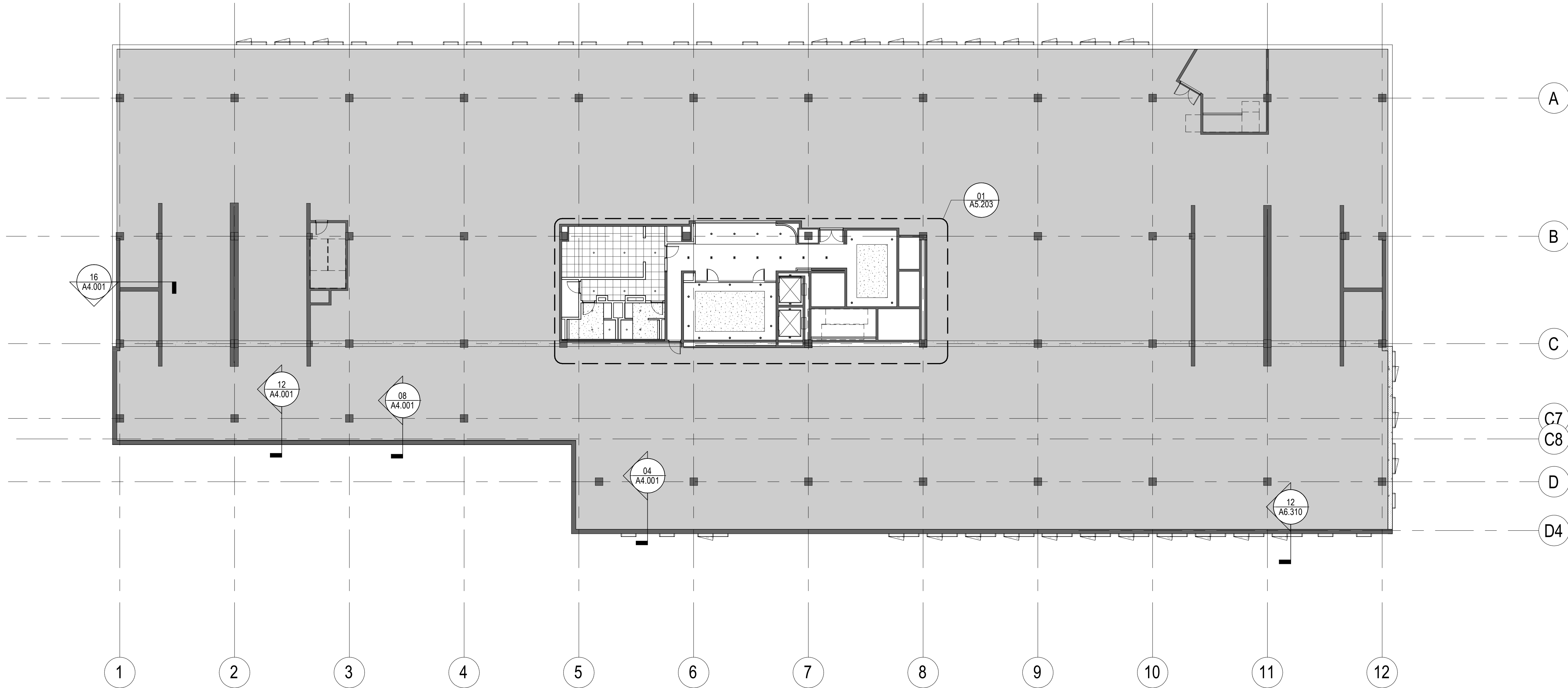
D. ALL PARTITIONS TO BE TYPE "A3A", UNO. ALL FURRED-OUT PARTITIONS TO BE TYPE "D3", UNO. RE: G5.001 FOR PARTITION TYPES.

E. DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: A10.100 FOR DOOR SCHEDULE AND TYPES.

F. EXISTING DOORS, FRAMES, AND HARDWARE AFFECTED BY SCOPE OR AS NOTED IN THE DRAWINGS SHALL BE REPLACED. EXISTING DOORS NOT AFFECTED BY WORK SHALL REMAIN; PROTECT DURING CONSTRUCTION. RE: G6.100 FOR DOOR SCHEDULE INFORMATION

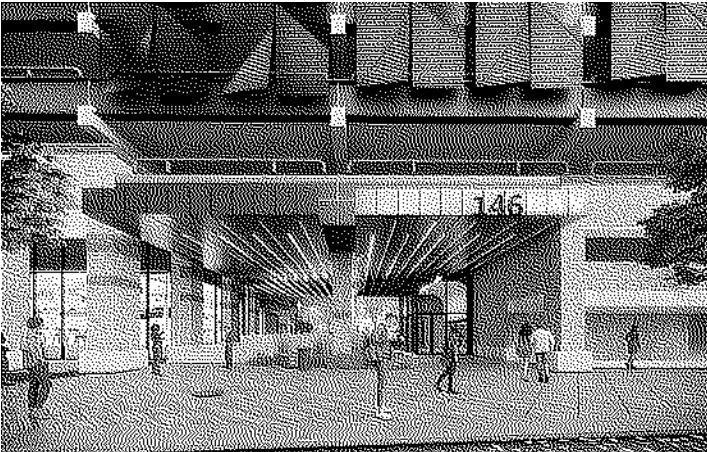
G. ALL PARTITIONS AT THE WINDOW WALL ARE CENTERED ON EITHER COLUMNS OR WINDOW MULLIONS, UNO.
- H. COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.

I. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.



## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



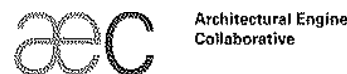
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Tel 210.314.5582

Date	Description
A 07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

REFLECTED CEILING PLAN - LEVEL 07

Scale

1/16" = 1'-0"

## A1.207

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# 01 REFLECTED CEILING PLAN - LEVEL 08 - P3

SCALE: 1/16" = 1'-0"

## SHEET NOTES

## GENERAL NOTES

- A. ALL DIMENSIONS OF EXISTING BUILDING ELEMENTS ARE TO BE VERIFIED IN FIELD.

B. RE: G1.001 DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.

C. RE: G2.001 SHEET FOR CODE ANALYSIS RELATED TO PROJECT.

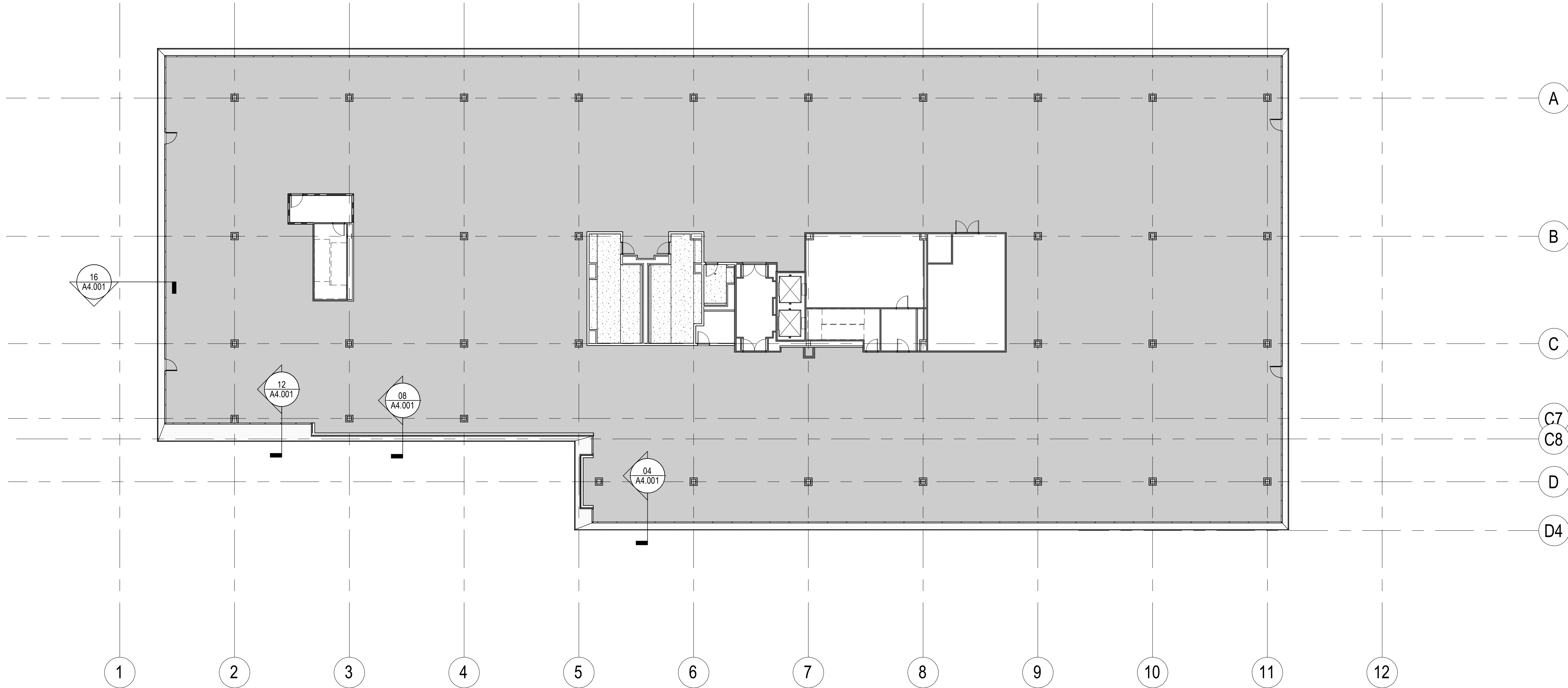
D. ALL PARTITIONS TO BE TYPE "A3A", UNO. ALL FURRED-OUT PARTITIONS TO BE TYPE "D3", UNO. RE: G5.001 FOR PARTITION TYPES.

E. DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: A10.100 FOR DOOR SCHEDULE AND TYPES.

F. EXISTING DOORS, FRAMES, AND HARDWARE AFFECTED BY SCOPE OR AS NOTED IN THE DRAWINGS SHALL BE REPLACED. EXISTING DOORS NOT AFFECTED BY WORK SHALL REMAIN; PROTECT DURING CONSTRUCTION. RE: G6.100 FOR DOOR SCHEDULE INFORMATION.

G. ALL PARTITIONS AT THE WINDOW WALL ARE CENTERED ON EITHER COLUMNS OR WINDOW MULLIONS, UNO.
- H. COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.

I. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.



## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



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Tel 210.890.4200



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Architecture  
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San Antonio, Texas 78210  
Tel 210.514.5582

Date	Description
A 07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

## NOT FOR CONSTRUCTION

Project Name	146 Navarro Repositioning CD 75%
Project Number	122.0043.000
Description	REFLECTED CEILING PLAN - LEVEL 08

Scale	1/16" = 1'-0"
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## A1.208

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# 01 REFLECTED CEILING PLAN - LEVEL 09 - P3

SCALE: 1/16" = 1'-0"

## SHEET NOTES

## GENERAL NOTES

- A. ALL DIMENSIONS OF EXISTING BUILDING ELEMENTS ARE TO BE VERIFIED IN FIELD.

B. RE: G1.001 DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.

C. RE: G2.001 SHEET FOR CODE ANALYSIS RELATED TO PROJECT.

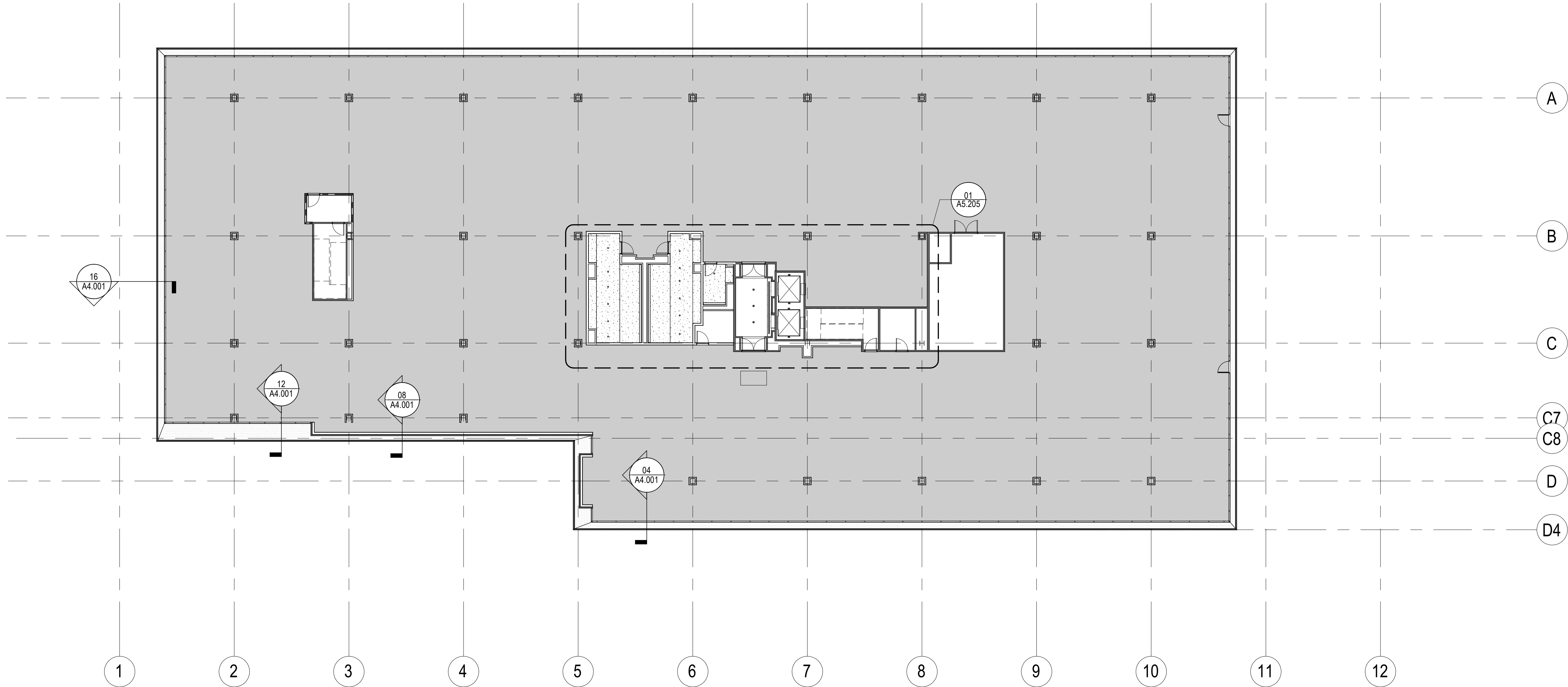
D. ALL PARTITIONS TO BE TYPE "A3A", UNO. ALL FURRED-OUT PARTITIONS TO BE TYPE "D3", UNO. RE: G5.001 FOR PARTITION TYPES.

E. DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: A10.100 FOR DOOR SCHEDULE AND TYPES.

F. EXISTING DOORS, FRAMES, AND HARDWARE AFFECTED BY SCOPE OR AS NOTED IN THE DRAWINGS SHALL BE REPLACED. EXISTING DOORS NOT AFFECTED BY WORK SHALL REMAIN. PROTECT DURING CONSTRUCTION. RE: G6.100 FOR DOOR SCHEDULE INFORMATION

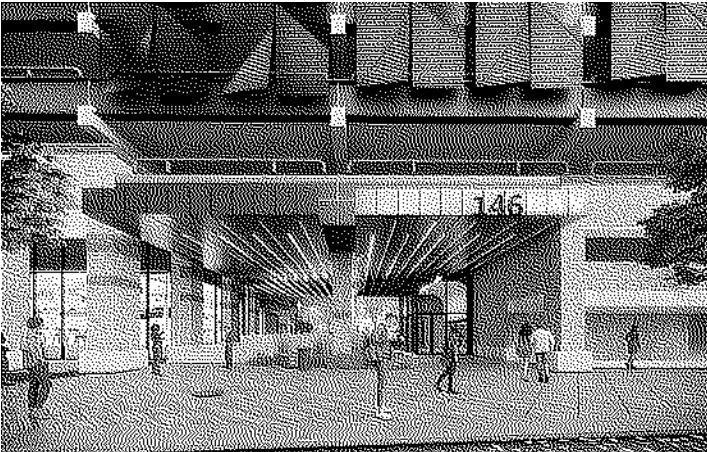
G. ALL PARTITIONS AT THE WINDOW WALL ARE CENTERED ON EITHER COLUMNS OR WINDOW MULLIONS. UNO.
- H. COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.

I. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.



## BH PROPERTIES

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Date	Description
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B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

REFLECTED CEILING PLAN - LEVEL 09

Scale

1/16" = 1'-0"

## A1.209

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# 01 REFLECTED CEILING PLAN - LEVEL 10 - P3

SCALE: 1/16" = 1'-0"

## SHEET NOTES

## GENERAL NOTES

- A. ALL DIMENSIONS OF EXISTING BUILDING ELEMENTS ARE TO BE VERIFIED IN FIELD.

B. RE: G1.001 DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.

C. RE: G2.001 SHEET FOR CODE ANALYSIS RELATED TO PROJECT.

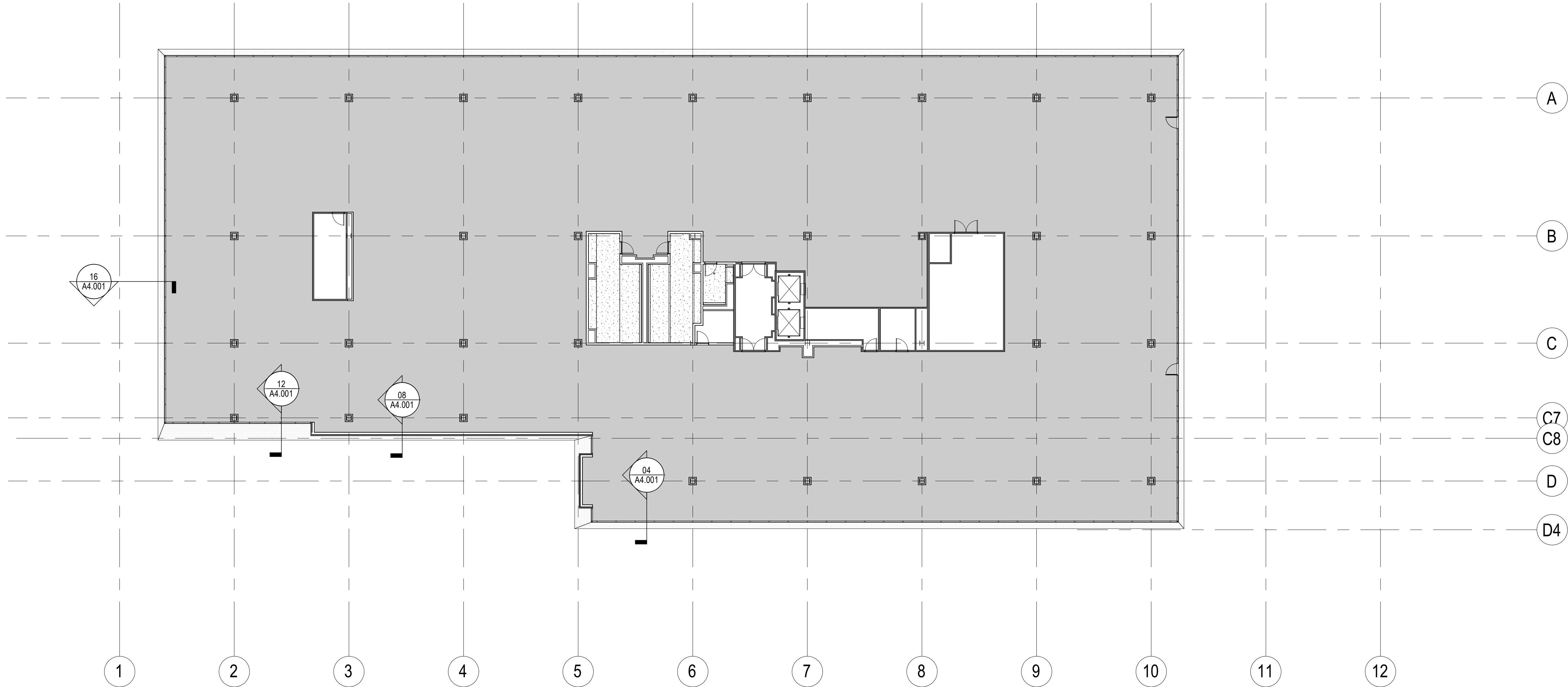
D. ALL PARTITIONS TO BE TYPE "A3A", UNO. ALL FURRED-OUT PARTITIONS TO BE TYPE "D3", UNO. RE: G5.001 FOR PARTITION TYPES.

E. DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: A10.100 FOR DOOR SCHEDULE AND TYPES.

F. EXISTING DOORS, FRAMES, AND HARDWARE AFFECTED BY SCOPE OR AS NOTED IN THE DRAWINGS SHALL BE REPLACED. EXISTING DOORS NOT AFFECTED BY WORK SHALL REMAIN. PROTECT DURING CONSTRUCTION. RE: G6.100 FOR DOOR SCHEDULE INFORMATION.

G. ALL PARTITIONS AT THE WINDOW WALL ARE CENTERED ON EITHER COLUMNS OR WINDOW MULLIONS, UNO.
- H. COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.

I. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.



## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



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Date	Description
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B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

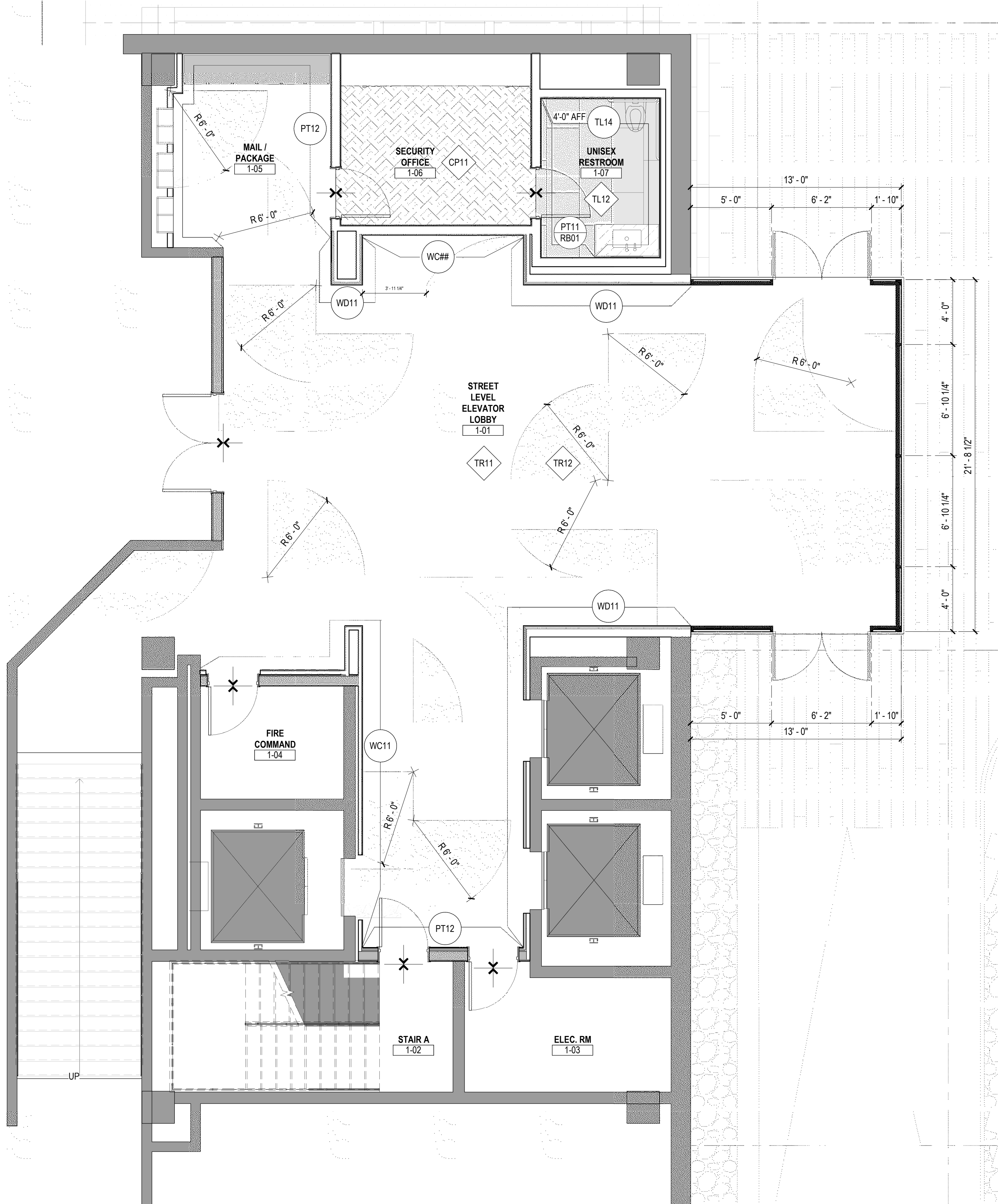
## NOT FOR CONSTRUCTION

Project Name
146 Navarro Repositioning CD 75%
Project Number
122.0043.000
Description
REFLECTED CEILING PLAN - LEVEL 10

Scale
1/16" = 1'-0"

## A1.210

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01 FINISH PLAN - LEVEL 01 LOBBY  
SCALE: 1/4" = 1'-0"

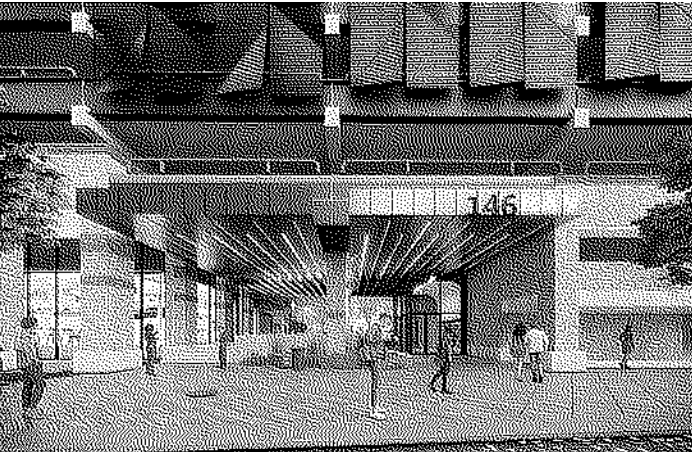
## SHEET NOTES

## GENERAL NOTES

- RE: A00 DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
- PROVIDE STRAIGHT, FLUSH RESILIENT BASE AT CARPETED AREAS, AND COVED, TOP SET RESILIENT BASE AT RESILIENT FLOORING, UNO.
- PROVIDE LEVEL 4 GYP. BOARD FINISH ON ALL PARTITIONS, UNO.
- PROVIDE MINIMUM 3-COAT PAINT SYSTEMS FOR EACH SUBSTRATE, UNO.
- PROVIDE PAINT "PT-11" ON ALL WALLS, UNO. PROVIDE EGGSHELL SHEEN, UNO.
- PROVIDE CARPET "CP-1" ON ALL FLOORS, UNO. PROVIDE RESILIENT BASE "RB-01", UNO.
- PAINT ALL DRYWALL CEILINGS "PT-XB", UNO.
- PAINT ALL OPEN PLENUM SPACE, INCLUDING DUCTWORK, CONDUIT AND OTHER EQUIPMENT "PT-XB", UNO.
- RE: DOOR SCHEDULE FOR COLOR OF DOORS AND FRAMES.
- RE: ELEVATIONS FOR MILLWORK FINISHES.
- RE: A08 SERIES FOR FLOORING TRANSITION DETAILS. COORDINATE TRANSITIONS WITH ARCHITECT.
- PAINT ALL "FEC" TO MATCH ADJACENT WALL FINISH.

# BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



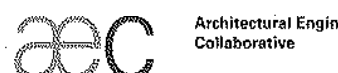
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Tel 210.890.4200



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Architecture  
201 Grovelton St  
San Antonio, Texas 78210  
Tel 210.314.5582

Date	Description
A 07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

FINISH PLAN - STREET LEVEL LOBBY

Scale

1/4" = 1'-0"

# A1.301



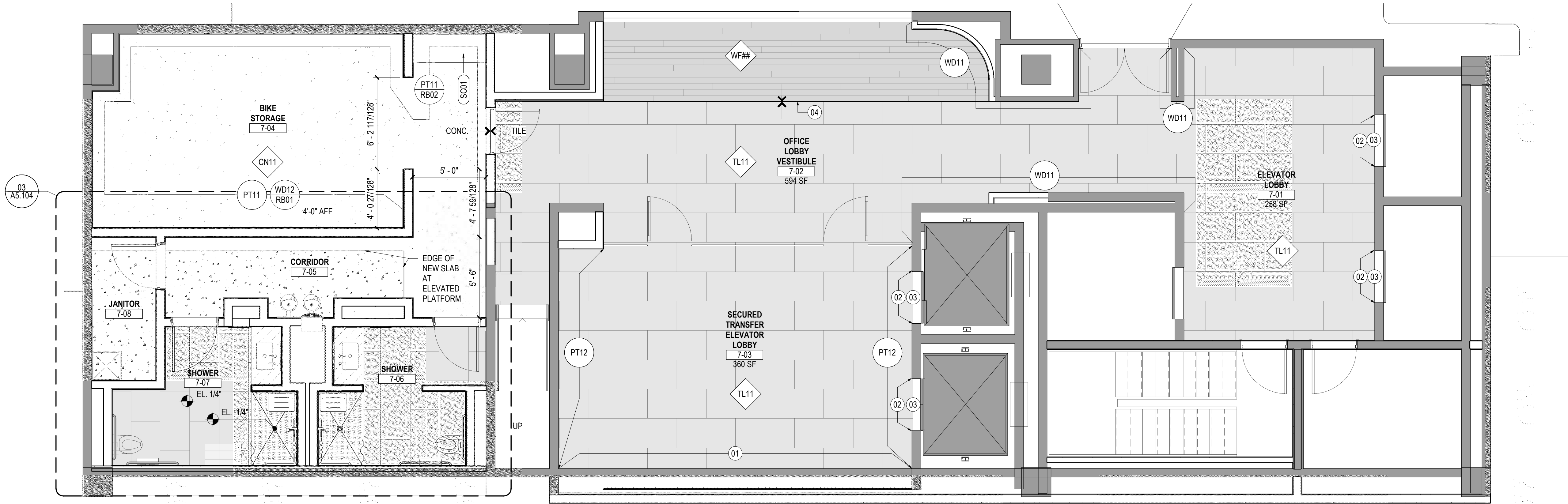
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# 01 FINISH PLAN - LEVEL 07 -TRANSFER CORE

SCALE: 1/4" = 1'-0"

## SHEET NOTES

## GENERAL NOTES



## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



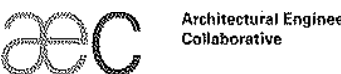
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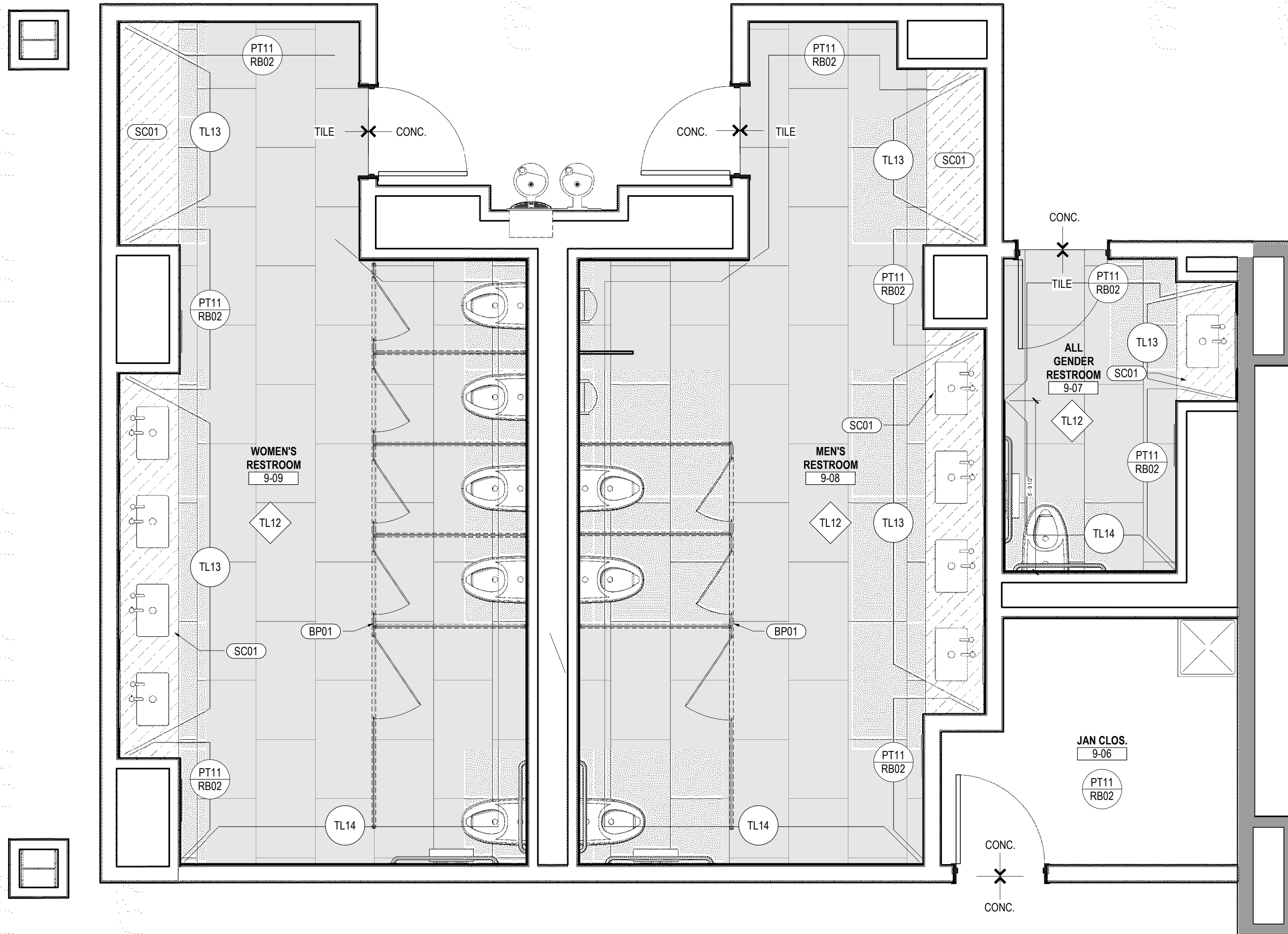
Seal / Signature

## NOT FOR CONSTRUCTION

Project Name	146 Navarro Repositioning CD 75%
Project Number	122.0043.000
Description	FINISH PLAN - LEVEL 07 TRANSFER CORE
Scale	1/4" = 1'-0"

## A1.303

11/29/2021 2:05:11 PM BM 360/122.0039.000 - 146 Navarro Repositioning/Architecture - 122.0039.000\_146NAV.rvt



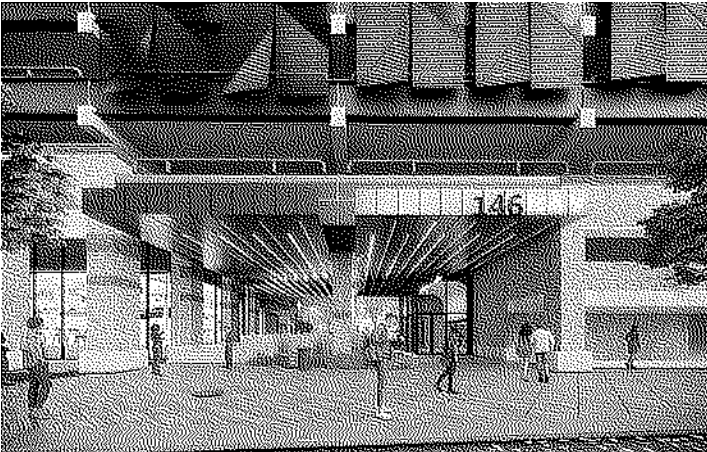
01 FINISH PLAN - CORE RESTROOMS  
SCALE: 3/8" = 1'-0"

SHEET NOTES

GENERAL NOTES

BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



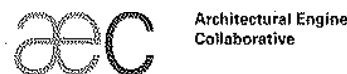
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△	Date	Description
A	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
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Seal / Signature

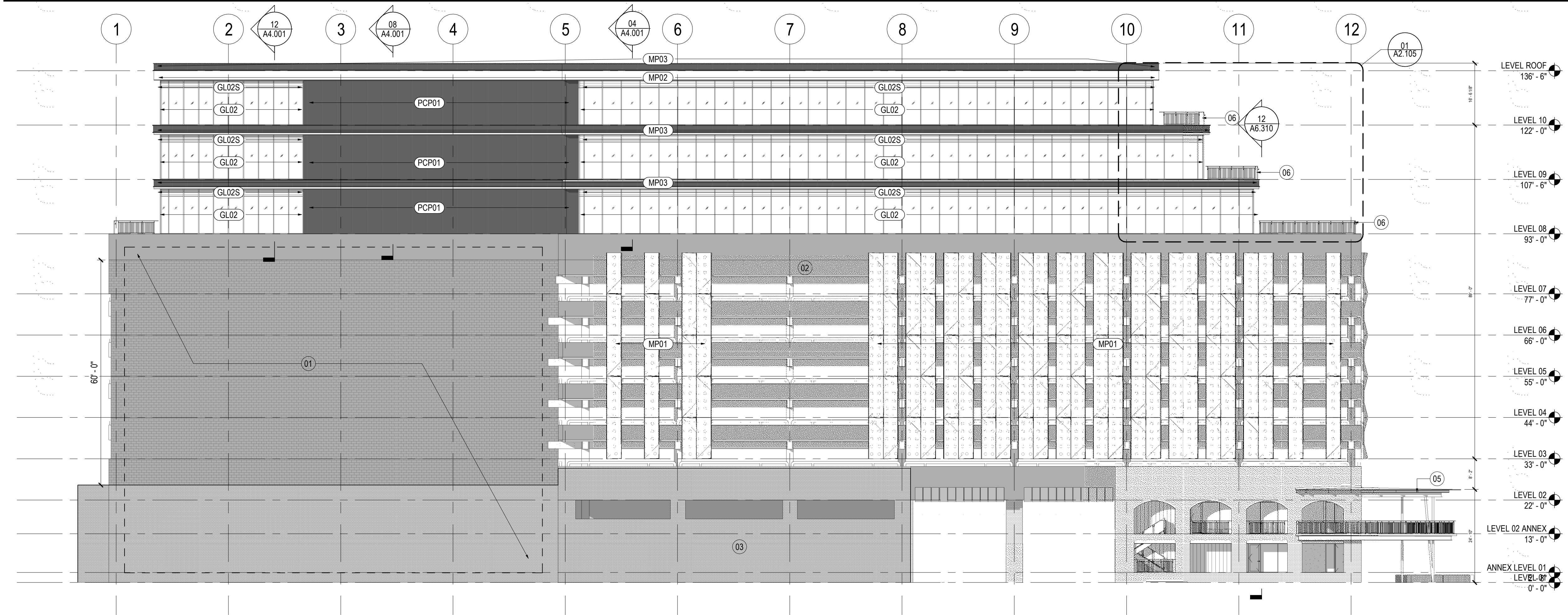
NOT FOR  
CONSTRUCTION

Project Name
146 Navarro Repositioning CD 75%
Project Number
122.0043.000
Description
FINISH PLAN - LEVEL 08-10 CORE RESTROOMS

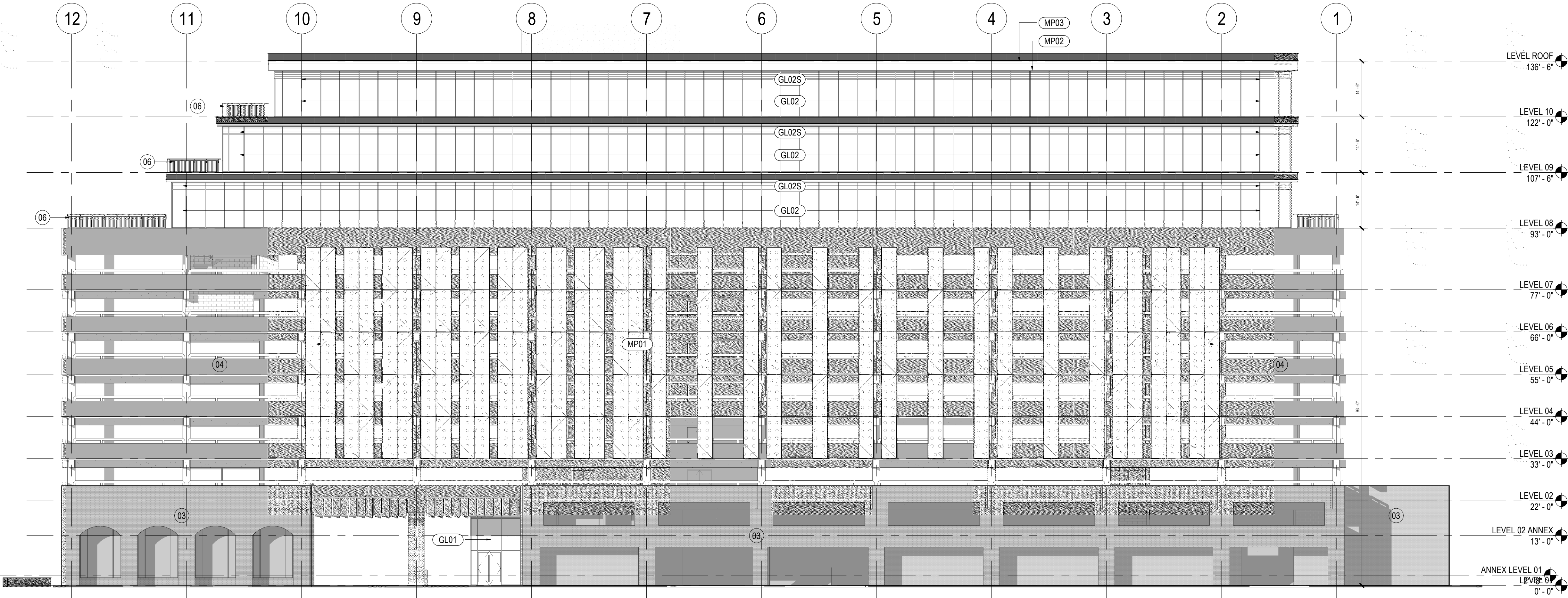
Scale  
3/8" = 1'-0"

A1.305/308





01 ELEVATION - EAST - OFFICE LEVELS  
SCALE: 1/16" = 1'-0"



02 ELEVATION - WEST - OFFICE LEVELS  
SCALE: 1/16" = 1'-0"

## SHEET NOTES

- 01 AREA RESERVED FOR FUTURE ART PROGRAM MURAL OR ASSOCIATED ART. PREPARE WALL AREA AND SURFACES TO RECEIVE NEEDS FOR ART ELEMENTS. BASE CONDITION WALL SURFACE TO BE PAINTED PTXX
- 02 OPENING RESERVED FOR FUTURE ART/ DIGITAL ART. DIMENSION AND PROGRAM TBD.
- 03 EXISTING GARAGE AND BUILDING FACADE TO REMAIN - PROTECT DURING CONSTRUCTION.
- 04 GARAGE SPANDRELS AND VERTICAL WALL FACES TO BE PAINTED PTXX. WRAP PAINT AT ALL OPENINGS AT HEAD, JAMB AND SILL CONDITION. PAINT EXISTING RAILS MATCHING COLOR.
- 05 STEEL FRAMED TERRACE AND ROOF STRUCTURE; AESS STEEL AND HIGH PERFORMANCE COATING; STANDING SEAM ROOF SYSTEM. TIE INTO EXISTING BUILDING STRUCTURE. PROTECT EXISTING OPENINGS AND FACADE DURING CONSTRUCTION
- 06 NEW "PICKET" STYLE GUARDRAIL SYSTEM; POWDER COATED FINISH; VIVA RAIL "CIRCA" STYLE SYSTEM WITH "PICKET" INFILL B.O.D.
- 07 NEW WINDOW WALL FRAMING AND GLAZING

## BH PROPERTIES

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Date	Description
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B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

## GENERAL NOTES

## EXTERIOR MATERIALS KEY

- GL02 - CLEAR GLAZING
- GL02S - SPANDREL PANEL
- CL01 - LINEAR METAL SOFFIT
- MP01 - PERFORATED METAL PANEL SYSTEM; 40% OPEN

## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

BUILDING ELEVATIONS

Scale

As indicated

A2.001

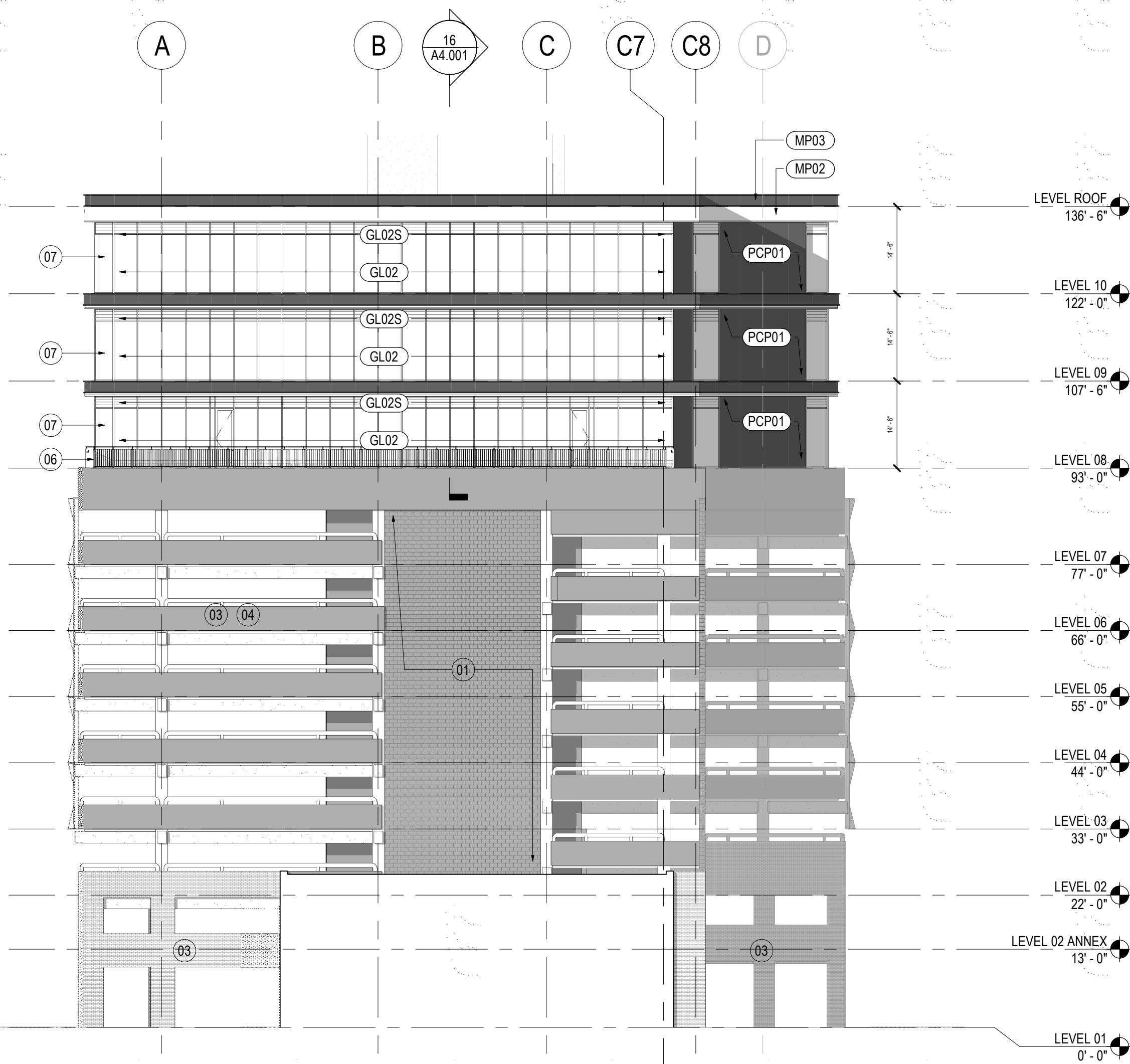
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11/29/2021 2:08:02 PM BM 360/122.0039.000 - 146 Navarro Repositioning/Architecture - 122.0039.000\_146NAV.rvt

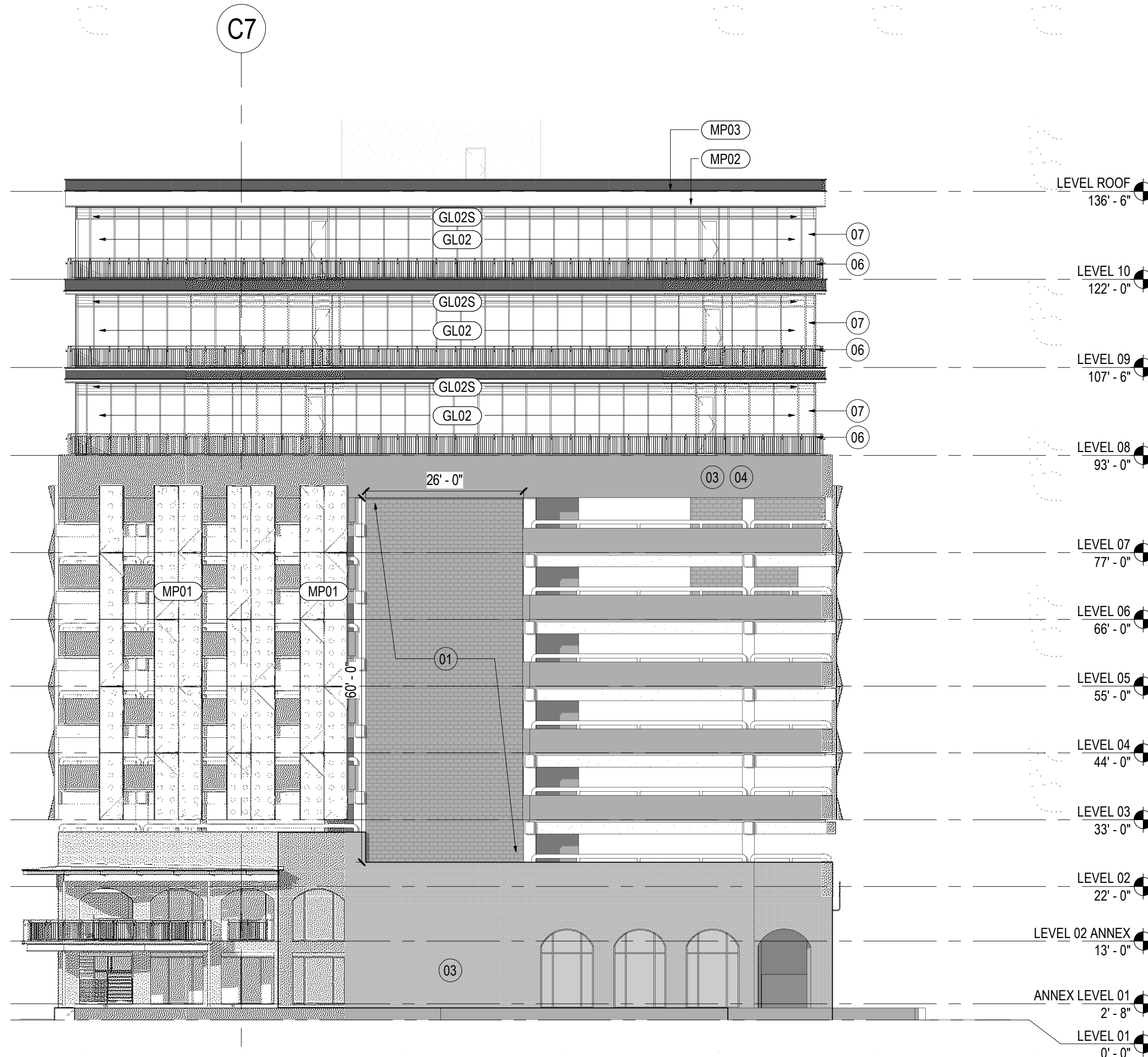
## 02 ELEVATION - SOUTH - OFFICE LEVELS

SCALE: 1/16" = 1'-0"



## 01 ELEVATION - NORTH - OFFICE LEVELS

SCALE: 1/16" = 1'-0"



### SHEET NOTES

- 01 AREA RESERVED FOR FUTURE ART PROGRAM MURAL OR ASSOCIATED ART. PREPARE WALL AREA AND SURFACES TO RECEIVE NEEDS FOR ART ELEMENTS. BASE CONDITION WALL SURFACE TO BE PAINTED PTXX
- 02 OPENING RESERVED FOR FUTURE ART/ DIGITAL ART. DIMENSION AND PROGRAM TBD.
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- 06 NEW "PICKET" STYLE GUARDRAIL SYSTEM; POWDER COATED FINISH; VIVA RAIL "CIRCA" STYLE SYSTEM WITH "PICKET" INFILL B.O.D.
- 07 NEW WINDOW WALL FRAMING AND GLAZING

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Tel 210.314.5582

Date	Description
B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

### GENERAL NOTES

Seal / Signature

## NOT FOR CONSTRUCTION

### EXTERIOR MATERIALS KEY

- |  |  |
|--|--|
|  | GL02 - CLEAR GLAZING                           |
|  | GL02S - SPANDREL PANEL                         |
|  | CL01 - LINEAR METAL SOFFIT                     |
|  | MP01 - PERFORATED METAL PANEL SYSTEM; 40% OPEN |

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

BUILDING ELEVATIONS

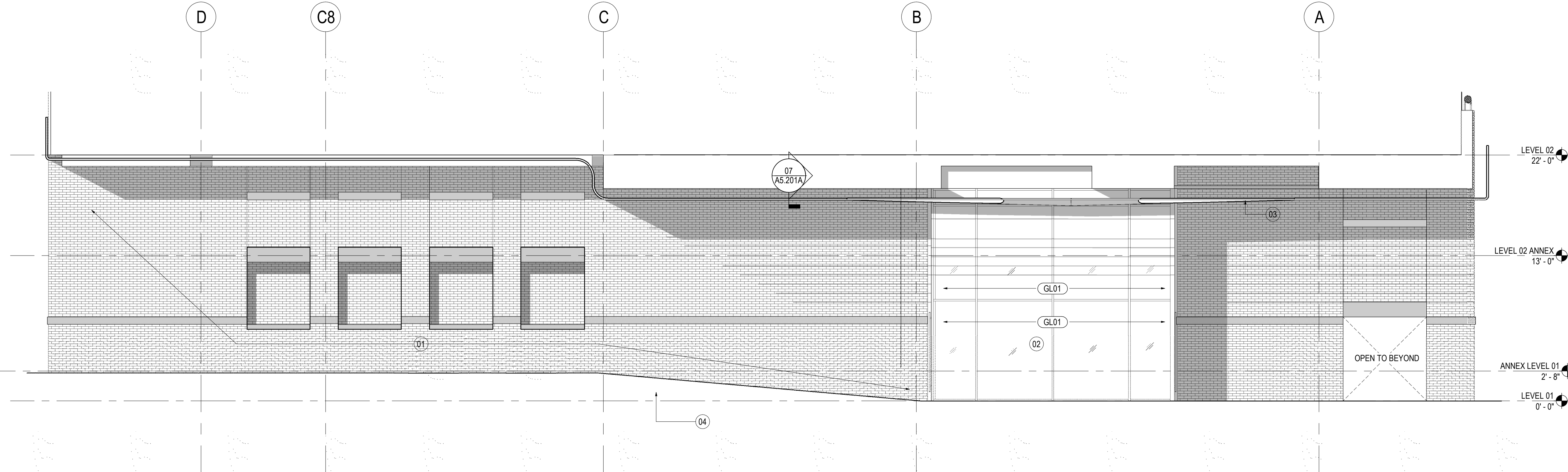
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As indicated

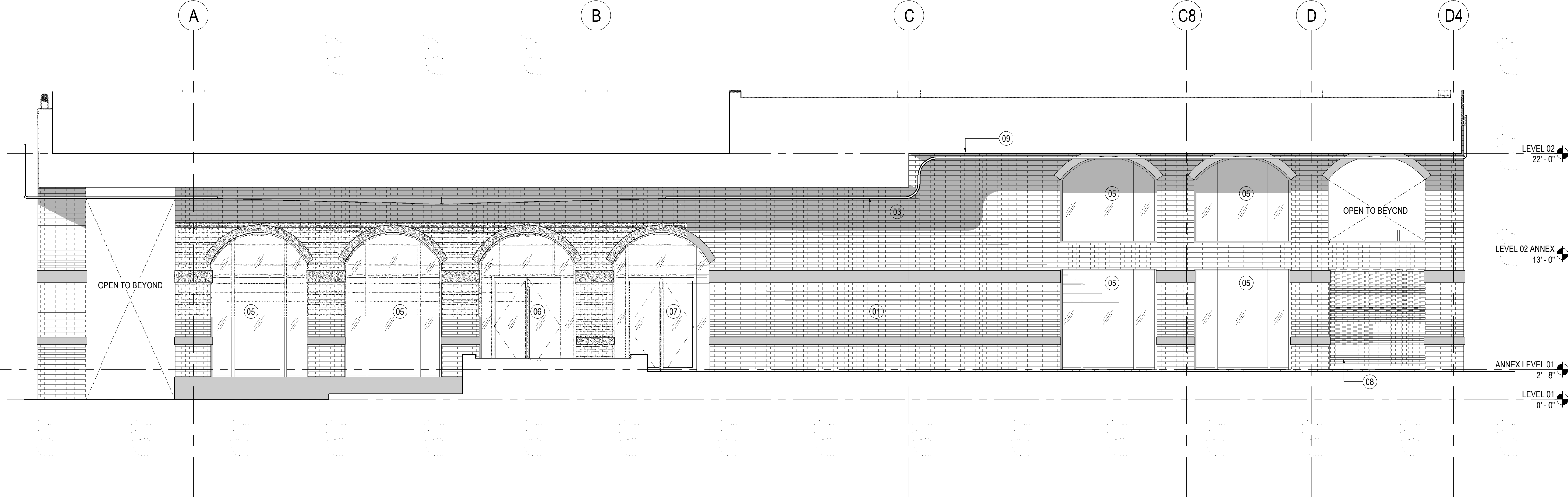
## A2.002

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01 EXTERIOR ELEVATION - PASEO WEST  
SCALE: 3/16" = 1'-0"



02 EXTERIOR ELEVATION - PASEO EAST  
SCALE: 3/16" = 1'-0"

SHEET NOTES

- 01 EXISTING WALL CONDITION AND MATERIAL. PROTECT/REPAIR DURING CONSTRUCTION.
- 02 NEW ALUMINUM CURTAINWALL AND GLAZED VESTIBULE AT BUILDING ENTRY. PROVIDE SUPPORT AT FOUNDATION BASE AND EXISTING SOFFIT. REPAIR/PROTECT ANY IMPACT TO EXISTING CONDITIONS
- 03 NEW METAL SOFFIT MATERIAL. SUSPENDED FROM EXISTING SOFFIT. INTEGRAL LIGHTING. PROVIDE CONDUIT AND CONNECTIONS AS NEEDED
- 04 REVISED HARDSCAPE CONDITION AT PASEO, REFER O LANDSCAPE DRAWINGS FOR FURTHER INFORMATION
- 05 EXISTING GLAZING TO REMAIN, PROTECT DURING CONSTRUCTION
- 06 EXISTING DOOR TO REMAIN. REPLACE HARDWARE AT DOOR TO MATCH NEW.
- 07 NEW ALUM AND GLASS DOOR. MODIFY EXISTING FRAMING TO ACCOMMODATE DOOR AND HARDWARE
- 08 NEW BRICK SCREEN INFILL AT EXISTING OPENING. MATCH EXISTING BRICK COLOR AND FINISH. DOWEL AT END CELLS TO CREATE SCREEN EFFECT
- 09 EXISTING SOFFIT AND CONTIGUOUS FASCIAS TO BE PAINTED.

BH PROPERTIES

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Date	Description
A 07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

GENERAL NOTES

- ALL DIMENSIONS OF EXISTING BUILDING ELEMENTS ARE TO BE VERIFIED IN FIELD.
- RE: G1.001 DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- RE: G2.001 SHEET SERIES FOR CODE ANALYSIS RELATED TO PROJECT.
- ALL PARTITIONS TO BE TYPE "A3", UNO. ALL FURRED-OUT PARTITIONS TO BE TYPE "D3", UNO. RE: G5.001 FOR PARTITION TYPES.
- DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: G6.100 FOR DOOR SCHEDULE AND TYPES.
- EXISTING DOORS, FRAMES, AND HARDWARE AFFECTED BY SCOPE OR AS NOTED IN THE DRAWINGS SHALL BE REPLACED. EXISTING DOORS NOT AFFECTED BY WORK SHALL REMAIN, PROTECT DURING CONSTRUCTION. RE: G6.100 FOR DOOR SCHEDULE INFORMATION
- ALL PARTITIONS AT THE WINDOW WALL ARE CENTERED ON EITHER COLUMNS OR WINDOW MULLIONS. UNO.
- COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.

Seal / Signature

NOT FOR  
CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

ENLARGED ELEVATIONS - EXTERIOR  
STREET LEVEL PASEO

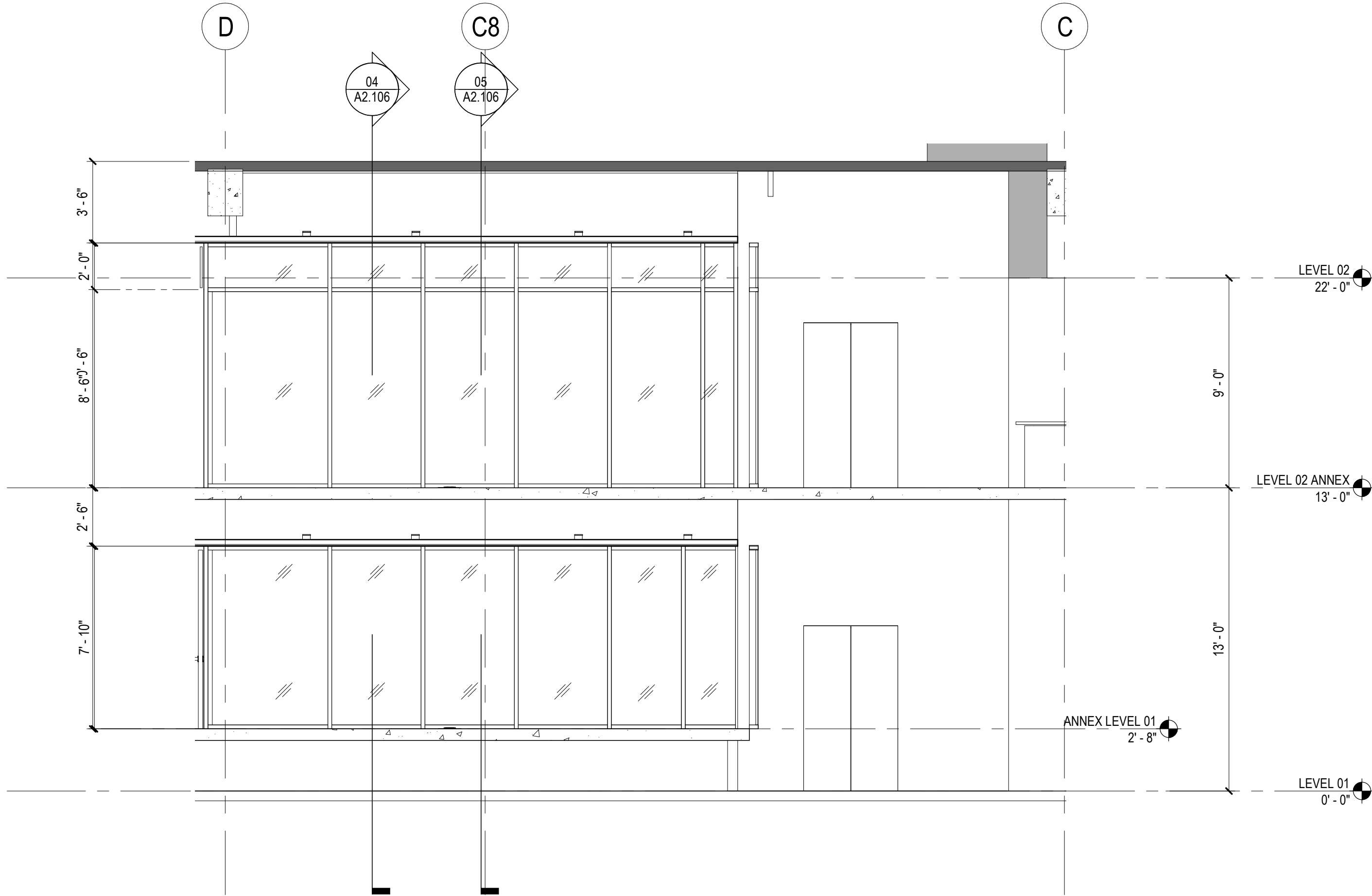
Scale

3/16" = 1'-0"

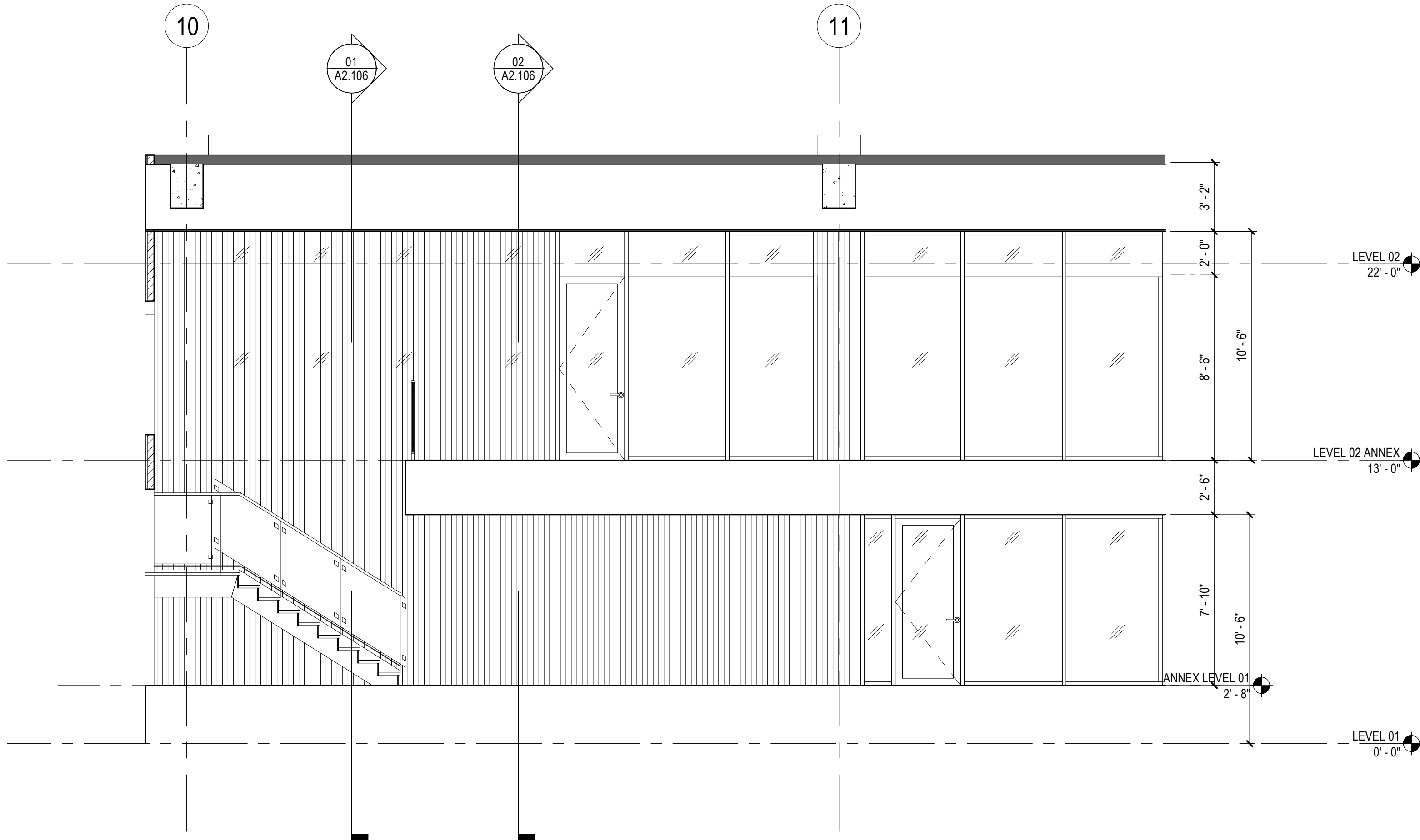
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01 ANNEX LEVEL 01 - ELEVATION EAST 01  
SCALE: 1/4" = 1'-0"



02 ANNEX LEVEL 01 - ELEVATION NORTH 01  
SCALE: 1/4" = 1'-0"

## SHEET NOTES

## GENERAL NOTES

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## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

ENLARGED ELEVATIONS - TERRACE  
INTERIOR - ANNEX BUILDING

Scale

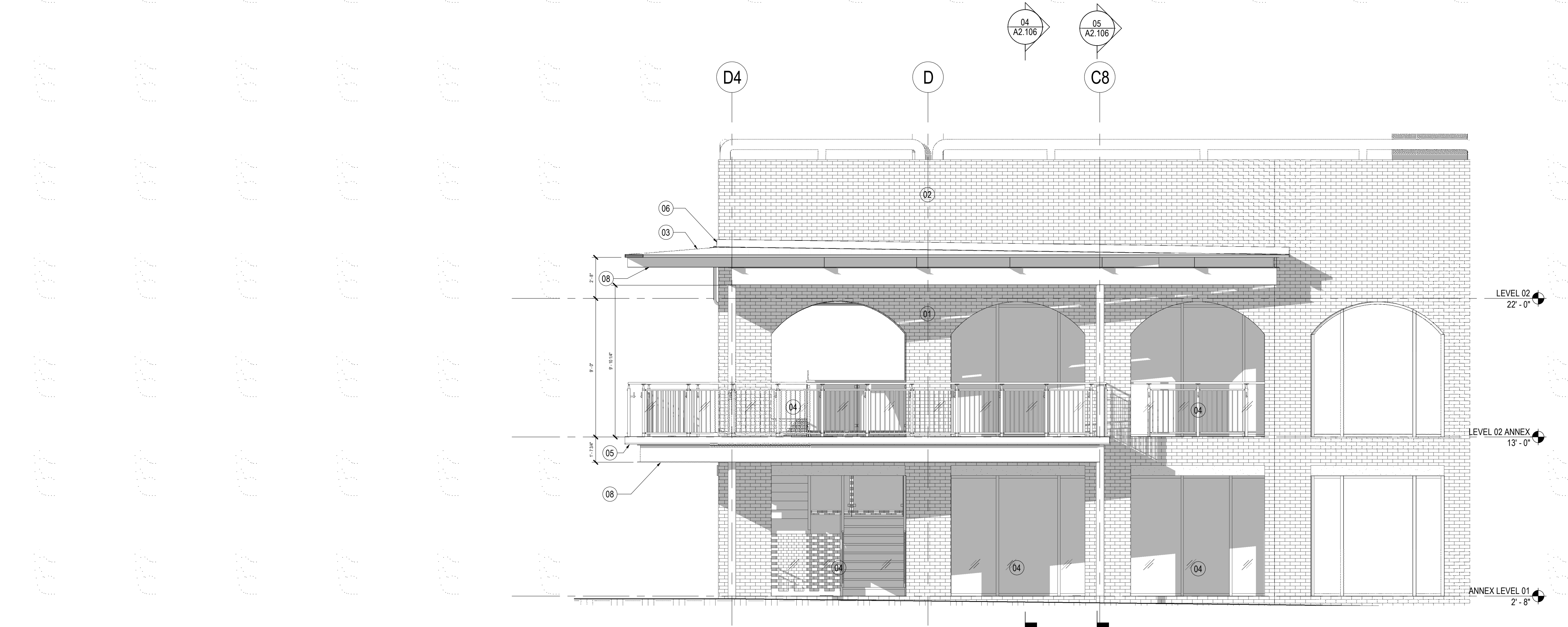
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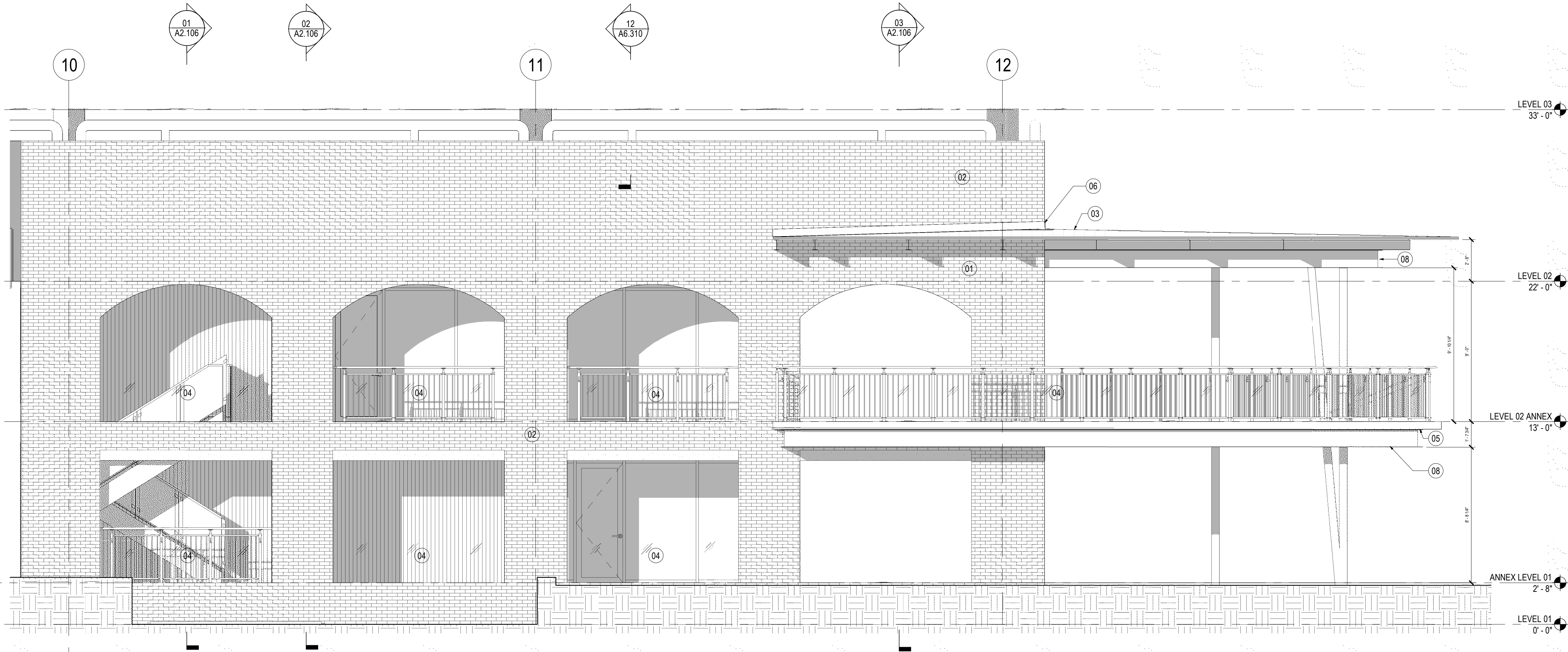
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01 TERRACE ELEVATION - NORTH  
SCALE: 1/4" = 1'-0"



02 TERRACE ELEVATION - EAST  
SCALE: 1/4" = 1'-0"

## SHEET NOTES

- 01 SELECTIVE DEMO, SALVAGE AND REPAIR WHERE NEW CONSTRUCTION IMPACTS EXISTING ENVELOPE
- 02 EXISTING BRICK TO REMAIN
- 03 STANDING SEAM METAL ROOF OVER DECK
- 04 GLASS GUARDRAIL SYSTEM
- 05 COMPOSITE DECK
- 06 FLASHING
- 07 NEW BRICK VENEER
- 08 STRUCTURAL STEEL FRAME TO FORM ROOF AND FLOOR SYSTEMS, AESS STEEL, HIGH PERFORMANCE COATED

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Date	Description
B 12.03.2021	PROGRESS, PERMIT AND CD ISSUE

## GENERAL NOTES

Seal / Signature

## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

ENLARGED ELEVATIONS - TERRACE  
EXTERIOR - ANNEX BUILDING

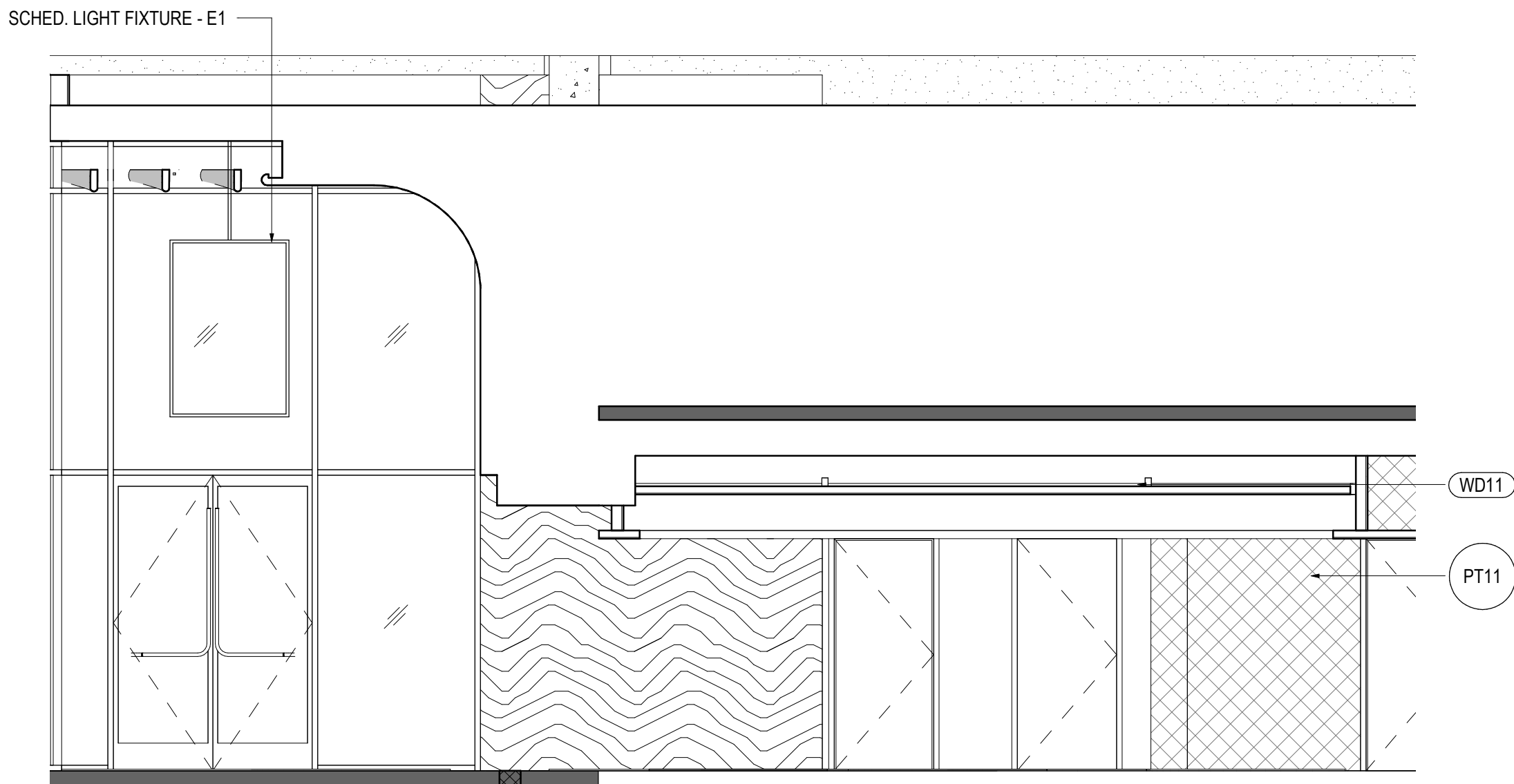
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1/4" = 1'-0"

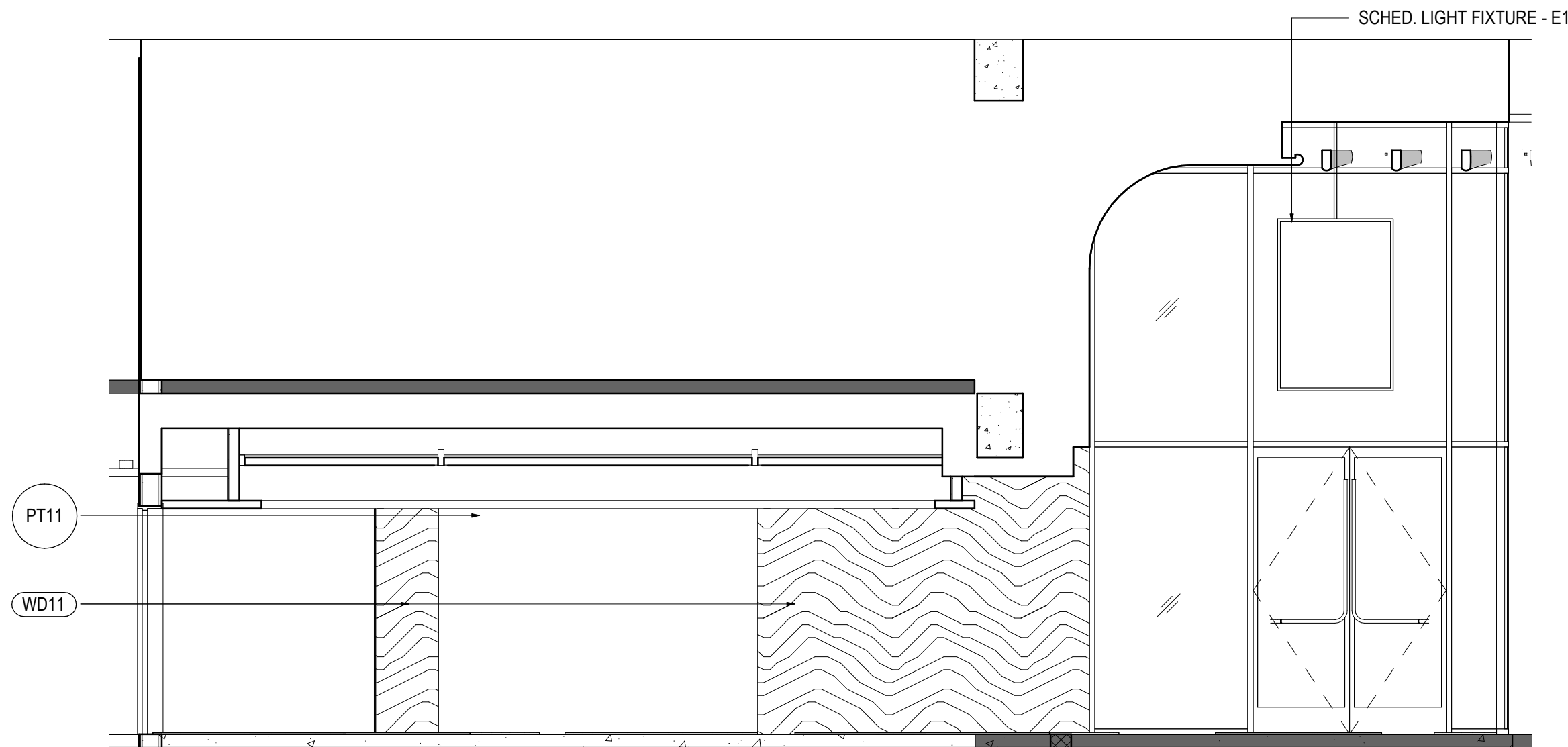
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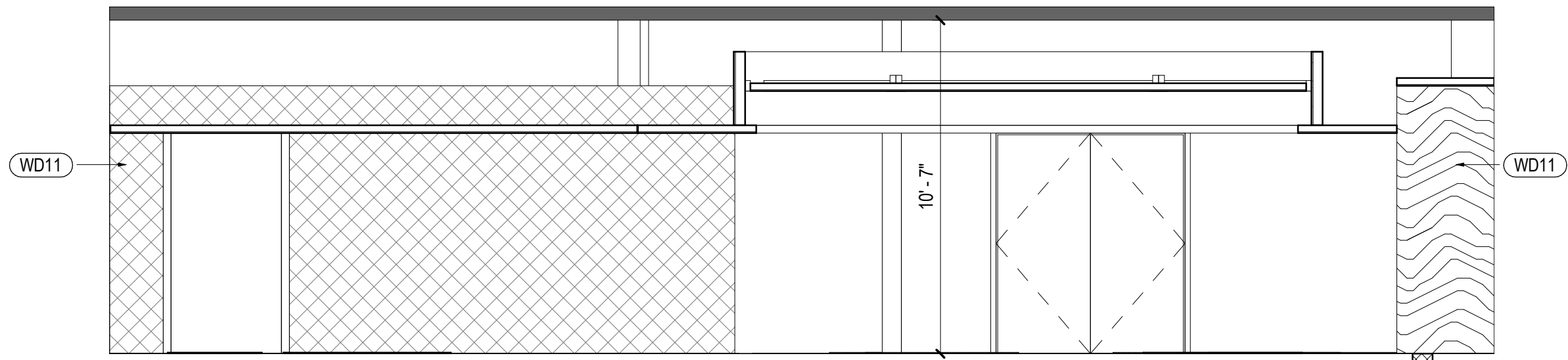
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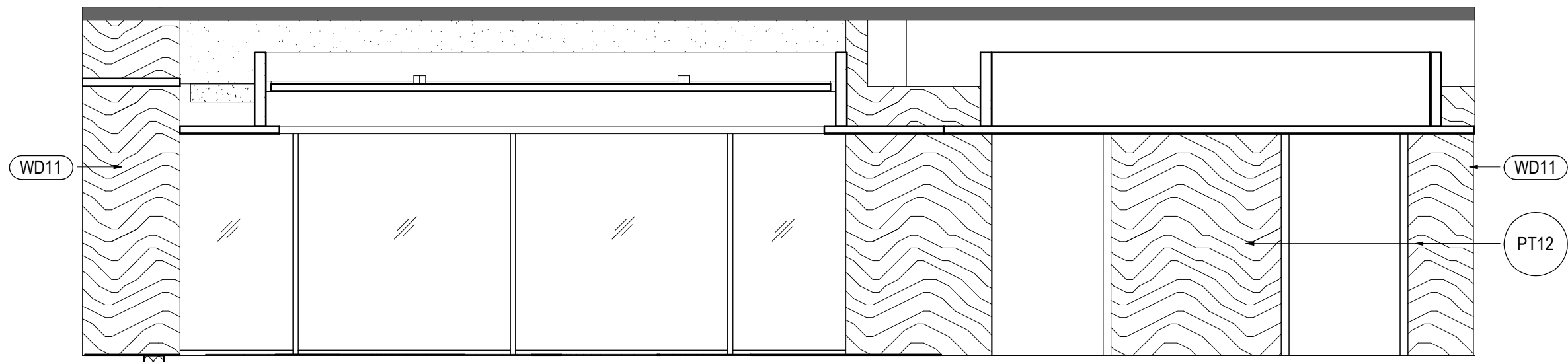
03 STREET LEVEL LOBBY - SOUTH  
SCALE: 1/4" = 1'-0"



01 STREET LEVEL LOBBY - NORTH  
SCALE: 1/4" = 1'-0"



04 STREET LEVEL LOBBY - WEST  
SCALE: 1/4" = 1'-0"



02 STREET LEVEL LOBBY - EAST  
SCALE: 1/4" = 1'-0"

SHEET NOTES

GENERAL NOTES

- A. ALL DIMENSIONS OF EXISTING BUILDING ELEMENTS ARE TO BE VERIFIED IN FIELD.
- B. RE: G1.001 DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- C. RE: G2.001 SHEET SERIES FOR CODE ANALYSIS RELATED TO PROJECT.
- D. ALL PARTITIONS TO BE TYPE "A3", UNO. ALL FURRED-OUT PARTITIONS TO BE TYPE "D3", UNO. RE: G5.001 FOR PARTITION TYPES.
- E. DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: G6.100 FOR DOOR SCHEDULE AND TYPES.
- F. EXISTING DOORS, FRAMES, AND HARDWARE AFFECTED BY SCOPE OR AS NOTED IN THE DRAWINGS SHALL BE REPLACED. EXISTING DOORS NOT AFFECTED BY WORK SHALL REMAIN. PROTECT DURING CONSTRUCTION. RE: G6.100 FOR DOOR SCHEDULE INFORMATION.
- G. ALL PARTITIONS AT THE WINDOW WALL ARE CENTERED ON EITHER COLUMNS OR WINDOW MULLIONS, UNO.
- H. COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.

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Description

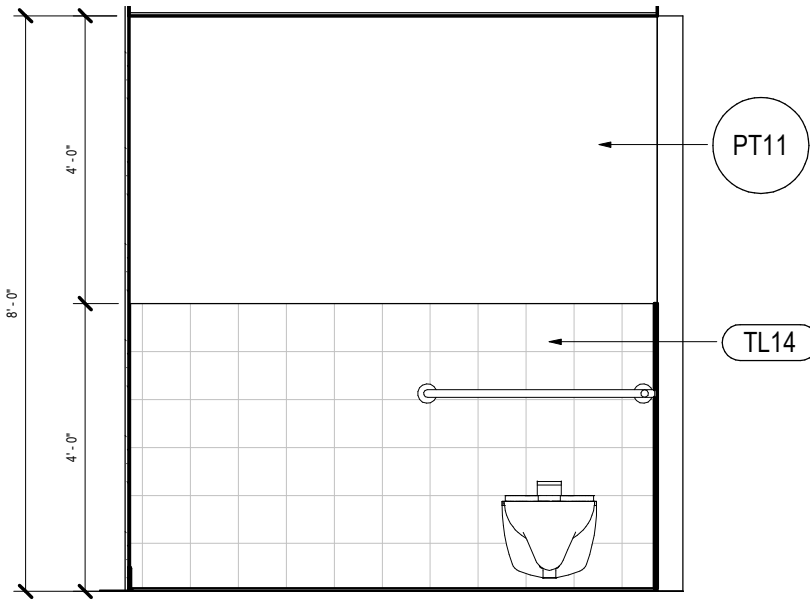
ENLARGED ELEVATIONS - STREET  
LEVEL LOBBY

Scale

1/4" = 1'-0"

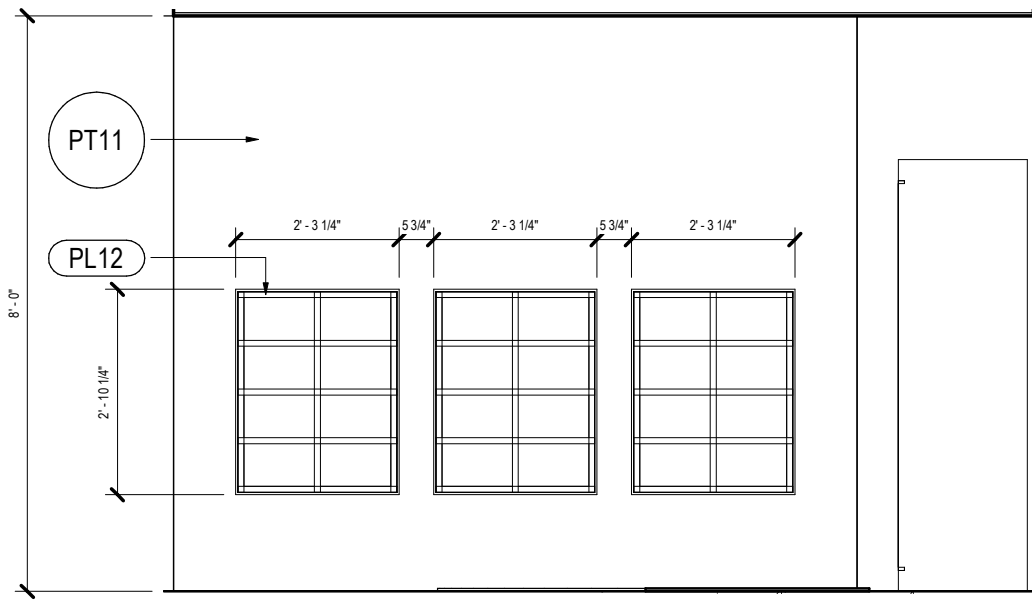
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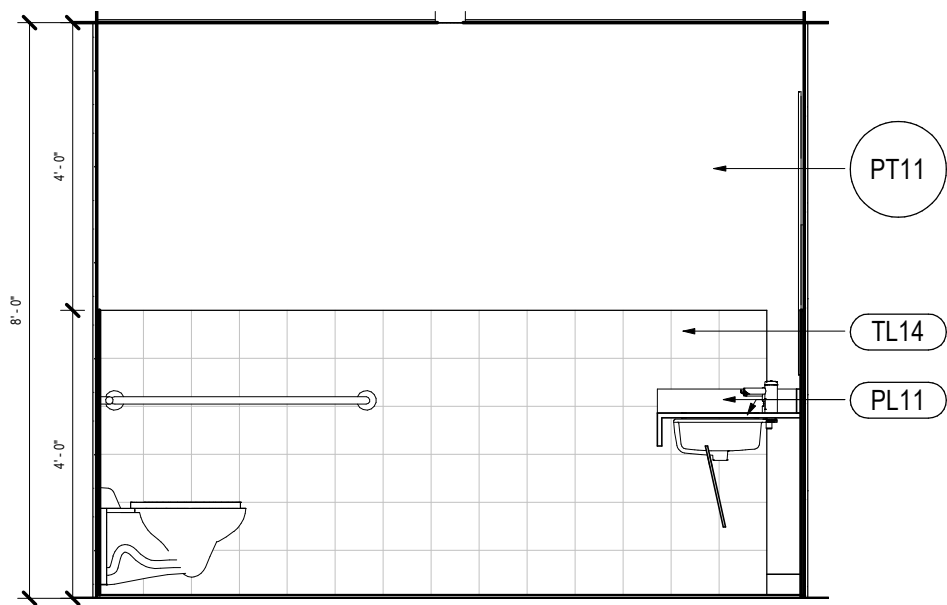
04 UNISEX RR 1-07 - NORTH

SCALE: 3/8" = 1'-0"



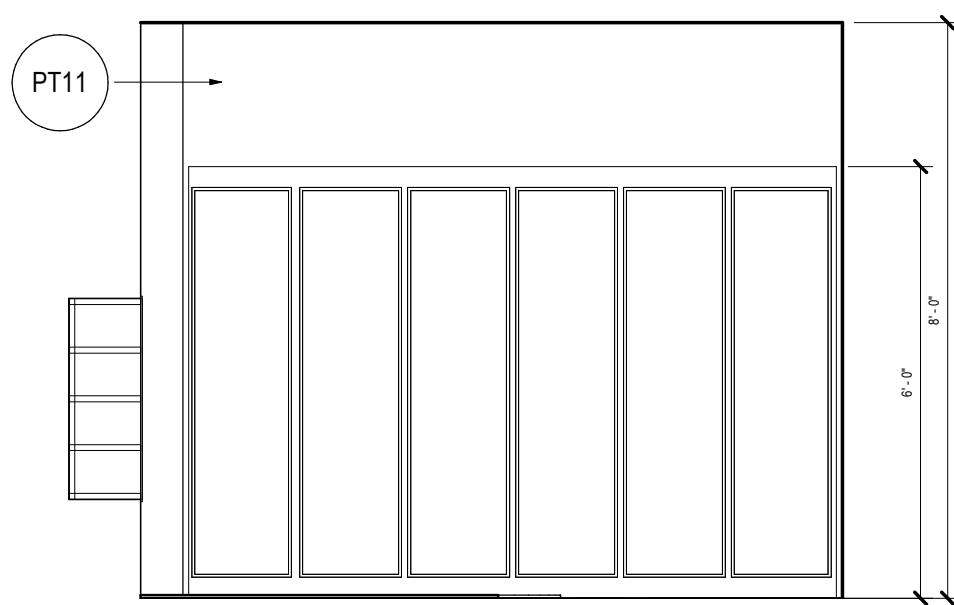
01 MAIL/PACKAGE 1-05 - WEST

SCALE: 3/8" = 1'-0"



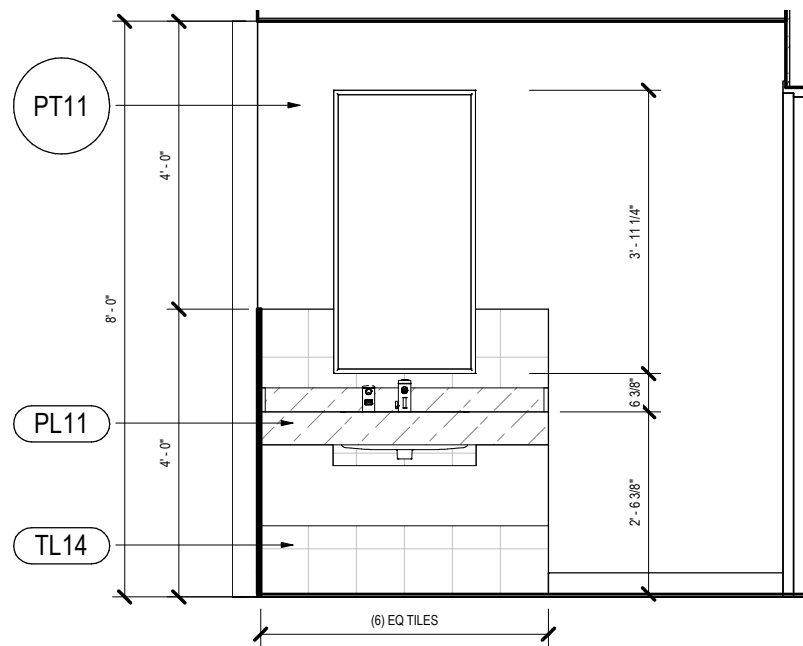
05 UNISEX RR 1-07 - EAST

SCALE: 3/8" = 1'-0"



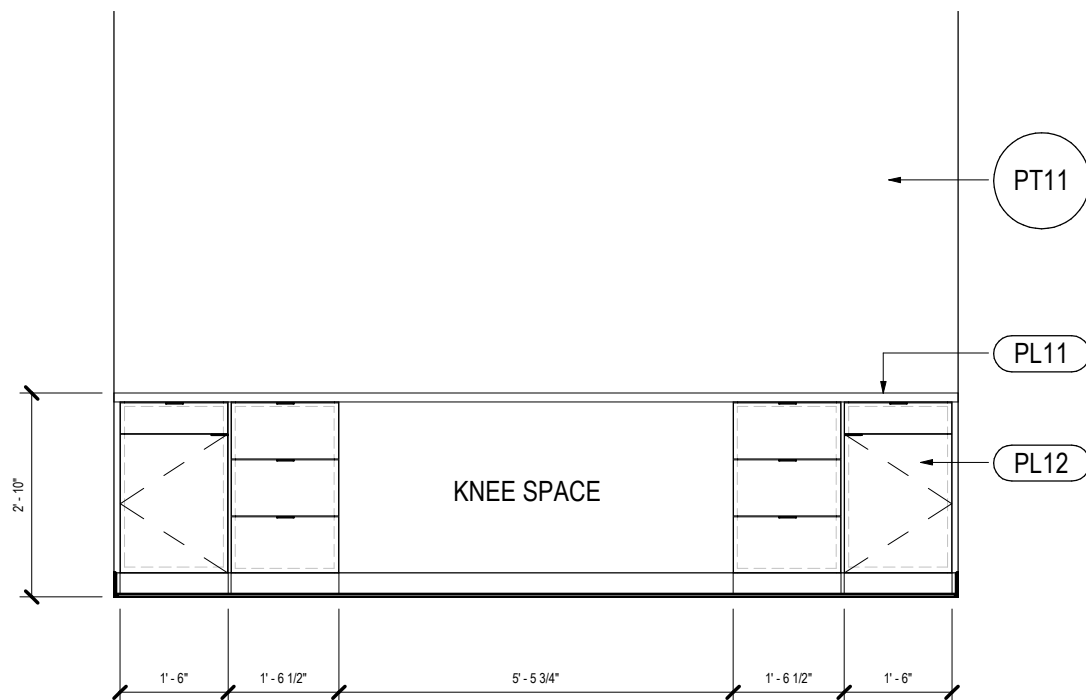
02 MAIL/PACKAGE 1-05 - NORTH

SCALE: 3/8" = 1'-0"



06 UNISEX RR 1-07 - SOUTH

SCALE: 3/8" = 1'-0"



03 SECURITY OFFICE 1-06 - NORTH

SCALE: 3/8" = 1'-0"

## SHEET NOTES

## GENERAL NOTES

- ALL DIMENSIONS OF EXISTING BUILDING ELEMENTS ARE TO BE VERIFIED IN FIELD.
- RE: G1.001 DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- RE: G2.001 SHEET SERIES FOR CODE ANALYSIS RELATED TO PROJECT.
- ALL PARTITIONS TO BE TYPE "A3", UNO. ALL FURRED-OUT PARTITIONS TO BE TYPE "D3", UNO. RE: G5.001 FOR PARTITION TYPES.
- DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: G6.100 FOR DOOR SCHEDULE AND TYPES.
- EXISTING DOORS, FRAMES, AND HARDWARE AFFECTED BY SCOPE OR AS NOTED IN THE DRAWINGS SHALL BE REPLACED. EXISTING DOORS NOT AFFECTED BY WORK SHALL REMAIN. PROTECT DURING CONSTRUCTION. RE: G6.100 FOR DOOR SCHEDULE INFORMATION.
- ALL PARTITIONS AT THE WINDOW WALL ARE CENTERED ON EITHER COLUMNS OR WINDOW MULLIONS, UNO.
- COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.

## BH PROPERTIES

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Architecture  
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A	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
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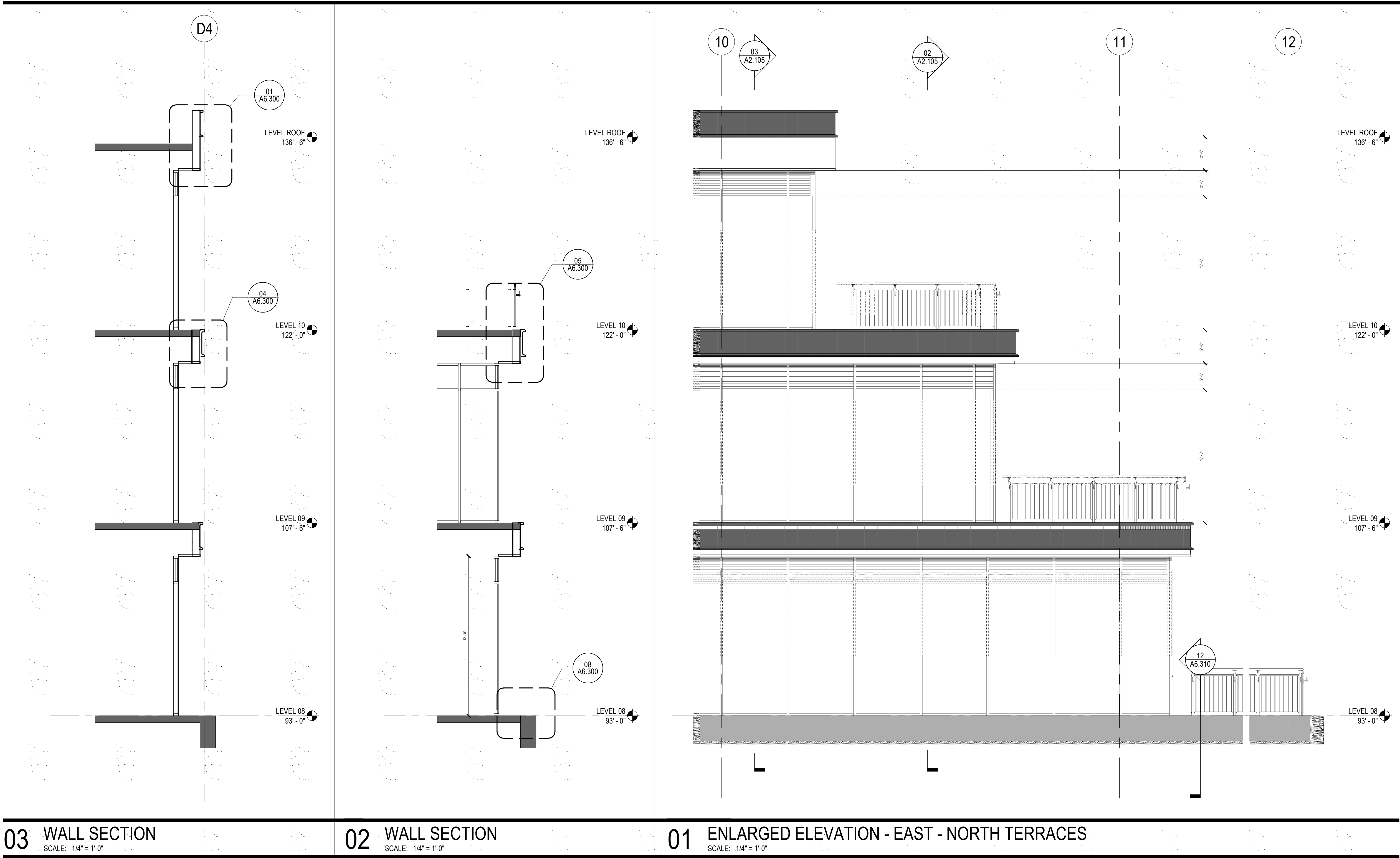
## NOT FOR CONSTRUCTION

Project Name
146 Navarro Repositioning
CD 75%
Project Number
122.0043.000
Description
ENLARGED ELEVATIONS - STREET LEVEL LOBBY

Scale  
3/8" = 1'-0"

## A2.104

11/29/2021 2:10:18 PM BM 360/122.0039.000 - 146 Navarro Repositioning/Architecture - 122.0039.000\_146NAV.rvt



03 WALL SECTION  
SCALE: 1/4" = 1'-0"

02 WALL SECTION  
SCALE: 1/4" = 1'-0"

01 ENLARGED ELEVATION - EAST - NORTH TERRACES  
SCALE: 1/4" = 1'-0"

SHEET NOTES

GENERAL NOTES

EXTERIOR MATERIALS KEY

- GL02 - CLEAR GLAZING
- GL02S - SPANDREL PANEL
- CL01 - LINEAR METAL SOFFIT
- MP01 - PERFORATED METAL PANEL SYSTEM; 40% OPEN

BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



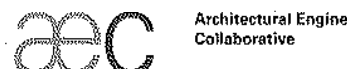
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CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

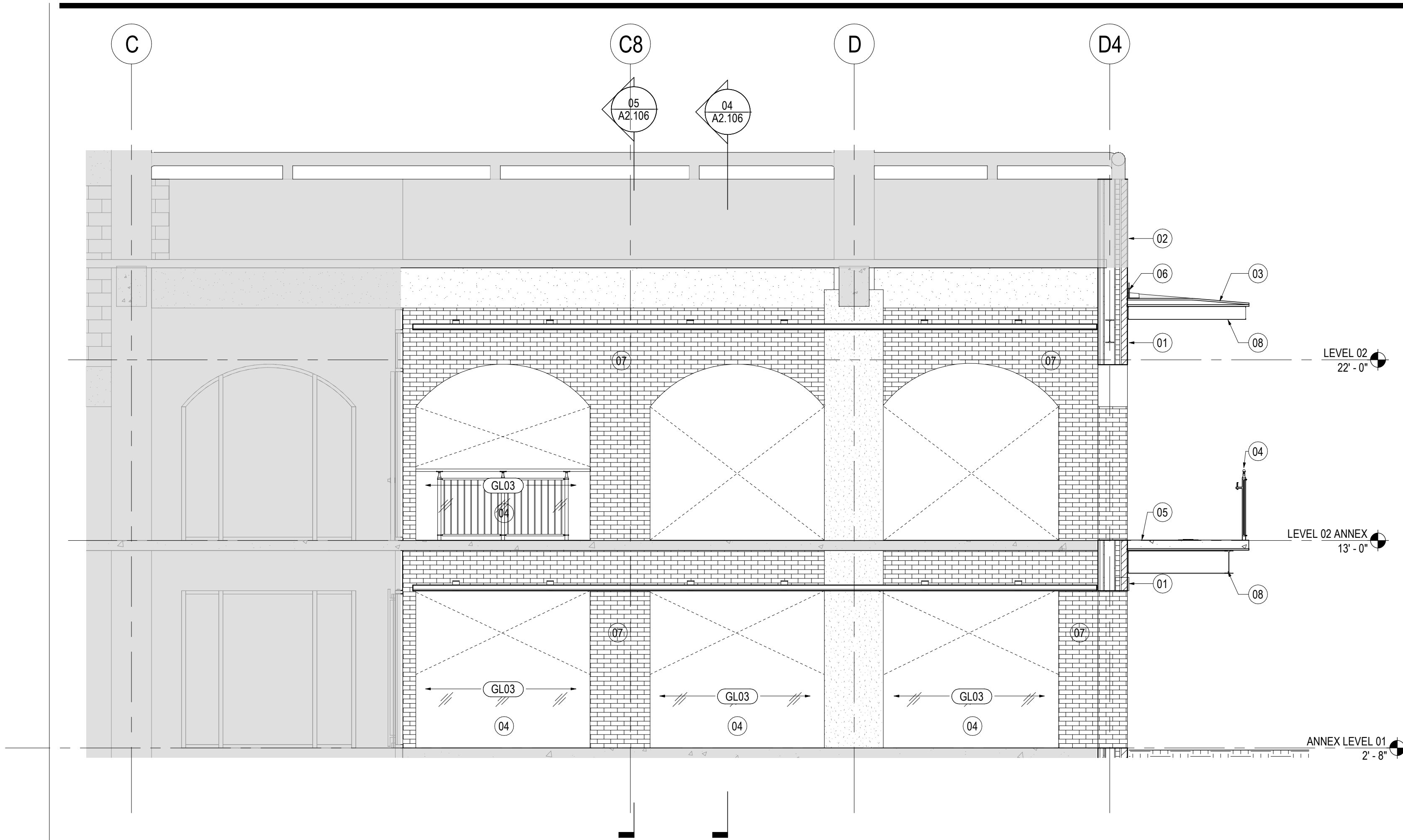
ENLARGED ELEVATIONS AND  
SECTIONS - OFFICE ENVELOPE

Scale

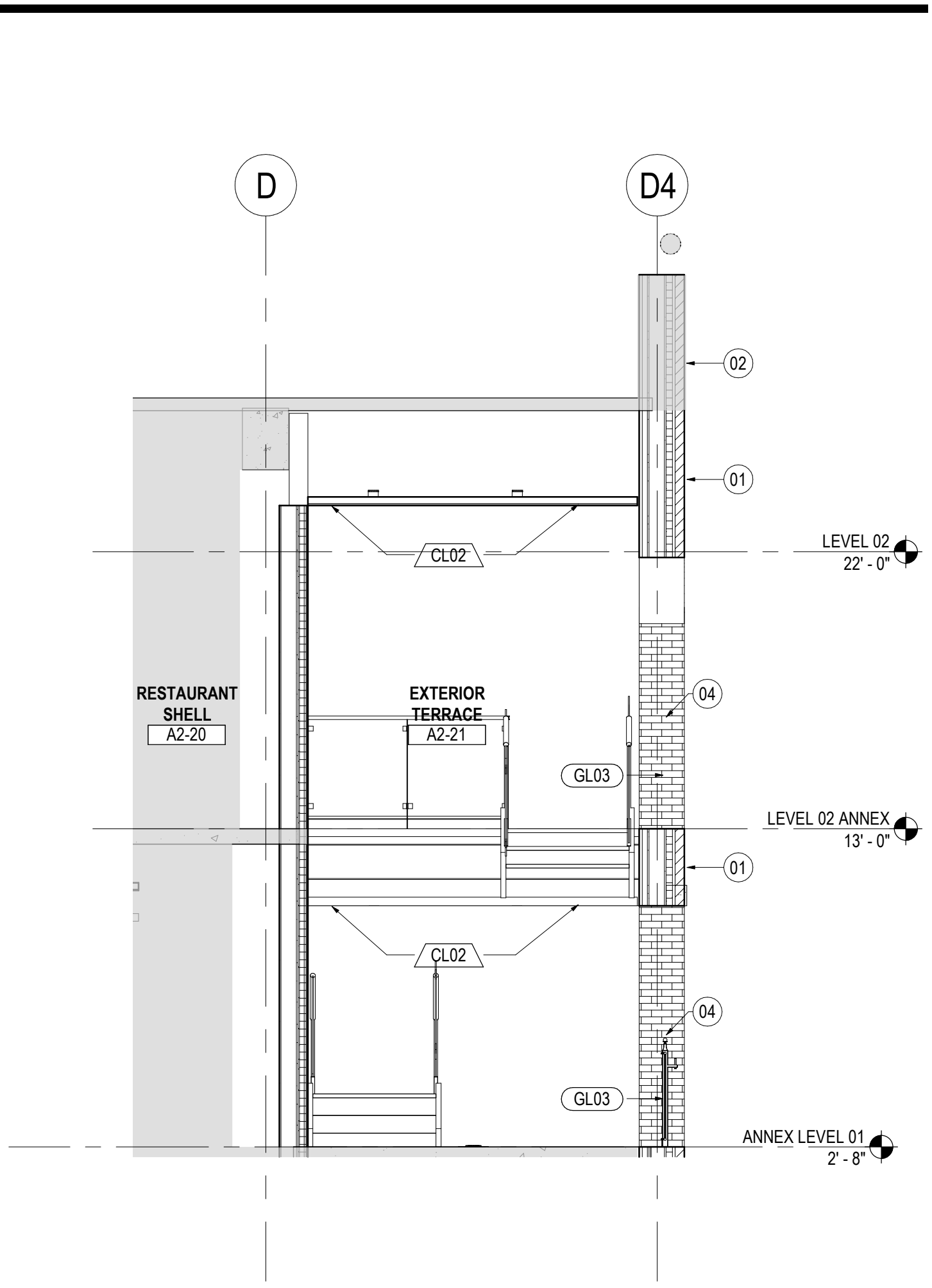
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A2.105

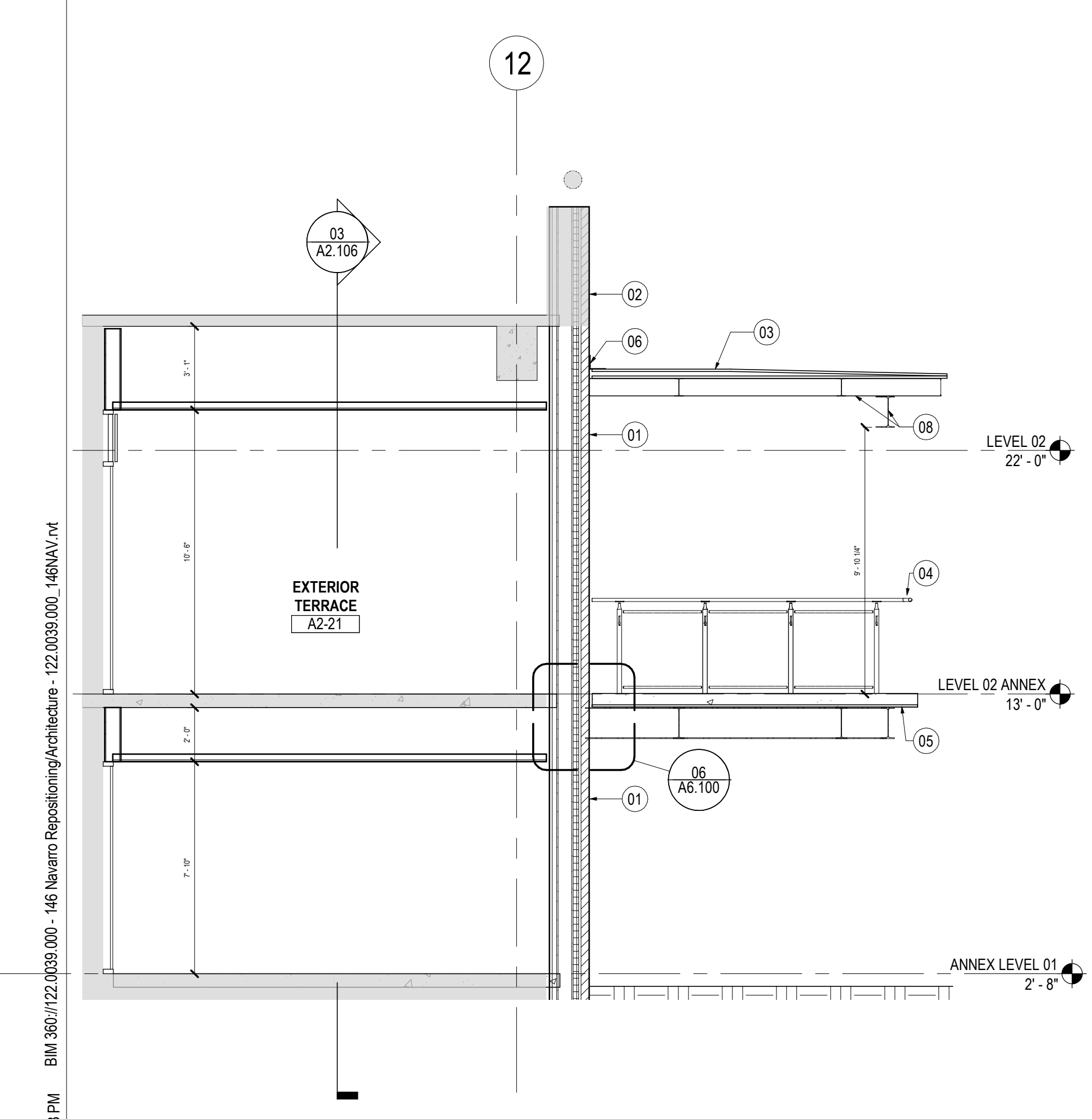




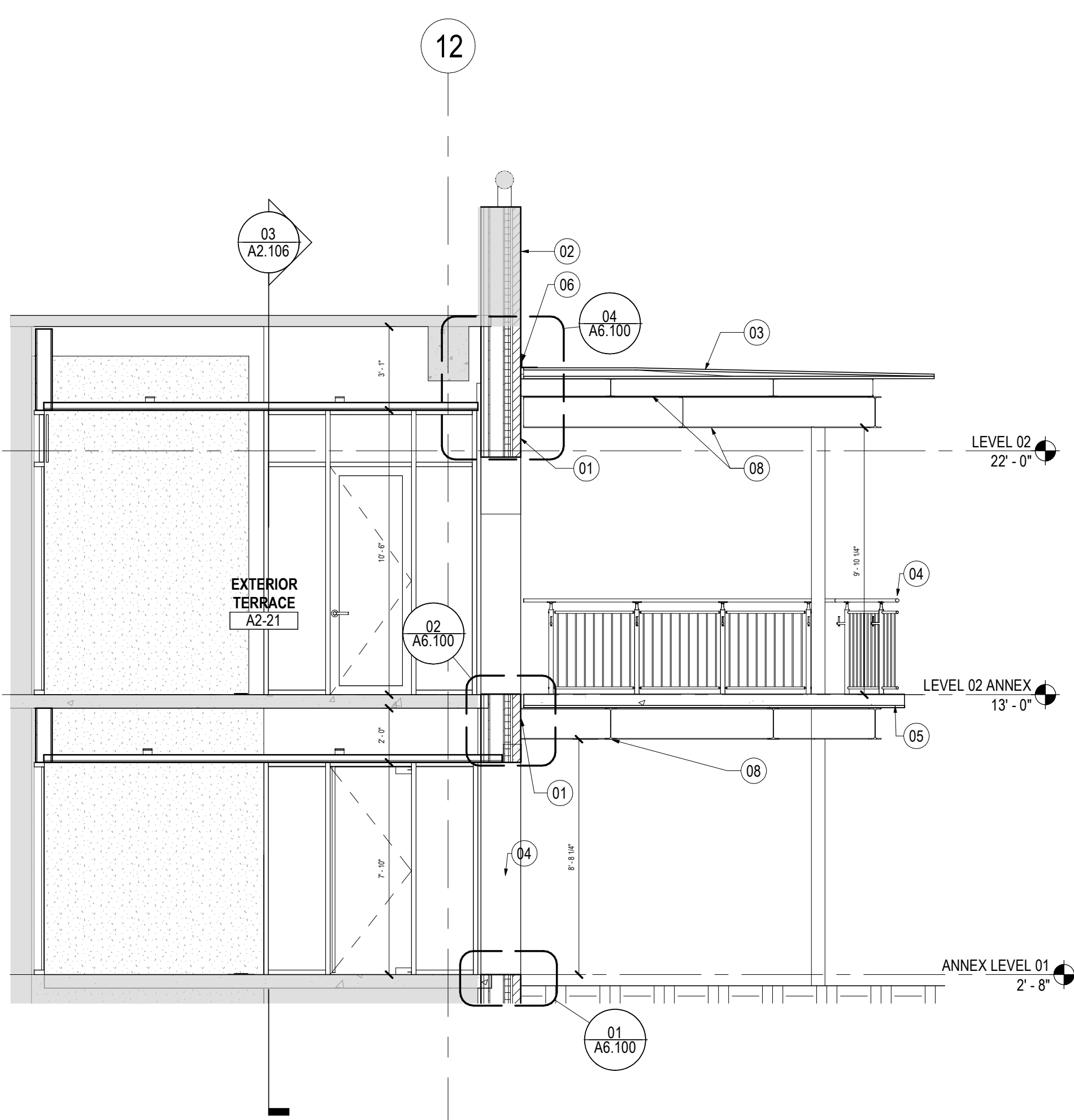
03 WALL SECTION - ANNEX SOUTH 03  
SCALE: 1/4" = 1'-0"



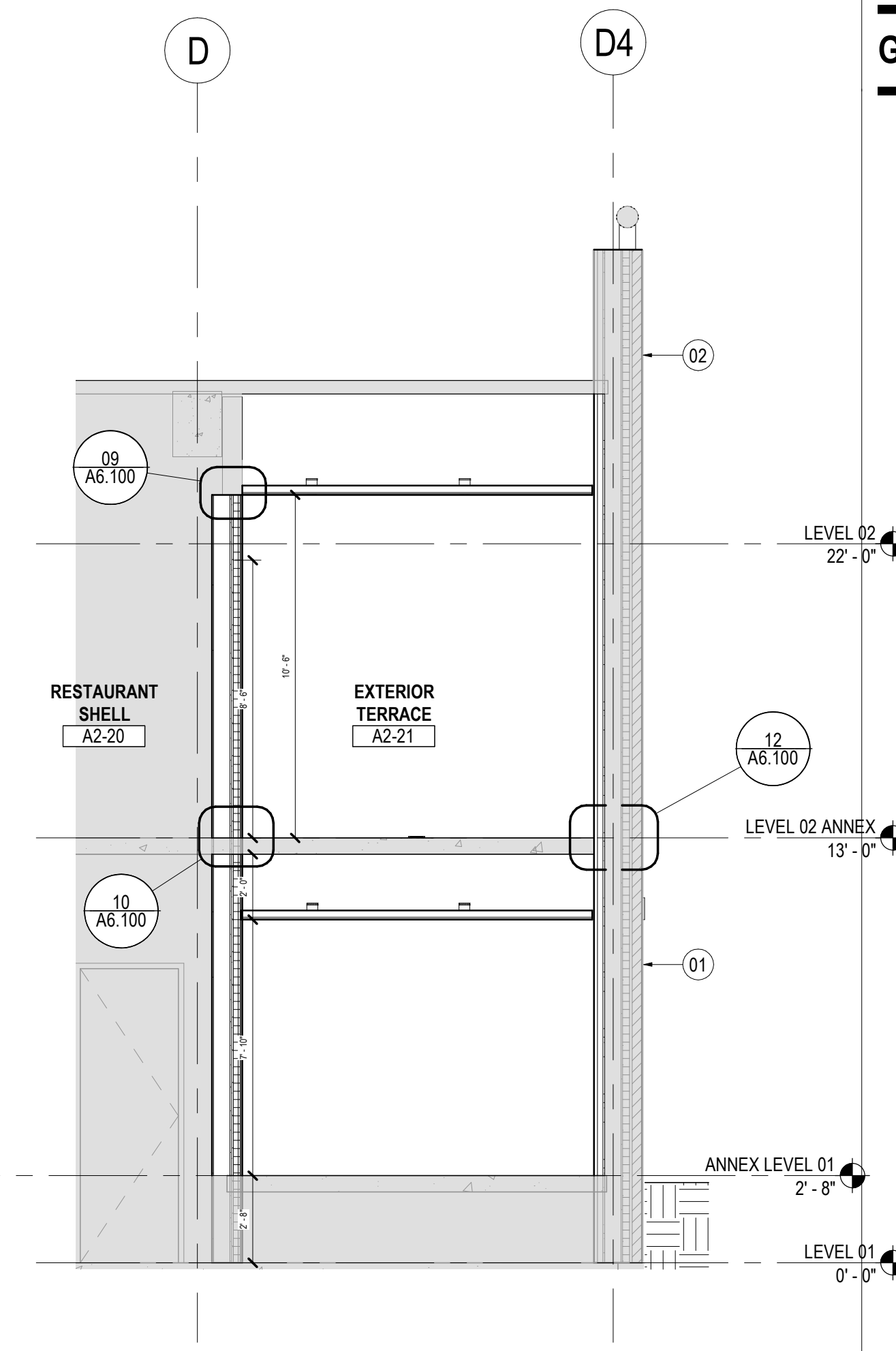
01 WALL SECTION - ANNEX SOUTH 01  
SCALE: 1/4" = 1'-0"



05 WALL SECTION - ANNEX EAST 02  
SCALE: 1/4" = 1'-0"



04 WALL SECTION - ANNEX EAST 01  
SCALE: 1/4" = 1'-0"



02 WALL SECTION - ANNEX SOUTH 02  
SCALE: 1/4" = 1'-0"

- SHEET NOTES**
- 01 SELECTIVE DEMO, SALVAGE AND REPAIR WHERE NEW CONSTRUCTION IMPACTS EXISTING ENVELOPE
  - 02 EXISTING BRICK TO REMAIN
  - 03 STANDING SEAM METAL ROOF OVER DECK
  - 04 GLASS GUARDRAIL SYSTEM
  - 05 COMPOSITE DECK
  - 06 FLASHING
  - 07 NEW BRICK VENEER
  - 08 STRUCTURAL STEEL FRAME TO FORM ROOF AND FLOOR SYSTEMS, AESS STEEL, HIGH PERFORMANCE COATED

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**GENERAL NOTES**

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**NOT FOR CONSTRUCTION**

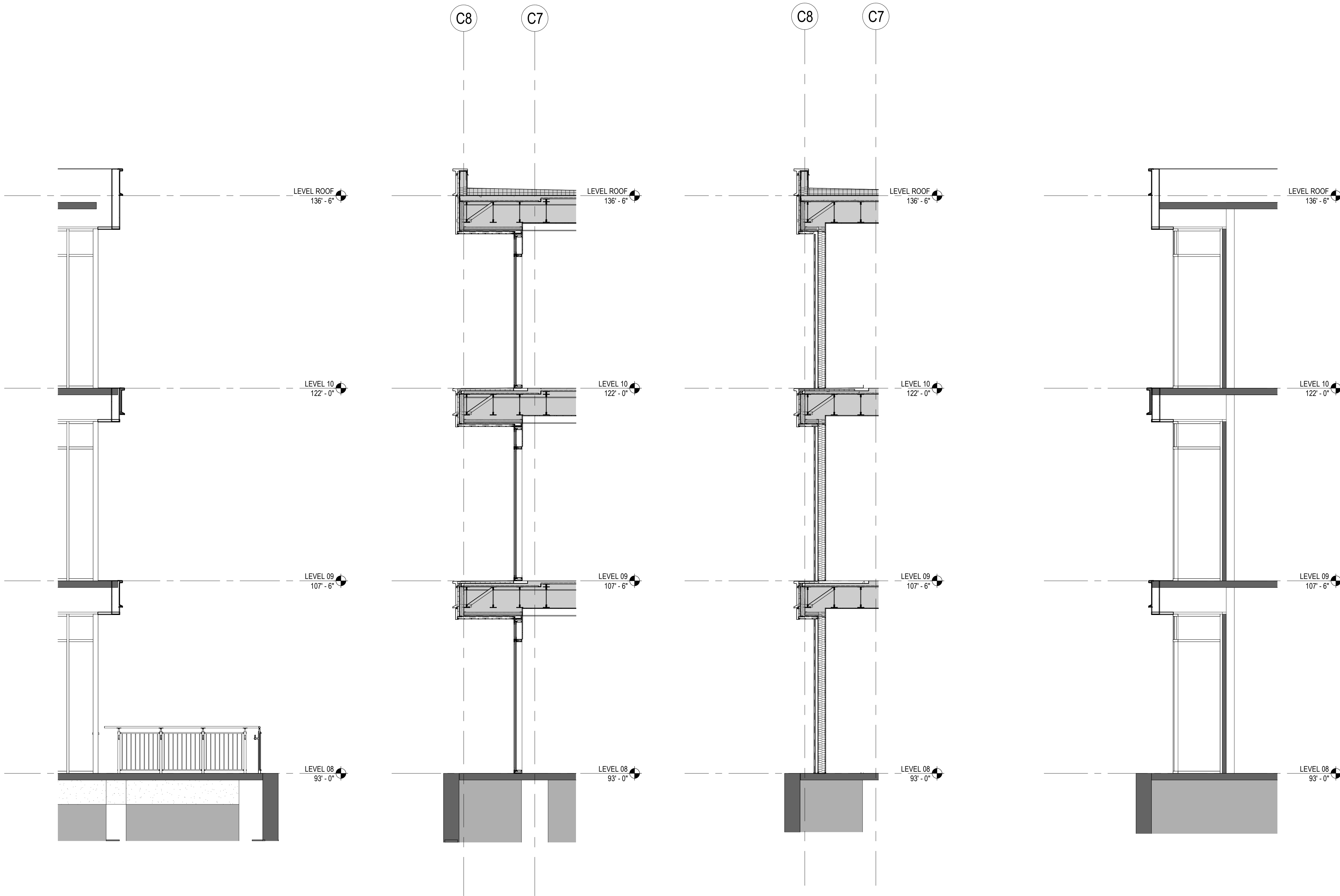
Project Name  
146 Navarro Repositioning  
CD 75%

Project Number  
122.0043.000

Description  
ENLARGED SECTIONS - ANNEX BUILDING

Scale  
1/4" = 1'-0"

11/24/2021 5:33:11 PM B:\360\122.0039.000 - 146 Navarro Repositioning\Architecture - 122.0039.000\_146NAV.rvt



**16** WALL SECTION - S TERRACE  
SCALE: 1/4" = 1'-0"

**12** WALL SECTION - UPPER LVLS SE GLASS  
SCALE: 1/4" = 1'-0"

**08** WALL SECTION - UPPER LVLS SE SOLID  
SCALE: 1/4" = 1'-0"

**04** WALL SECTION - UPPER LVLS TYP.  
SCALE: 1/4" = 1'-0"

## SHEET NOTES

## GENERAL NOTES

# BH PROPERTIES

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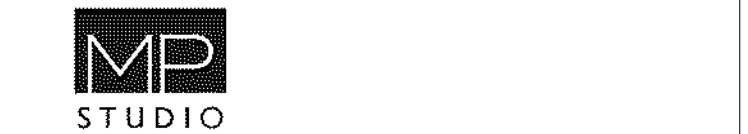
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Date	Description
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## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

UPPER LEVEL WALL SECTIONS

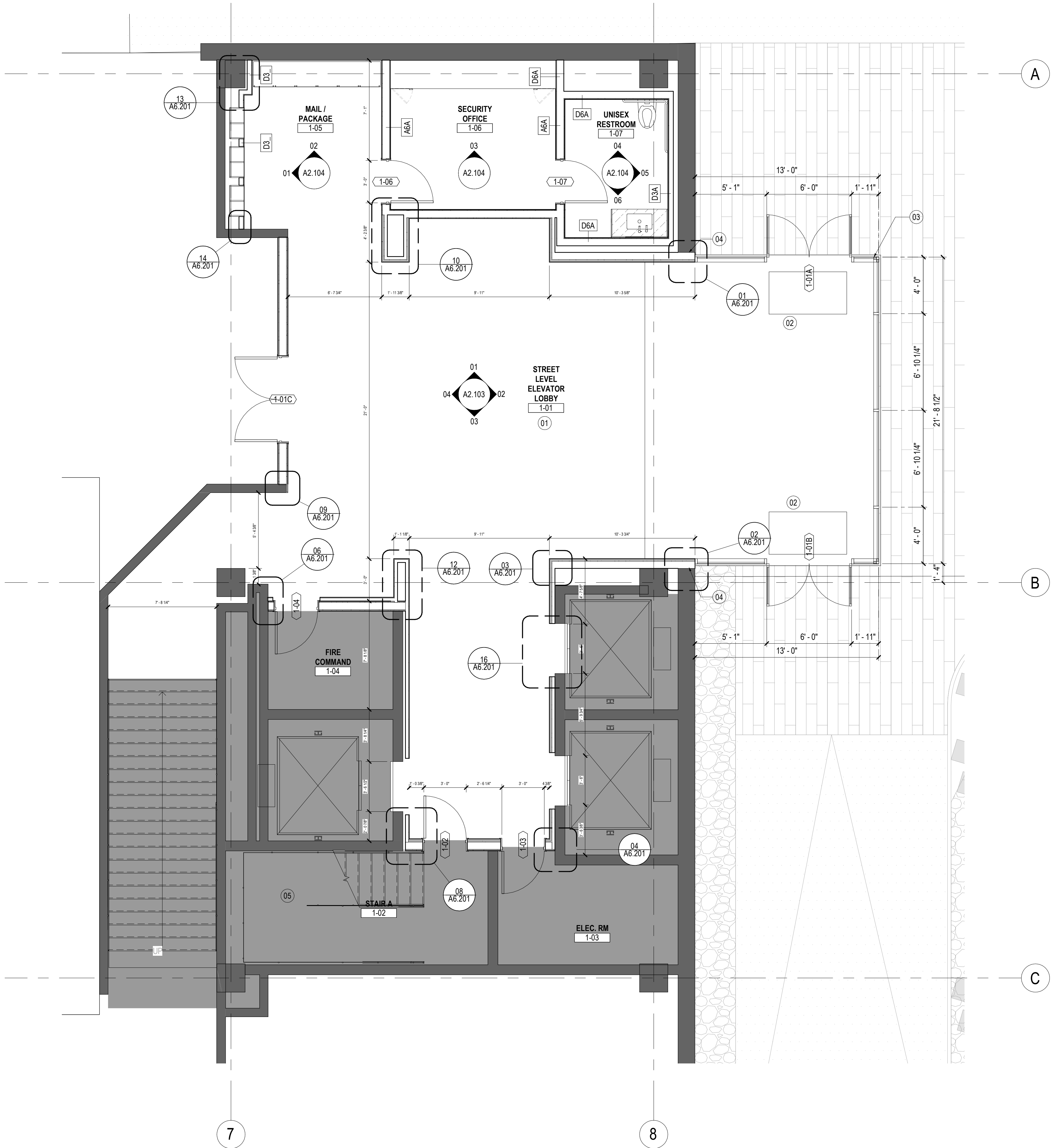
Scale

1/4" = 1'-0"

## A4.001

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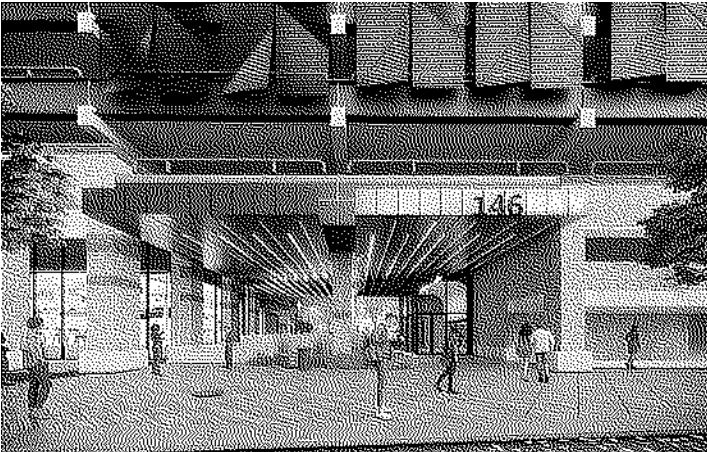


- 01 NEW FLOOR FINISH AT ENTIRETY OF LOBBY SPACE. RE: FINISH PLAN FOR FURTHER INFORMATION.
- 02 RECESSED WALK OFF MAT AT EACH DOOR LOCATION
- 03 NEW CURTAINWALL SYSTEM AND ENTRY DOORS TO CREATE VESTIBULE
- 04 VERIFY EXISTING END CONDITION AND DETAIL PRIOR TO NEW WALL CONSTRUCTION ENGAGEMENT
- 05 SHADED AREA IS EXISTING TO REMAIN, PROTECT DURING CONSTRUCTION

- A. ALL DIMENSIONS OF EXISTING BUILDING ELEMENTS ARE TO BE VERIFIED IN FIELD.
- B. RE: G1.001 DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- C. RE: G2.001 SHEET SERIES FOR CODE ANALYSIS RELATED TO PROJECT.
- D. ALL PARTITIONS TO BE TYPE "A3", UNO. ALL FURRED-OUT PARTITIONS TO BE TYPE "D3", UNO. RE: G5.001 FOR PARTITION TYPES.
- E. DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: G6.100 FOR DOOR SCHEDULE AND TYPES.
- F. EXISTING DOORS, FRAMES, AND HARDWARE AFFECTED BY SCOPE OR AS NOTED IN THE DRAWINGS SHALL BE REPLACED. EXISTING DOORS NOT AFFECTED BY WORK SHALL REMAIN, PROTECT DURING CONSTRUCTION. RE: G6.100 FOR DOOR SCHEDULE INFORMATION.
- G. ALL PARTITIONS AT THE WINDOW WALL ARE CENTERED ON EITHER COLUMNS OR WINDOW MULLIONS, UNO.
- H. COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.

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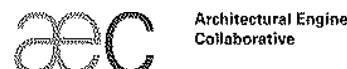
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## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

ENLARGED PLAN - STREET LEVEL LOBBY

Scale

1/4" = 1'-0"

## A5.101



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**NOT FOR  
CONSTRUCTION**

Project Name

146 Navarro Repositioning

CD 75%

Project Number  
122.0043.000

### Description

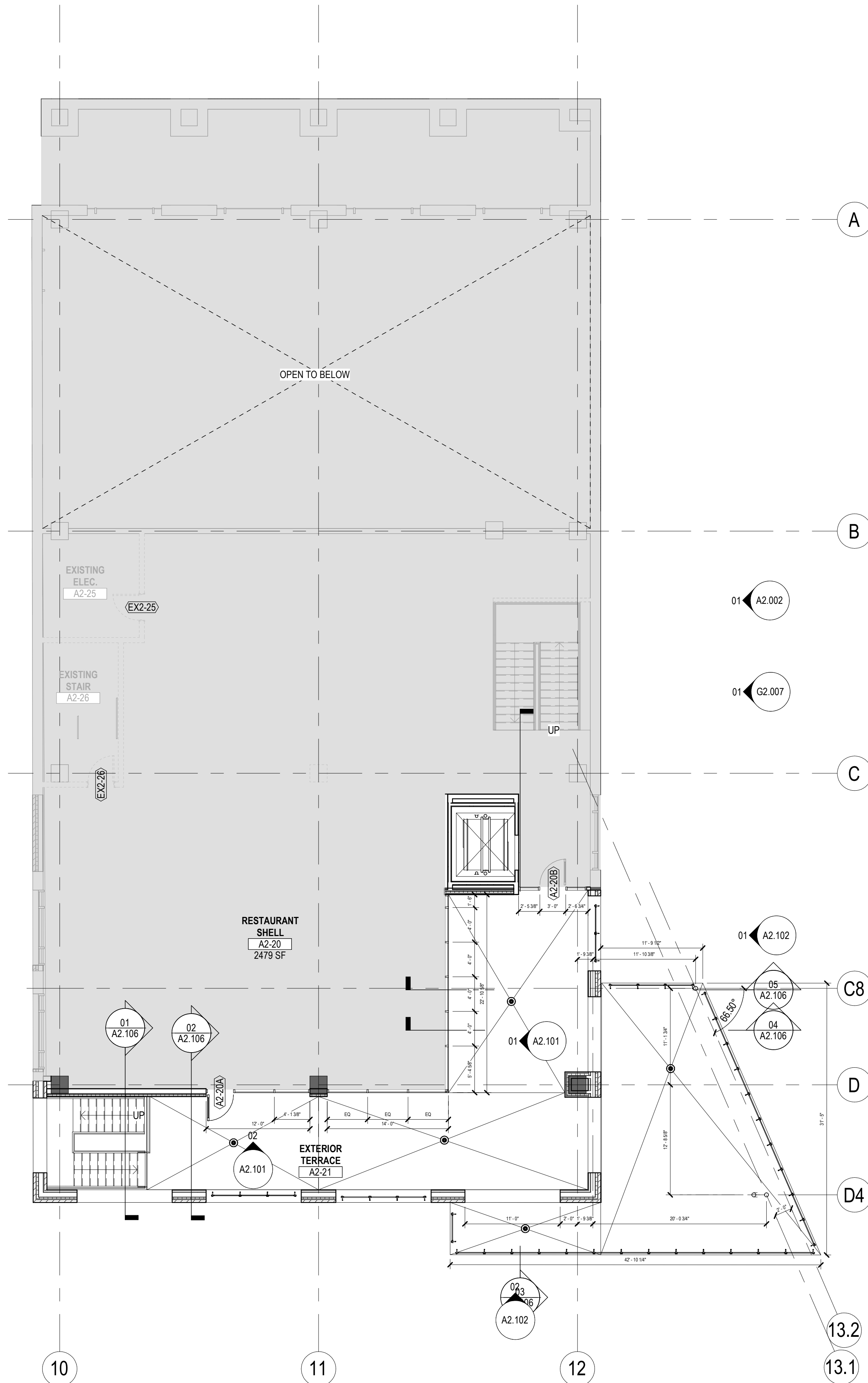
ENLARGED PLAN - ANNEX BUILDING -  
LEVEL 01 & 02

Scale

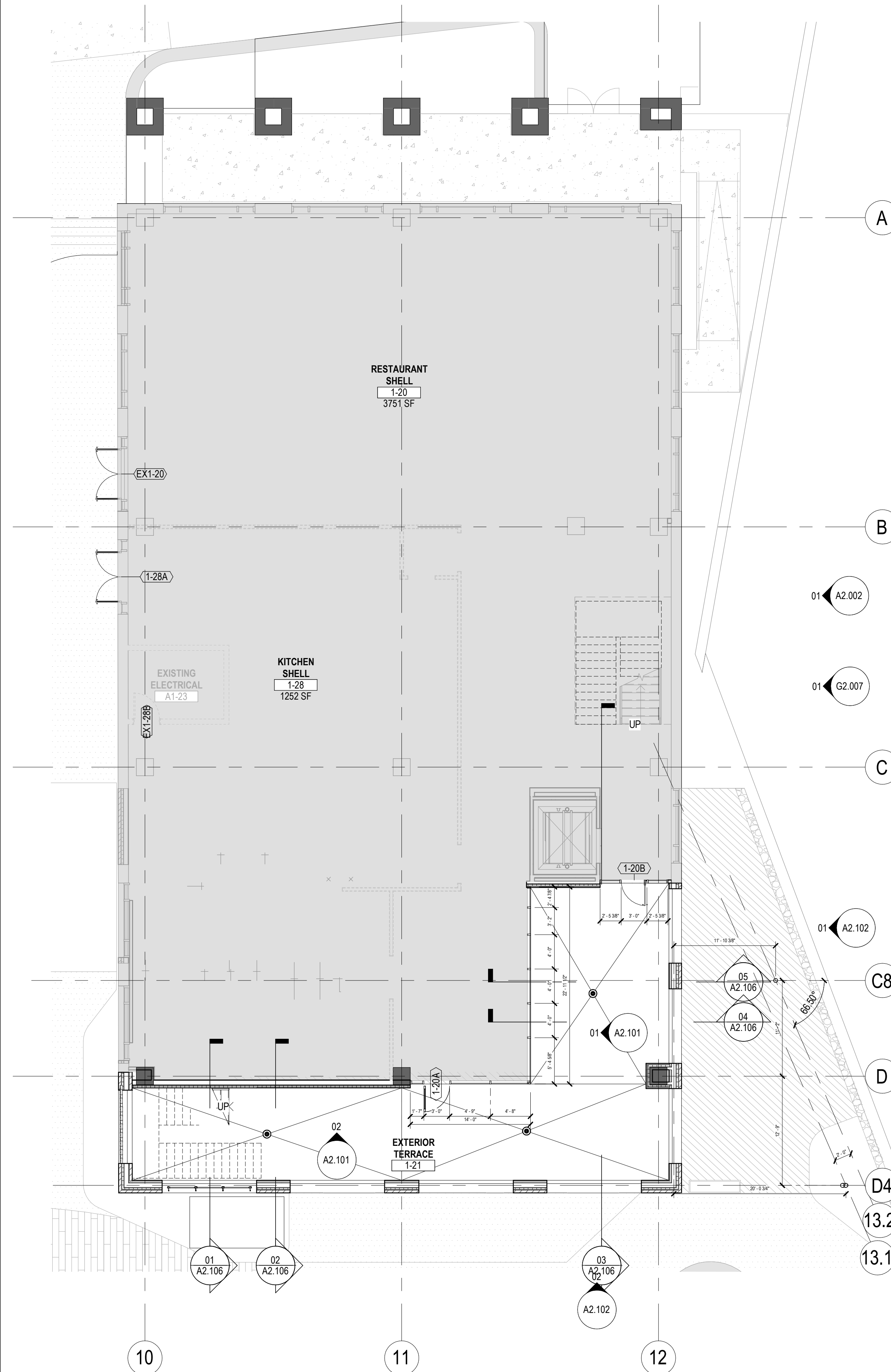
$$1/8'' = 1'-0''$$

## A5.102

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## 02 ENLARGED PLAN - ANNEX BUILDING - LEVEL MEZZANINE



**01 ENLARGED PLAN - ANNEX BUILDING - LEVEL 01**  
SCALE: 1/8" = 1'-0"

RESTAURANT SHELL SPACE TO BE PREPARED FOR T.1. FINISHES, PLUMBING FIXTURES, LIGHT FIXTURES, AND MECHANICAL SYSTEMS. RELATED INFRASTRUCTURE TO BE PLANNED FOR IN BASE BUILDING CONDITION.

FOR REPOSITIONING ELEVATOR, GO TO PROVIDE EXTERIOR FINISHES AND WINDOW WALL SYSTEMS (FINISH TO MATCH MT01 / OFFICE LEVELS ENVELOPE), GLAZED GUARDRAILS AT EXTERIOR TERRACES.

DEMOLITION AT NEW EXTERIOR BUILDING PERIMETER, AND FINISH PLASTER SOFFITS WITH LIGHTING AT EXTERIOR TERRACE AREAS. BASE CONDITION TO BE COLD, DARK SHELL WITH MEP INFRASTRUCTURE.

DEMOLITION IN SHADED AREAS TO SHELL CONDITION. CONFIRM EXTEND AND ALTERATION WITH OWNER AND ARCHITECT PRIOR TO WORK.

- A. ALL DIMENSIONS OF EXISTING BUILDING ELEMENTS ARE TO BE VERIFIED IN FIELD.
- B. RE: G1.001 DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- C. RE: G2.001 SHEET SERIES FOR CODE ANALYSIS RELATED TO PROJECT.
- D. ALL PARTITIONS TO BE TYPE "A3". UNO. ALL FURRED-OUT PARTITIONS TO BE TYPE "D3". UNO. RE: G5.001 FOR PARTITION TYPES.
- E. DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: G6.100 FOR DOOR SCHEDULE AND TYPES.
- F. EXISTING DOORS, FRAMES, AND HARDWARE AFFECTED BY SCOPE OR AS NOTED IN THE DRAWINGS SHALL BE REPLACED. EXISTING DOORS NOT AFFECTED BY WORK SHALL REMAIN. PROTECT DURING CONSTRUCTION. RE: G6.100 FOR DOOR SCHEDULE INFORMATION
- G. ALL PARTITIONS AT THE WINDOW WALL ARE TO BE BASED ON EITHER COLUMNS OR WINDOW MULLIONS. UNO.
- H. COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.



# BH PROPERTIES

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## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

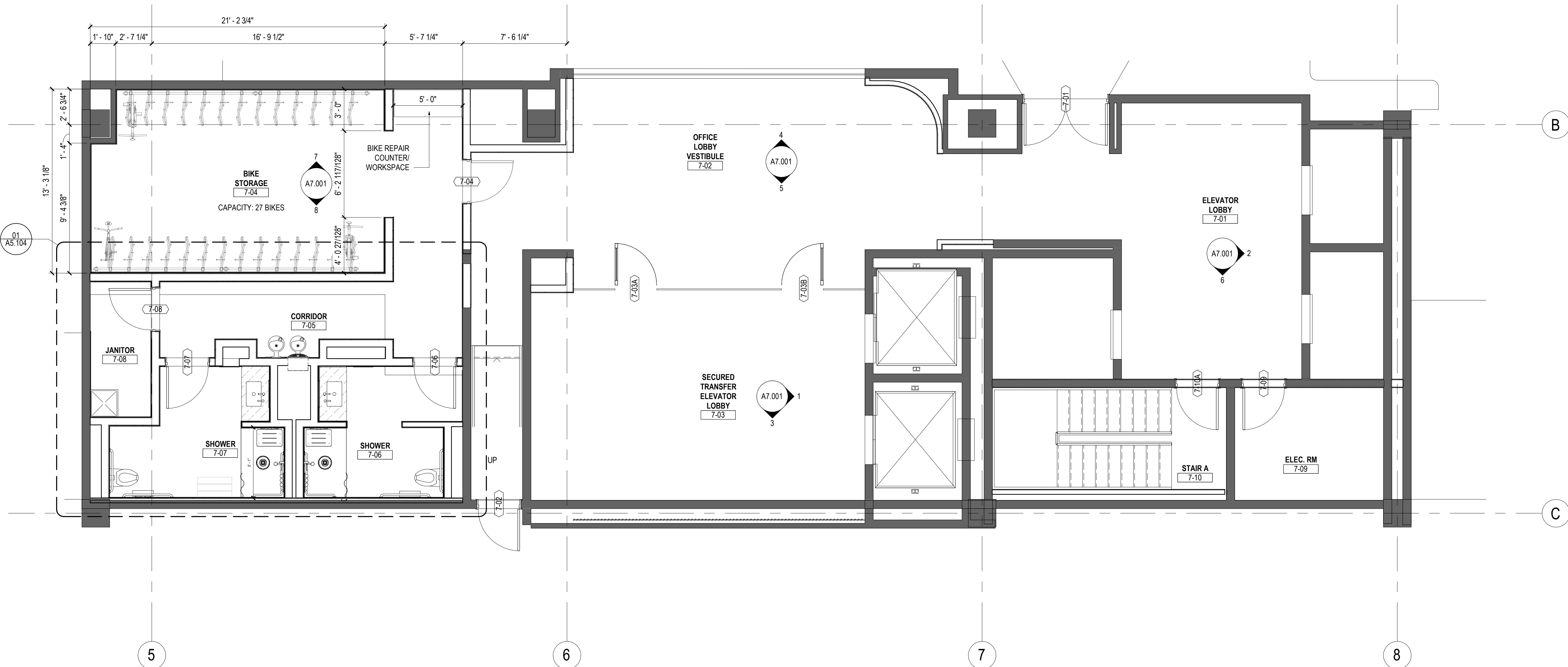
ENLARGED PLAN - LEVEL 07  
TRANSFER CORE

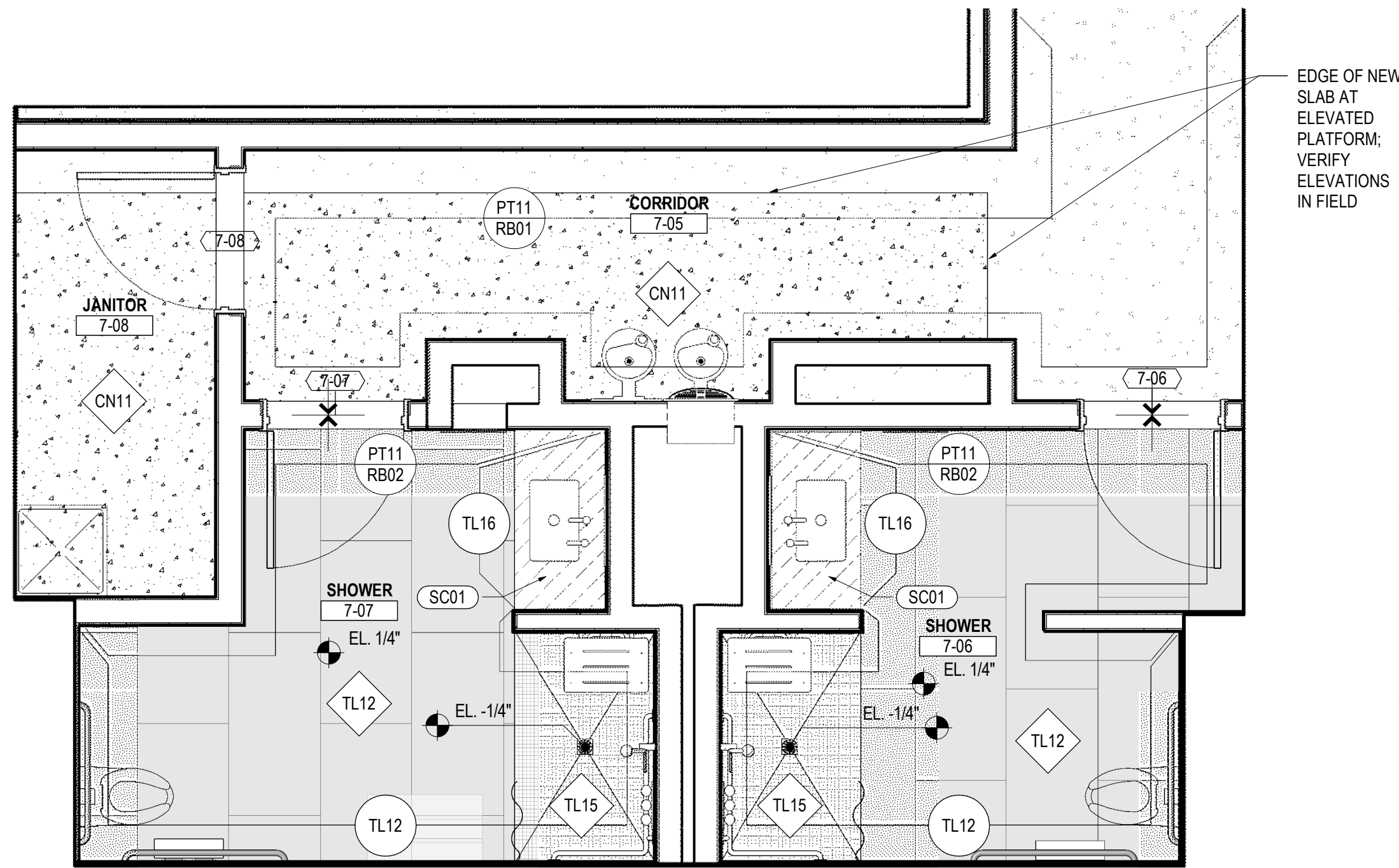
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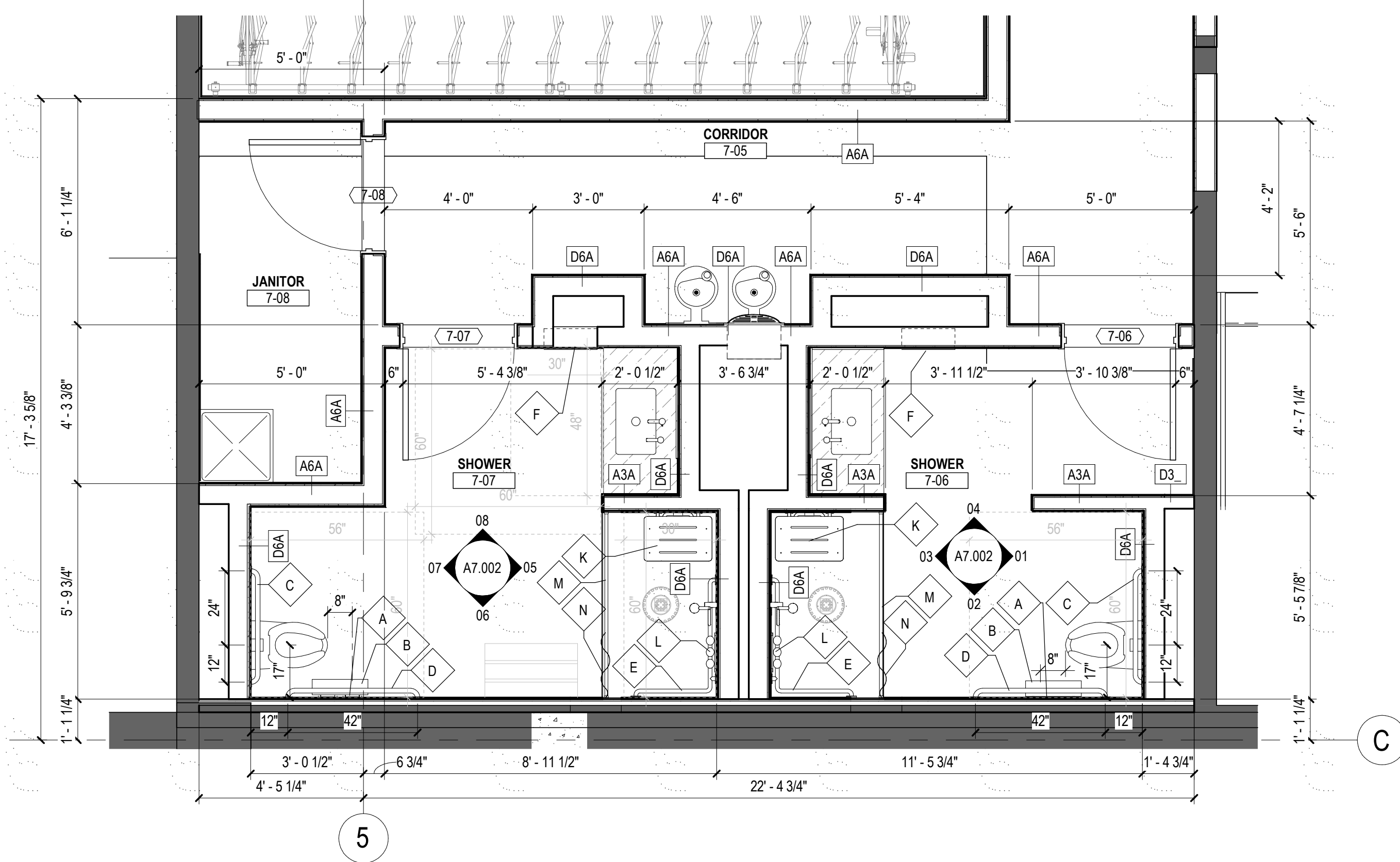
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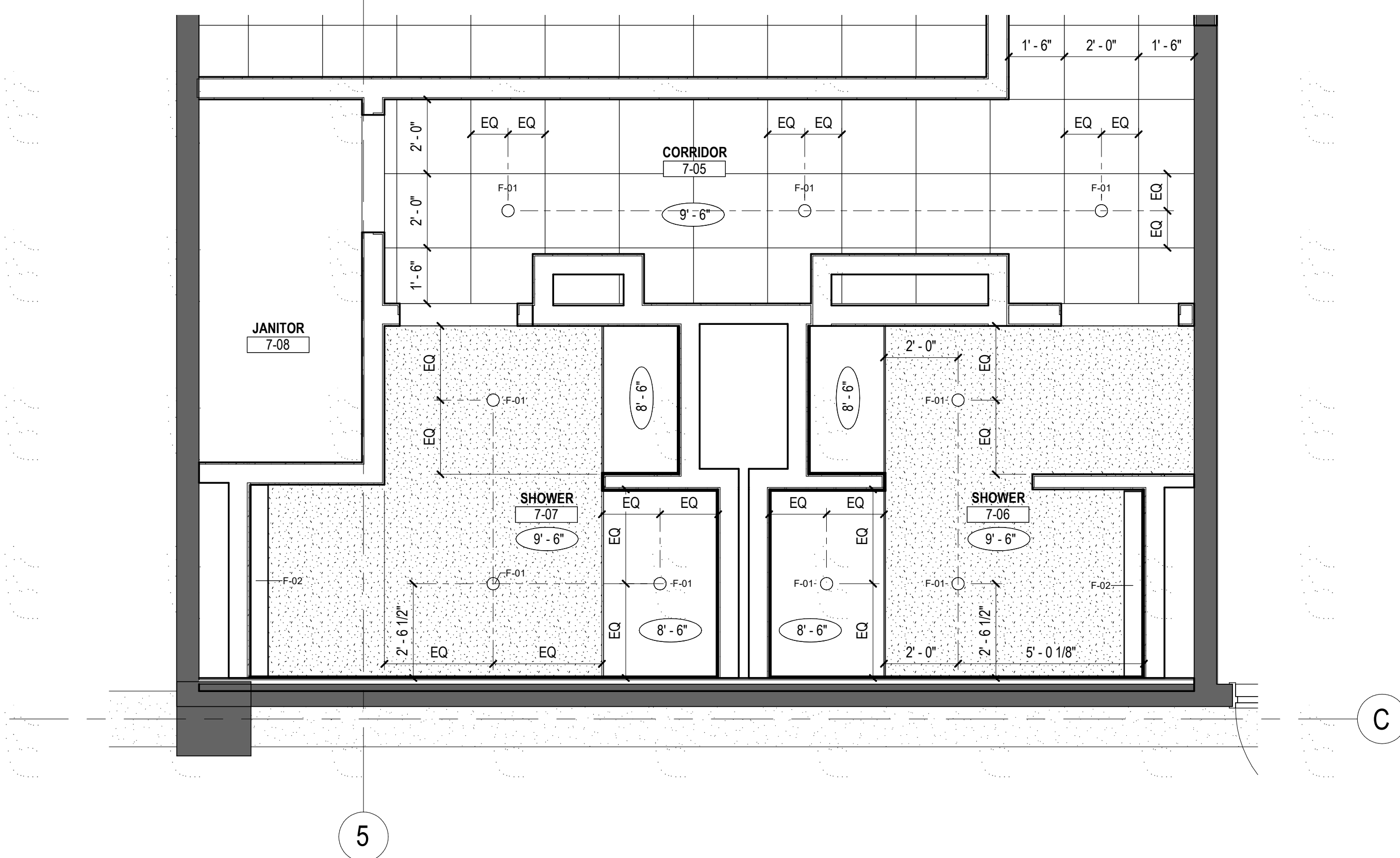




03 FINISH PLAN - LEVEL 07 - LOCKER ROOMS  
SCALE: 3/8" = 1'-0"



01 ENLARGED PLAN - LEVEL 07 - LOCKER ROOMS  
SCALE: 3/8" = 1'-0"



02 ENLARGED RCP - LEVEL 07 LOCKER ROOMS  
SCALE: 3/8" = 1'-0"

#### SHEET NOTES

#### GENERAL NOTES

#### RESTROOM ACCESSORIES SCHEDULE

TYPE	MFR.	MODEL #	DESCRIPTION	TYPE	MFR.	MODEL #	DESCRIPTION
A	Bobrick Washroom Equipment, Inc.	B-669	Recessed Toilet Tissue Dispenser w/ Hood For Single Roll	G	Bobrick Washroom Equipment, Inc.	B-167 2448	LED Backlit Mirror
B	Bobrick Washroom Equipment, Inc.	B-295	Solid Wall Mounted Shelf, 18"W x 5"D, Stainless	H	Bobrick Washroom Equipment, Inc.	B-165 2448	Channel Frame Mirror
C	Bobrick Washroom Equipment, Inc.	B-6806 x 36	36" Horizontal Grab Bar	K	Bobrick Washroom Equipment, Inc.	B-5191	Solid Phenolic Folding Shower/Dressing Area Seat
D	Bobrick Washroom Equipment, Inc.	B-6806 x 42	42" Horizontal Grab Bar	L	Simple Human	BT1029	Wall Mount Soap Pump - Triple
E	Bobrick Washroom Equipment, Inc.	B-58616	Tub-Shower-Toilet Compartment Two-Wall Grab Bar	M	Bobrick Washroom Equipment, Inc.	B-207x60	Shower Curtain Rod
F	American Specialties Inc.	6462-00	Platto™ Completely Recessed Paper Towel Dispenser and Waste Receptacle - White Phenolic Door (6462-00)	N	Bobrick Washroom Equipment, Inc.	B-204-2	Shower Curtain; Opaque, Matte White Vinyl

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**NOT FOR  
CONSTRUCTION**

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

ENLARGED PLAN, RCP AND FINISH -  
LEVEL 07 LOCKER ROOMS

Scale

3/8" = 1'-0"

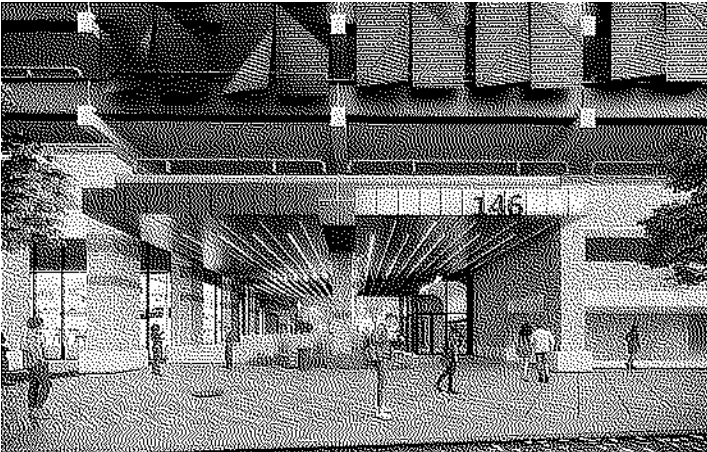
**A5.104**

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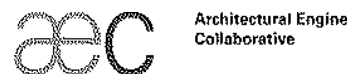
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Description

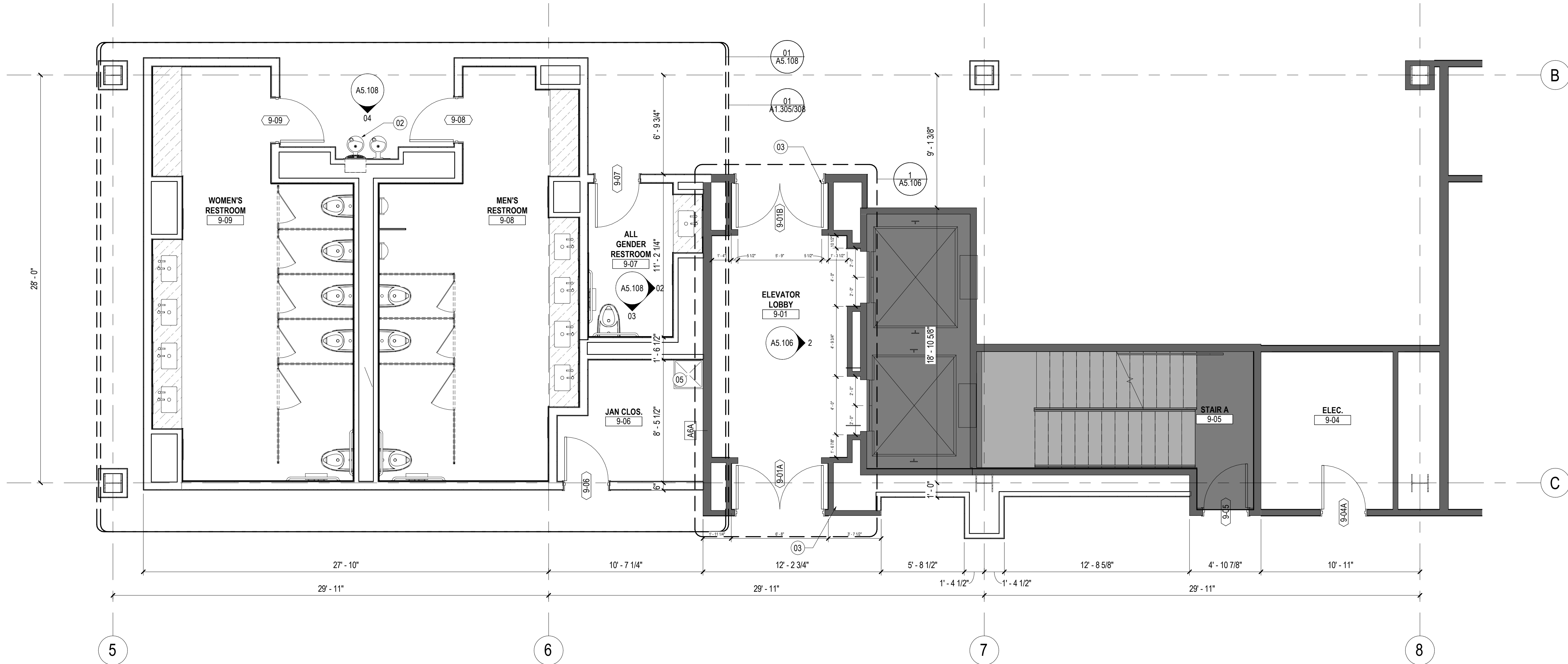
ENLARGED PLAN - LEVEL 08-10  
BUILDING CORE

Scale

1/4" = 1'-0"

## A5.105

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## 01 ENLARGED PLAN - LEVEL 08-10 CORE

SCALE: 1/4" = 1'-0"

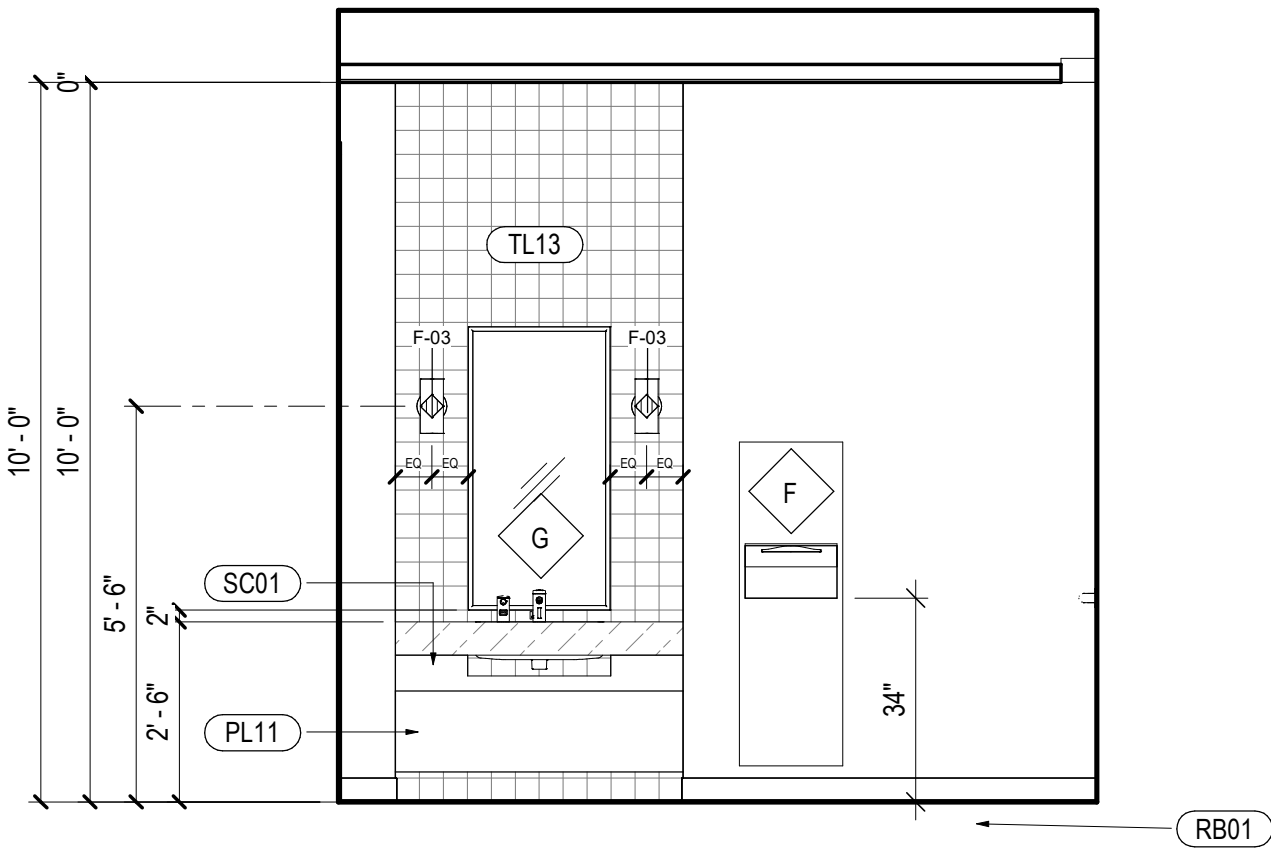
### SHEET NOTES

- PROVIDE NEW HI-LOW WATER FOUNTAIN WITH WATER BOTTLE FILLER.
- NEW DOUBLE DOORS ON HOLD OPEN AND TIED TO FIRE ALARM. EACH LEAF IS 3' WIDE AND 9' TALL. NEW DOORS AND FRAMES TO BE PAINT BLACK. PROVIDE HARDWARE SET AND FLUSH PANIC PUSH BAR.
- PROVIDE 2X2' MOP SINK.
- NEW GYP CEILING WITH 4" LED DOWNLIGHTS.
- PROVIDE NEW COVE LIGHT.
- NEW DOUBLE DOORS ON HOLD. PAINT PORTAL WALLS BLACK.
- PROVIDE NEW CALL LANTERN.
- CONSOLIDATE ALL DEVICES TO BLACK METAL PANEL. PROVIDE STAINLESS STEEL BLACK FILLED MAP AND STAINLESS STEEL FLOOR NUMBERS.
- ALL ELEVATOR DOORS TO BE PAINTED BLACK WITH SCUFFMASTER PAINT.
- PROVIDE 9'-0" GLASS DOORS INTO SPEC SUITE.
- ELEVATOR SURROUND TO BE 1/4" THK. MT01 WITH NO VISIBLE FASTENERS. METAL SURROUND TO BE PROUD OFF WOOD PANELS BY 1/2".
- PROVIDE NEW EDGE LIT MIRRORS.
- PROVIDE NEW WALL SCONCES FROM RICH BRILLIANT WILLING. STYLE: NOTCH.
- NEW AUTOMATIC FAUCET AND SOAP DISPENSER FROM SPLASH LAB.
- PROVIDE UNDERMOUNT PORCELAIN SINK.
- ALL NEW RESTROOMS TO RECEIVE ASI GLOBAL TOILET PARTITIONS. STYLE ALPACO ELEGANCE, WOOD GRAIN FINISH.

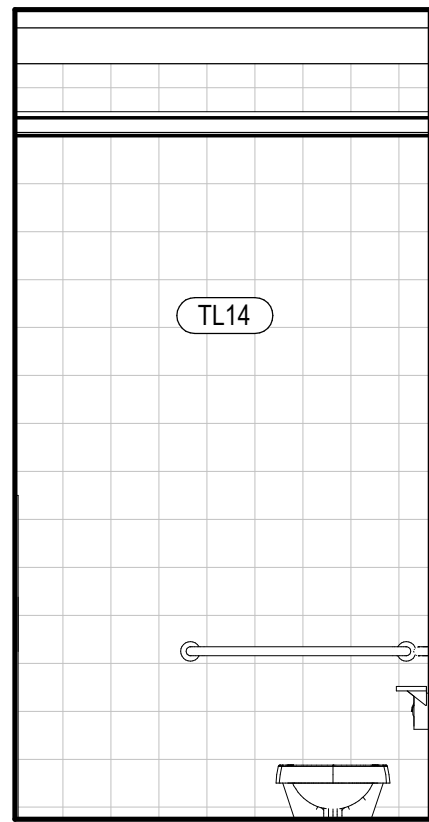
### GENERAL NOTES

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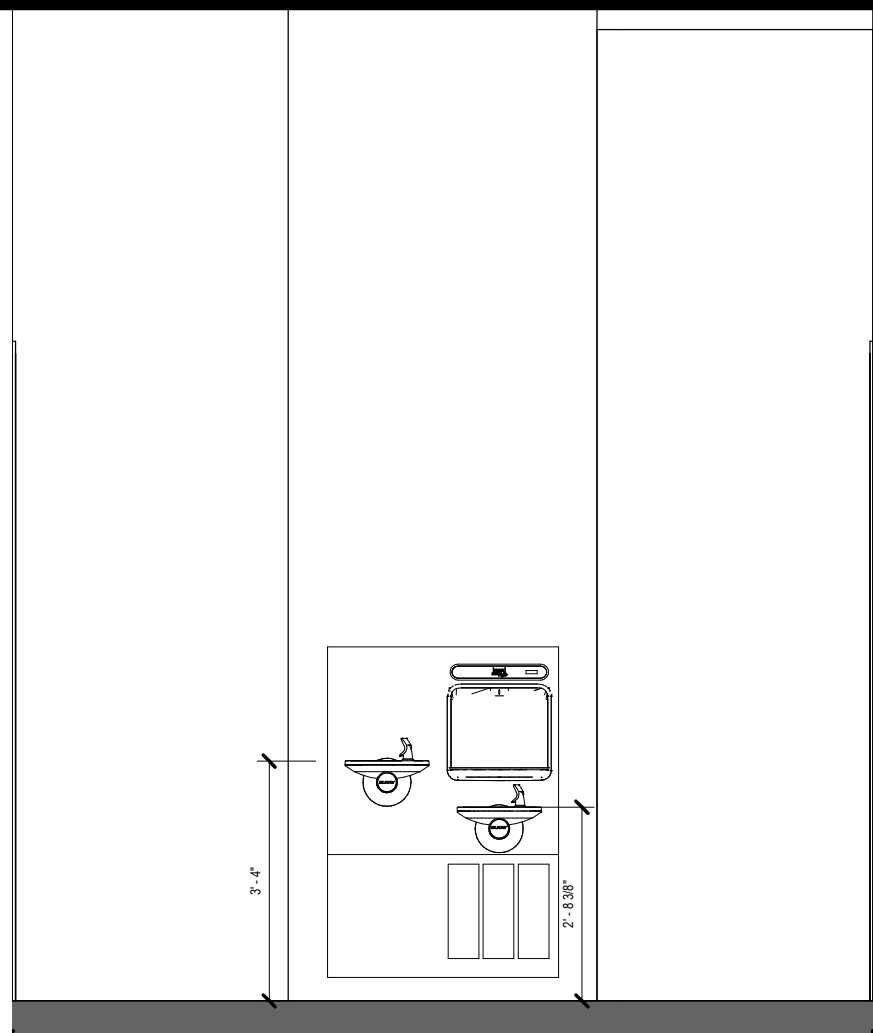
11/29/2021 2:10:50 PM BM 360/122.0039.000 - 146 Navarro Repositioning/Architecture - 122.0039.000\_146NAV.rvt



02 ELEVATION - ALL GENDER RR EAST  
SCALE: 3/8" = 1'-0"



03 ELEVATION - ALL GENDER RR SOUTH  
SCALE: 3/8" = 1'-0"



04 ELEVATION - DRINKING FOUNTAINS  
SCALE: 3/8" = 1'-0"

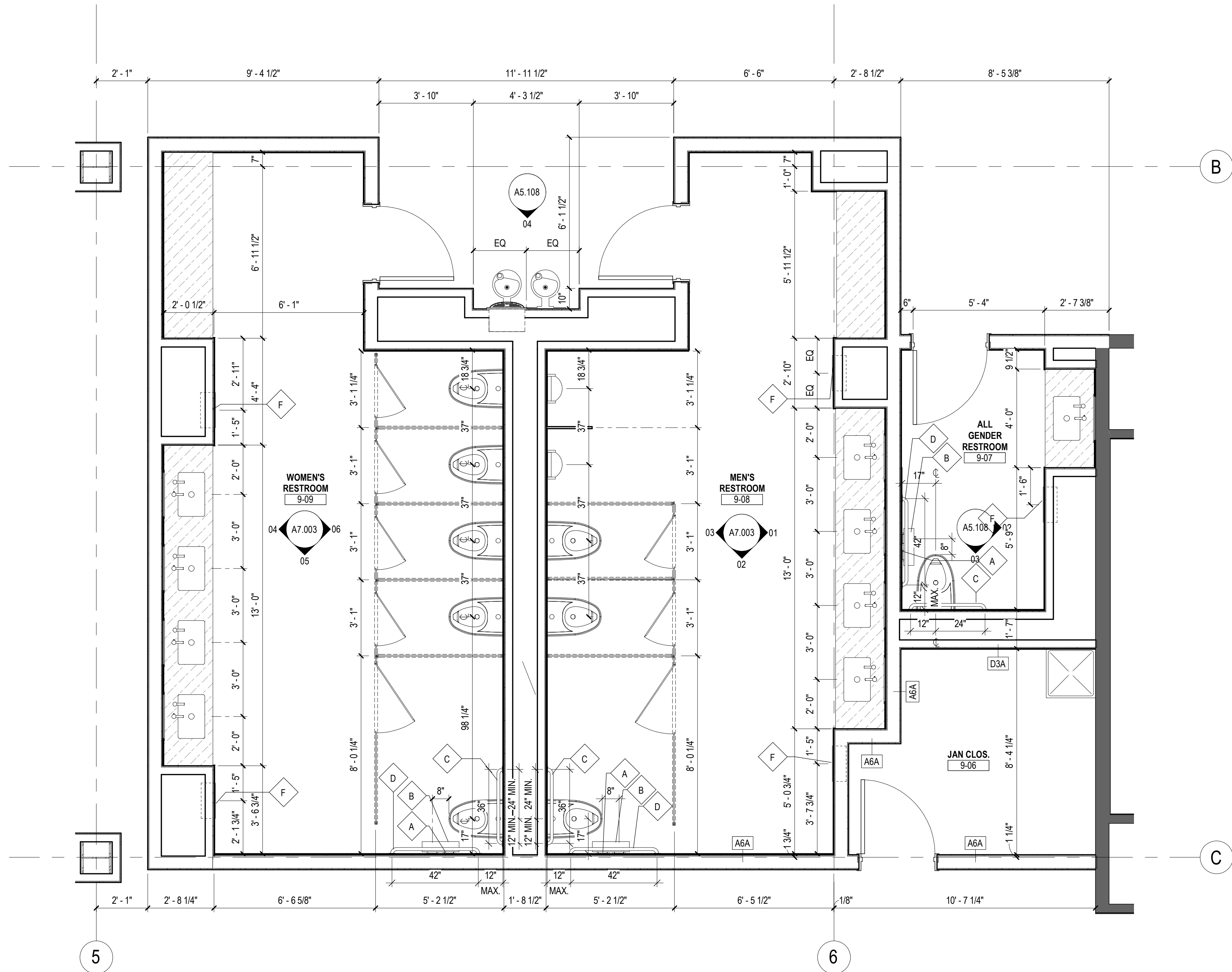
#### SHEET NOTES

01 ENLARGED PLAN - CORE RESTROOMS  
SCALE: 3/8" = 1'-0"

#### GENERAL NOTES

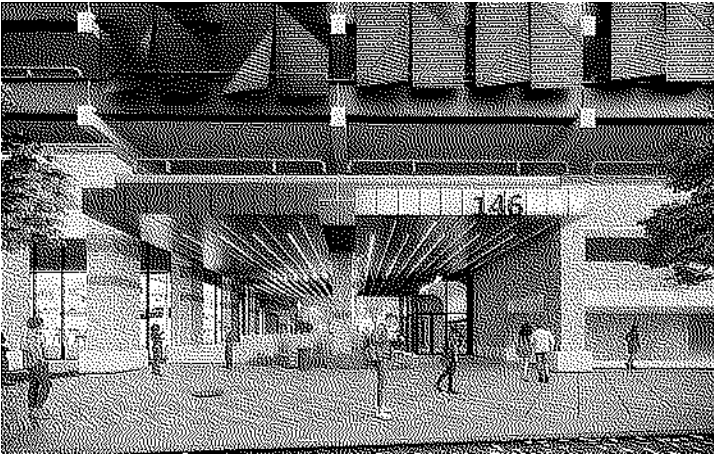
#### RESTROOM ACCESSORIES SCHEDULE

TYPE	MFR.	MODEL #	DESCRIPTION	TYPE	MFR.	MODEL #	DESCRIPTION
A	Bobrick Washroom Equipment, Inc.	B-669	Recessed Toilet Tissue Dispenser w/ Hood For Single Roll	G	Bobrick Washroom Equipment, Inc.	B-167 2448	LED Backlit Mirror
B	Bobrick Washroom Equipment, Inc.	B-295	Solid Wall Mounted Shelf, 18"W x 5"D, Stainless	H	Bobrick Washroom Equipment, Inc.	B-165 2448	Channel Frame Mirror
C	Bobrick Washroom Equipment, Inc.	B-6806 x 36	36" Horizontal Grab Bar	K	Bobrick Washroom Equipment, Inc.	B-5191	Solid Phenolic Folding Shower/Dressing Area Seat
D	Bobrick Washroom Equipment, Inc.	B-6806 x 42	42" Horizontal Grab Bar	L	Simple Human	BT1029	Wall Mount Soap Pump - Triple
E	Bobrick Washroom Equipment, Inc.	B-58616	Tub-Shower-Toilet Compartment Two-Wall Grab Bar	M	Bobrick Washroom Equipment, Inc.	B-207x60	Shower Curtain Rod
F	American Specialties Inc.	6462-00	Platto™ Completely Recessed Paper Towel Dispenser and Waste Receptacle - White Phenolic Door (6462-00)	N	Bobrick Washroom Equipment, Inc.	B-204-2	Shower Curtain; Opaque, Matte White Vinyl



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## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

ENLARGED PLAN AND ELEVATIONS -  
LEVEL 08-10 CORE RESTROOMS

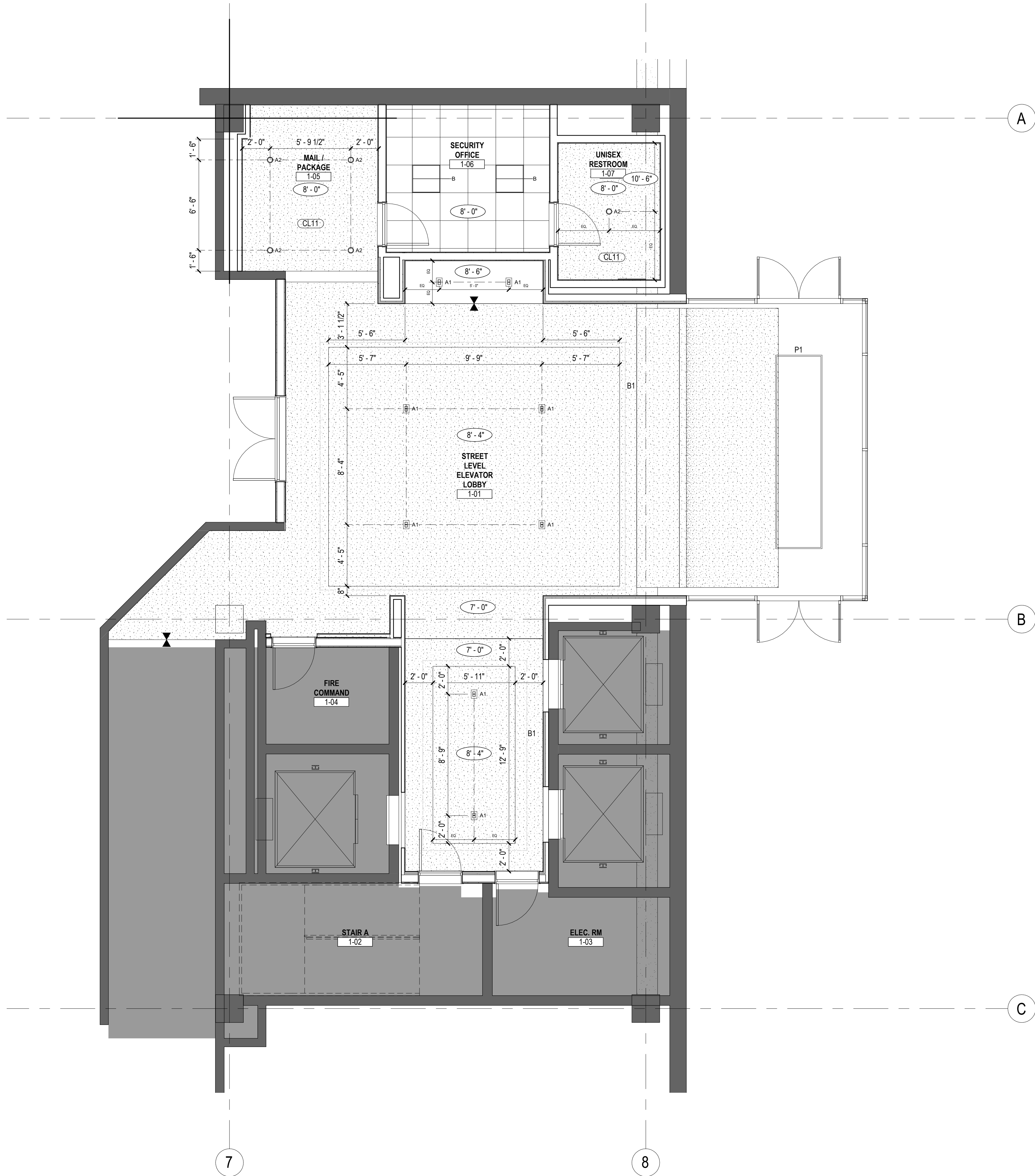
Scale

3/8" = 1'-0"

## A5.108

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01 ENLARGED RCP - LEVEL 01 LOBBY  
SCALE: 1/4" = 1'-0"

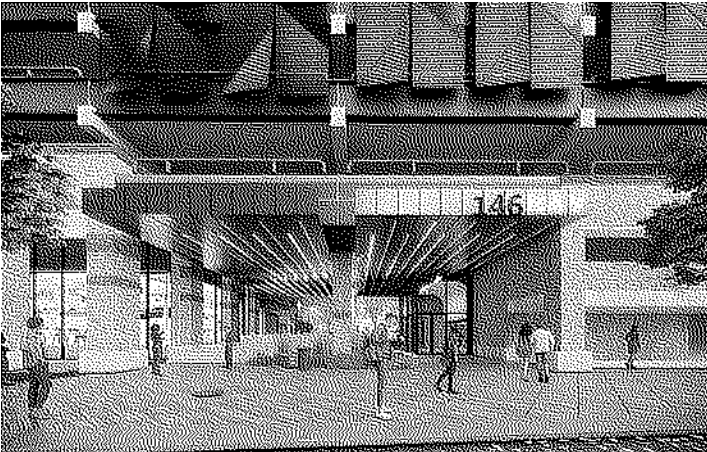
## SHEET NOTES

## GENERAL NOTES

- RE: A00 DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- RE: A00 200 FOR TYPICAL DEVICE MOUNTING LOCATIONS.
- PROVIDE "CL-1" MOUNTED AT 9'-0" FOR ALL ACOUSTICAL CEILINGS, UNO.
- CENTER ALL EXIT SIGNS, SMOKE DETECTORS, ETC. IN THE CENTERLINE OF CORRIDORS AND CENTERLINE OF LIGHT FIXTURES, UNO, OR VIOLATION OF APPLICABLE CODES WOULD OCCUR.
- INSTALL REGISTERS AND LIGHT FIXTURES WITHIN GRID LINES. INSTALL SPEAKERS, LIGHT FIXTURES, AND OTHER CEILING ELEMENTS IN THE GEOMETRIC CENTER OF ACOUSTICAL UNITS OR CEILING PANELS, UNO.
- IN ACOUSTICAL CEILINGS, LOCATE ALL SPRINKLER HEADS IN THE GEOMETRIC CENTER OF PANELS, UNO.
- IF IT IS NOT POSSIBLE TO LOCATE SPRINKLER HEADS AS REQUIRED ABOVE FOR ANY REASON, INCLUDING, WITHOUT LIMITATION, CODE REQUIREMENTS, DO NOT PROCEED WITH WORK UNTIL SUCH CONDITIONS HAVE BEEN REVIEWED WITH ARCHITECT.
- PROVIDE SPRINKLER HEAD LOCATIONS FOR ARCHITECT'S REVIEW FOR AESTHETIC PURPOSES PRIOR TO ANY INSTALLATION, AND PRIOR TO SUBMITTING DRAWINGS FOR PERMIT. CONTRACTOR WILL, OTHERWISE, BE REQUIRED TO RELOCATE HEADS AT ITS SOLE EXPENSE.
- RE: MEP DRAWINGS FOR DESIGN OF MECHANICAL AND ELECTRICAL SYSTEMS. ARCHITECTURAL PLANS GOVERN FOR LOCATION OF ITEMS INSTALLED IN CEILINGS. NOTIFY ARCHITECT IF CONFLICTS OCCUR.
- RE: ELECTRICAL DRAWINGS FOR FIXTURE SCHEDULE, EXIT LIGHTS AND OTHER LIFE SAFETY DEVICES.
- ARRANGE CONCEALED ITEMS TO PROVIDE ADEQUATE CLEARANCES FOR CEILING AND ITS DEVICES.
- VERIFY ACCESS PANEL LOCATIONS WITH ARCHITECT PRIOR TO LAYOUT OF WORK REQUIRING ACCESS.
- PLUMB ALL STEM, AIRCRAFT CABLE, AND APPURTENANCES USED TO SUPPORT SUSPENDED LIGHT FIXTURES, UNO.
- REMOVE ALL PAINT FROM EXPOSED DUCTWORK, CONDUIT AND PIPING. REMOVE ALL TAGS AND LABELS NOT REQUIRED BY CODE.
- FINISH HVAC DIFFUSERS, DRAPERY POCKETS, AND SPEAKER GRILLES TO MATCH ADJACENT FINISH, UNO.
- PROVIDE CONCEALED SPRINKLER HEADS WITH CAPS WHICH ARE FACTORY-PAINTED TO MATCH THE CEILING IN ALL DRYWALL CEILINGS. LOCATE ALL HEADS TO ALIGN WITH LIGHT FIXTURES, UNO.

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## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning

CD 75%

Project Number

122.0043.000

Description

ENLARGED RCP - STREET LEVEL LOBBY

Scale

1/4" = 1'-0"

## A5.201

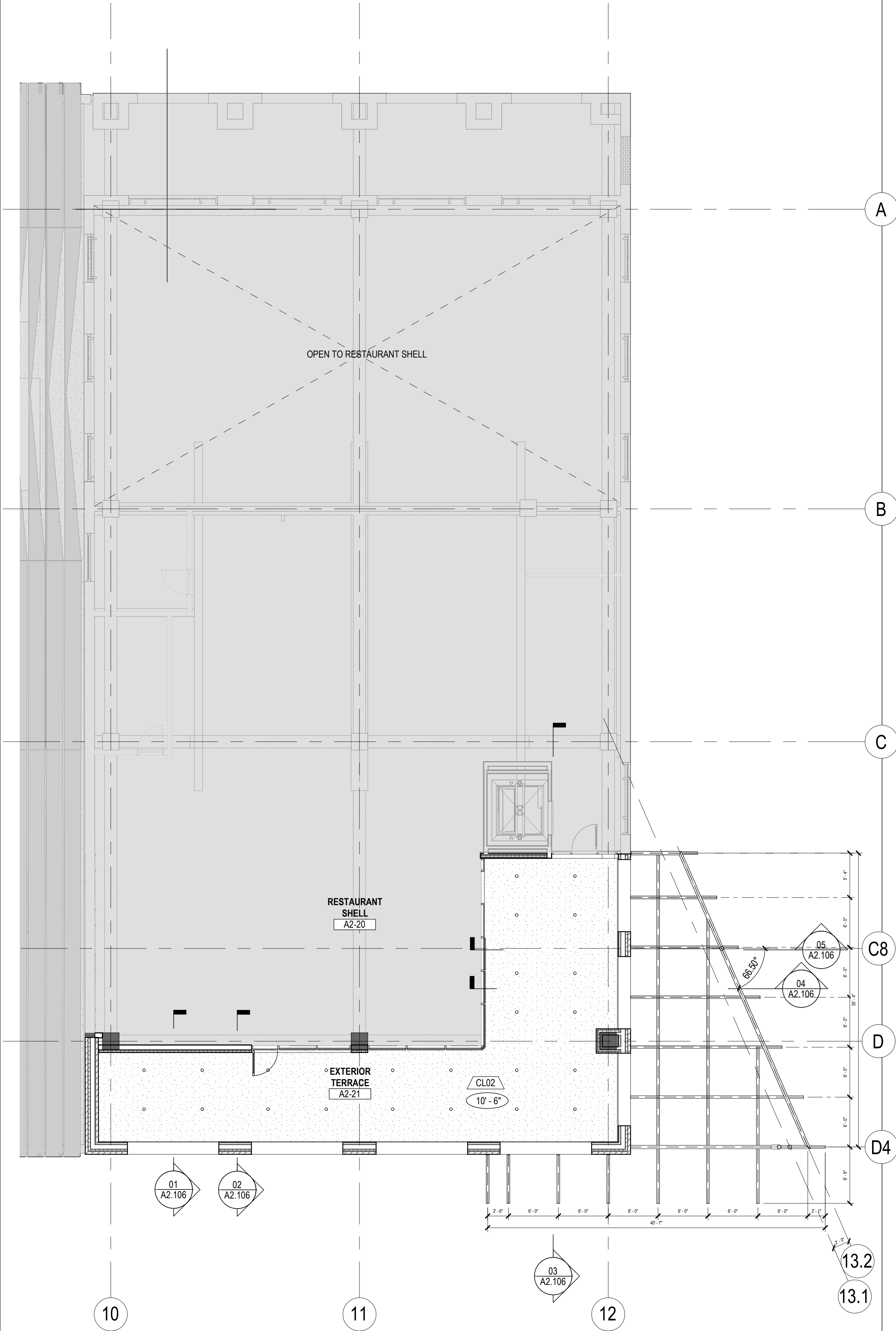




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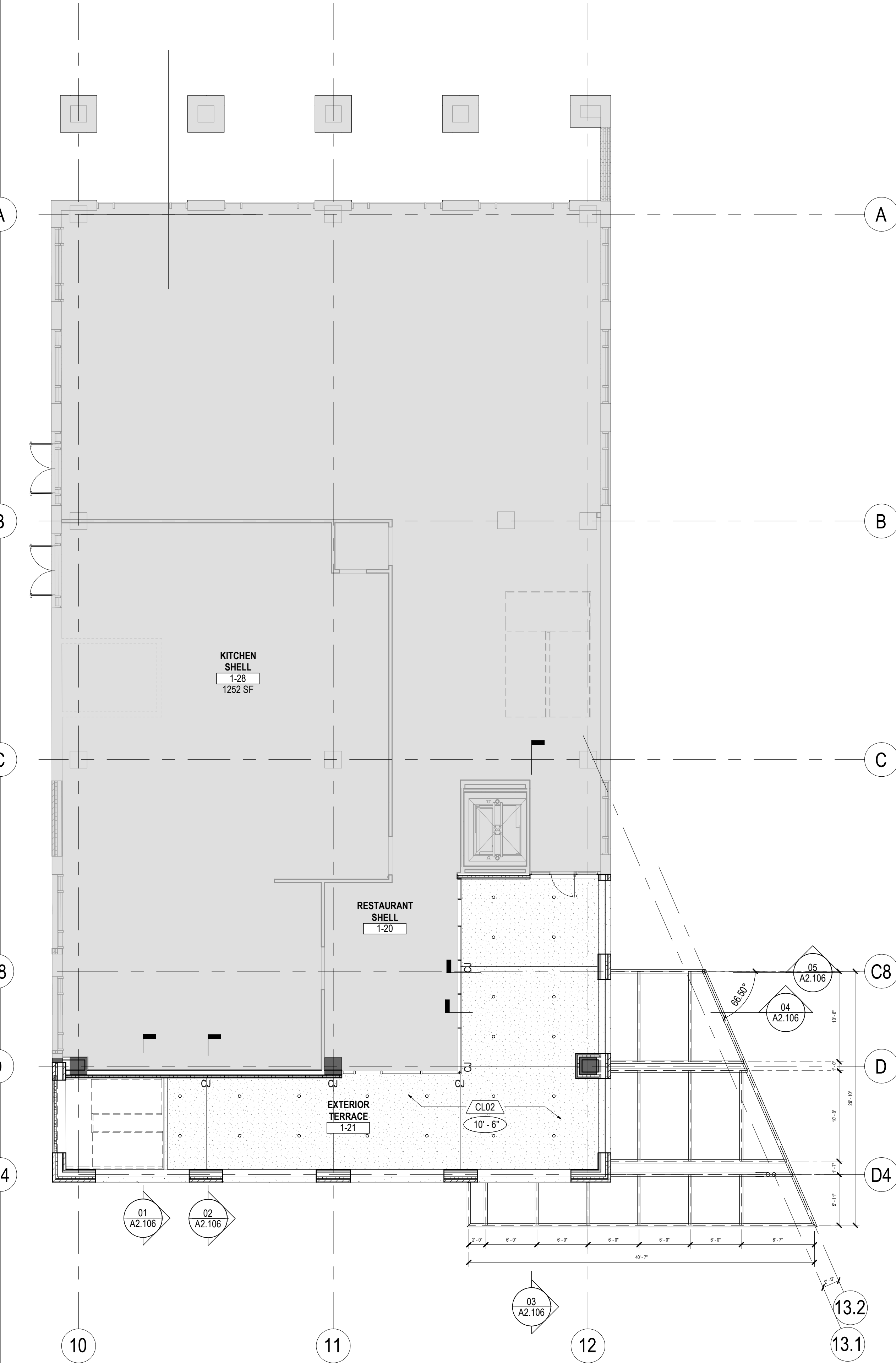
## 02 ENLARGED RCP - ANNEX BUILDING - LEVEL MEZZANINE

SCALE: 1/8" = 1'-0"



## 01 ENLARGED RCP - ANNEX BUILDING - LEVEL 01

SCALE: 1/8" = 1'-0"



### SHEET NOTES

RESTAURANT SHELL SPACE TO BE PREPARED FOR T.I. FINISHES, PLUMBING FIXTURES, LIGHT FIXTURES, AND MECHANICAL SYSTEMS. RELATED INFRASTRUCTURE TO BE PLANNED FOR IN BASE BUILDING CONDITION.

FOR REPOSITIONING EFFORT, GC TO PROVIDE EXTERIOR FINISHES AND WINDOW WALL SYSTEMS (FINISH TO MATCH MT01 / OFFICE LEVELS ENVELOPE), GLAZED GUARDRAILS AT EXTERIOR TERRACES, WATERPROOFING AT NEW EXTERIOR BUILDING PERIMETER, AND FINISH PLASTER SOFFITS WITH LIGHTING AT EXTERIOR TERRACE AREAS. BASE CONDITION TO BE COLD, DARK SHELL WITH MEP INFRASTRUCTURE.

### GENERAL NOTES

## BH PROPERTIES

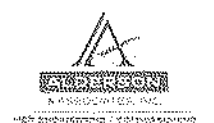
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## NOT FOR CONSTRUCTION

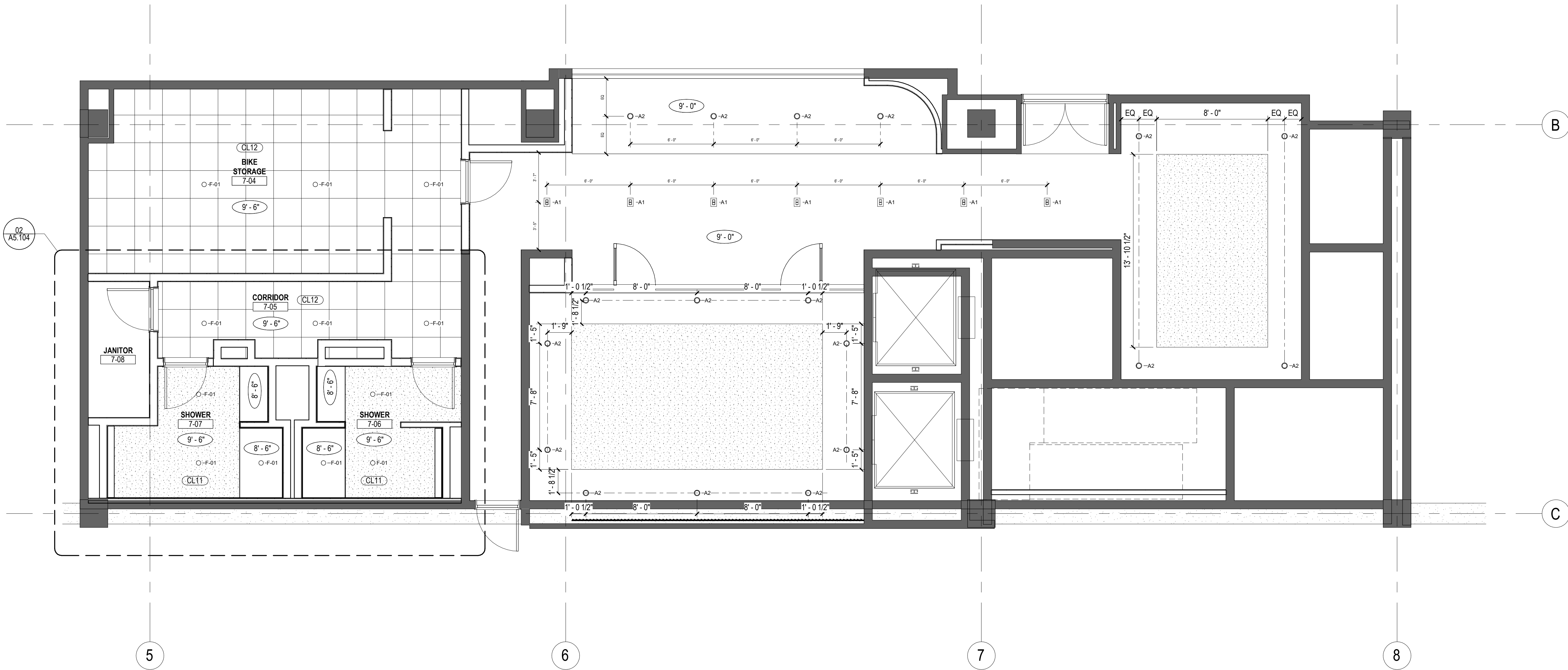
Project Name
146 Navarro Repositioning CD 75%
Project Number
122.0043.000
Description
ENLARGED RCP - ANNEX BUILDING LEVEL 01 & 02

Scale  
1/8" = 1'-0"

## A5.202

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## 01 ENLARGED RCP - LEVEL 07 TRANSFER CORE

SCALE: 1/4" = 1'-0"

### SHEET NOTES

### GENERAL NOTES

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## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

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Description

ENLARGED RCP - LEVEL 07  
TRANSFER CORE

Scale

1/4" = 1'-0"

## A5.203

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Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

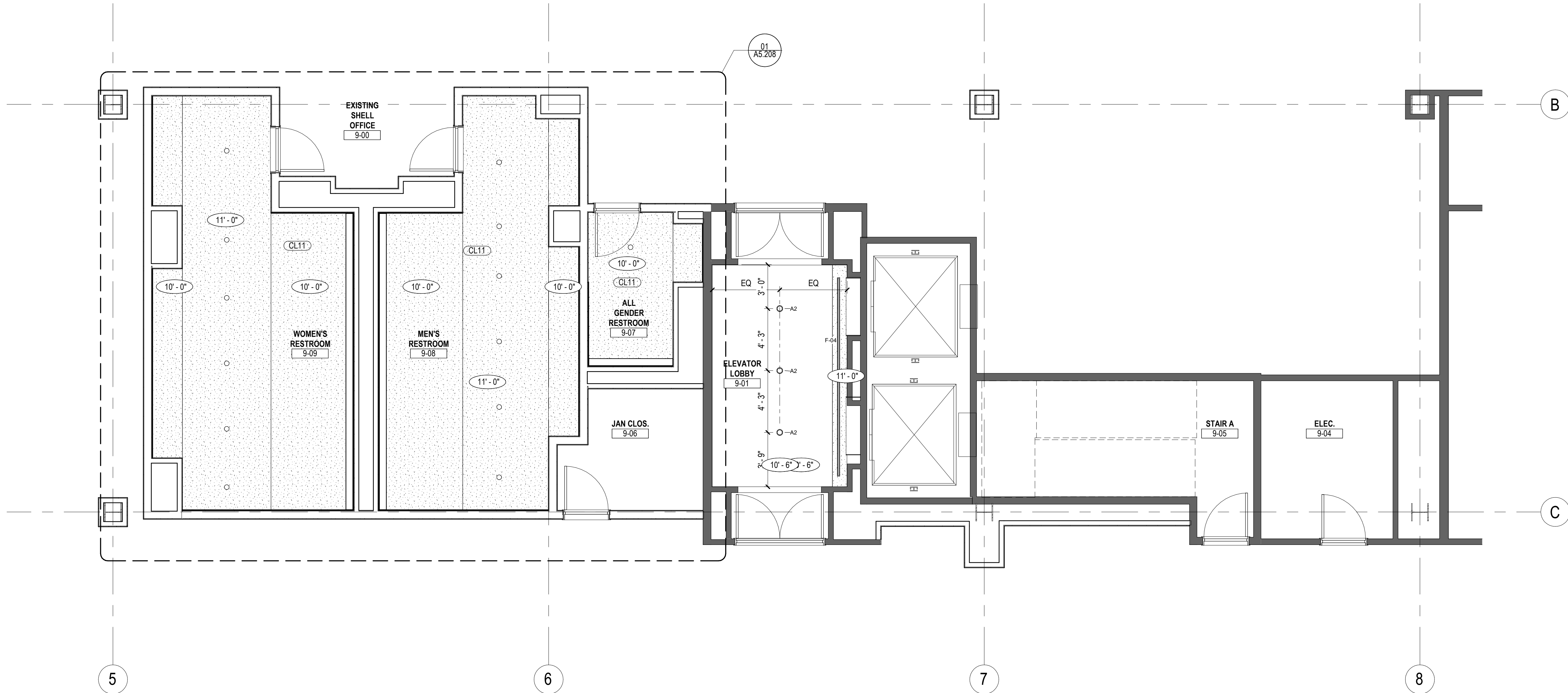
ENLARGED RCP - LEVEL 08-10  
BUILDING CORE

Scale

1/4" = 1'-0"

# A5.205

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## 01 ENLARGED RCP - BUILDING CORE

SCALE: 1/4" = 1'-0"

### SHEET NOTES

### GENERAL NOTES

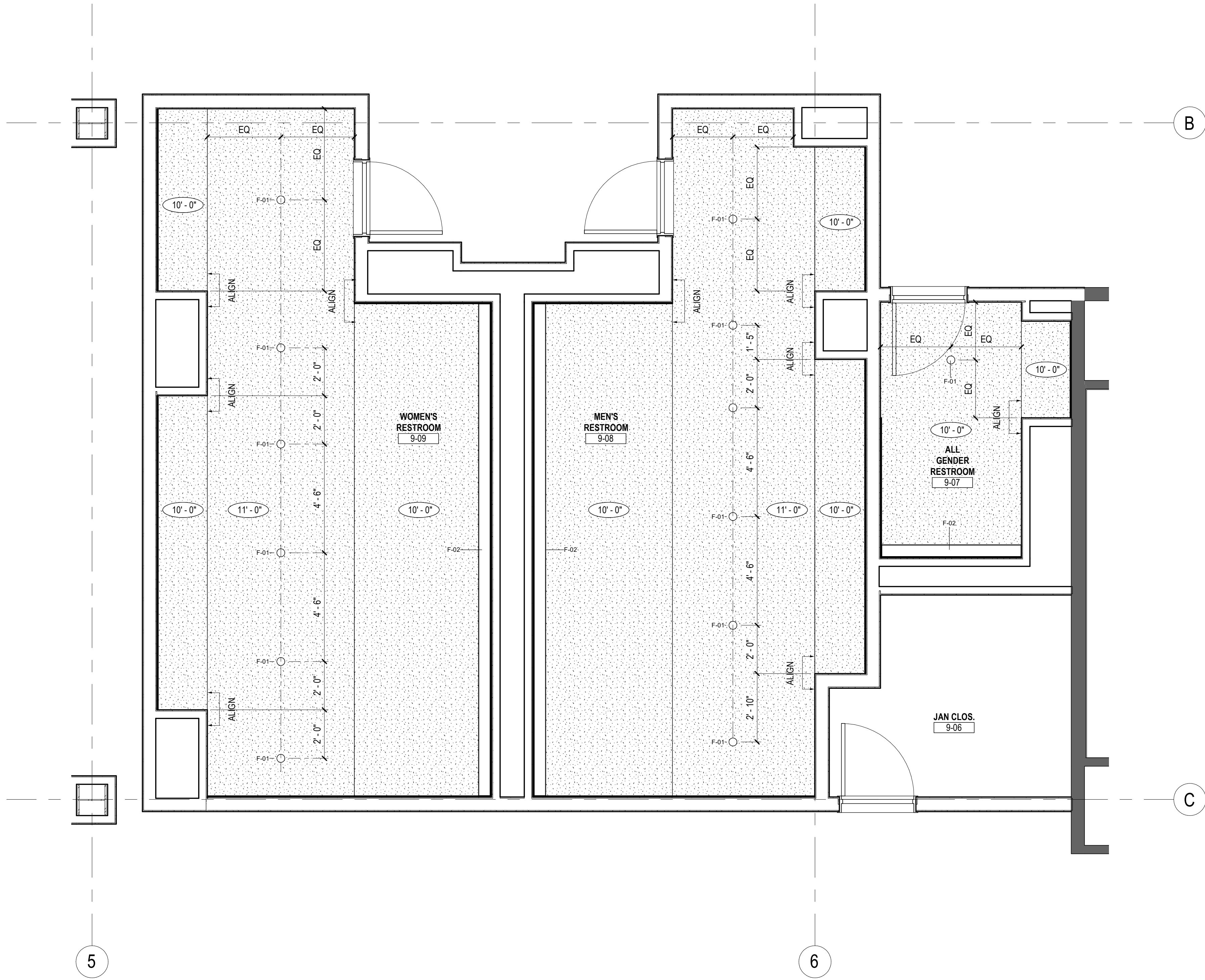
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SHEET NOTES

GENERAL NOTES

01 ENLARGED RCP - CORE RESTROOMS

SCALE: 3/8" = 1'-0"



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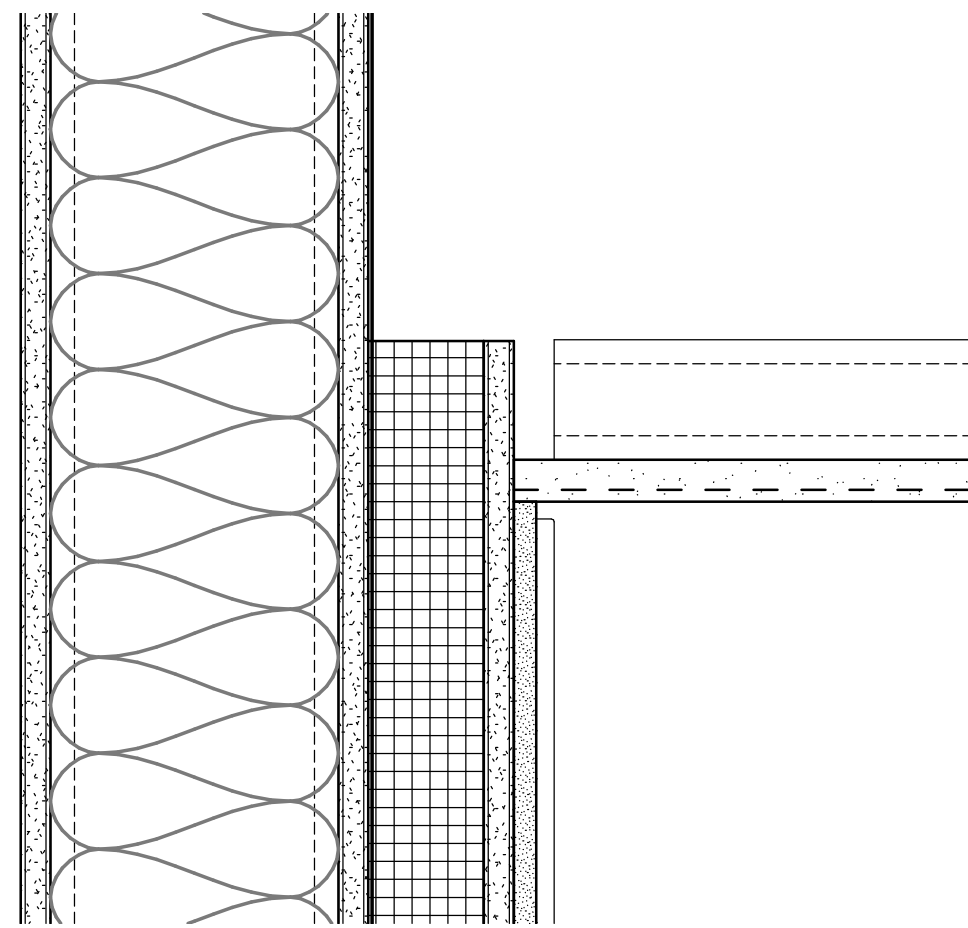
NOT FOR CONSTRUCTION

Project Name
146 Navarro Repositioning CD 75%
Project Number
122.0043.000
Description
ENLARGED RCP - LEVEL 08-10 CORE RESTROOMS

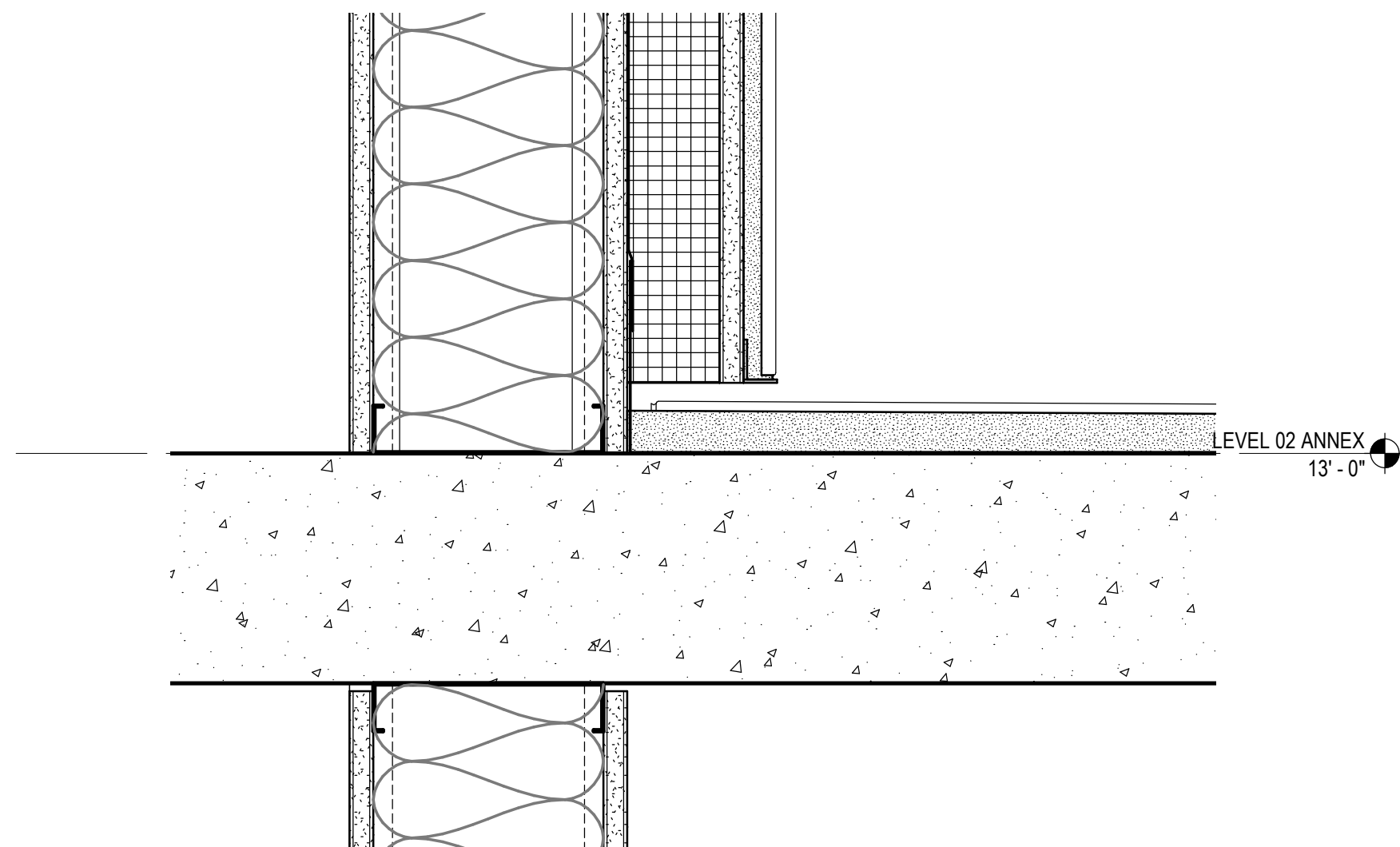
Scale  
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A5.208

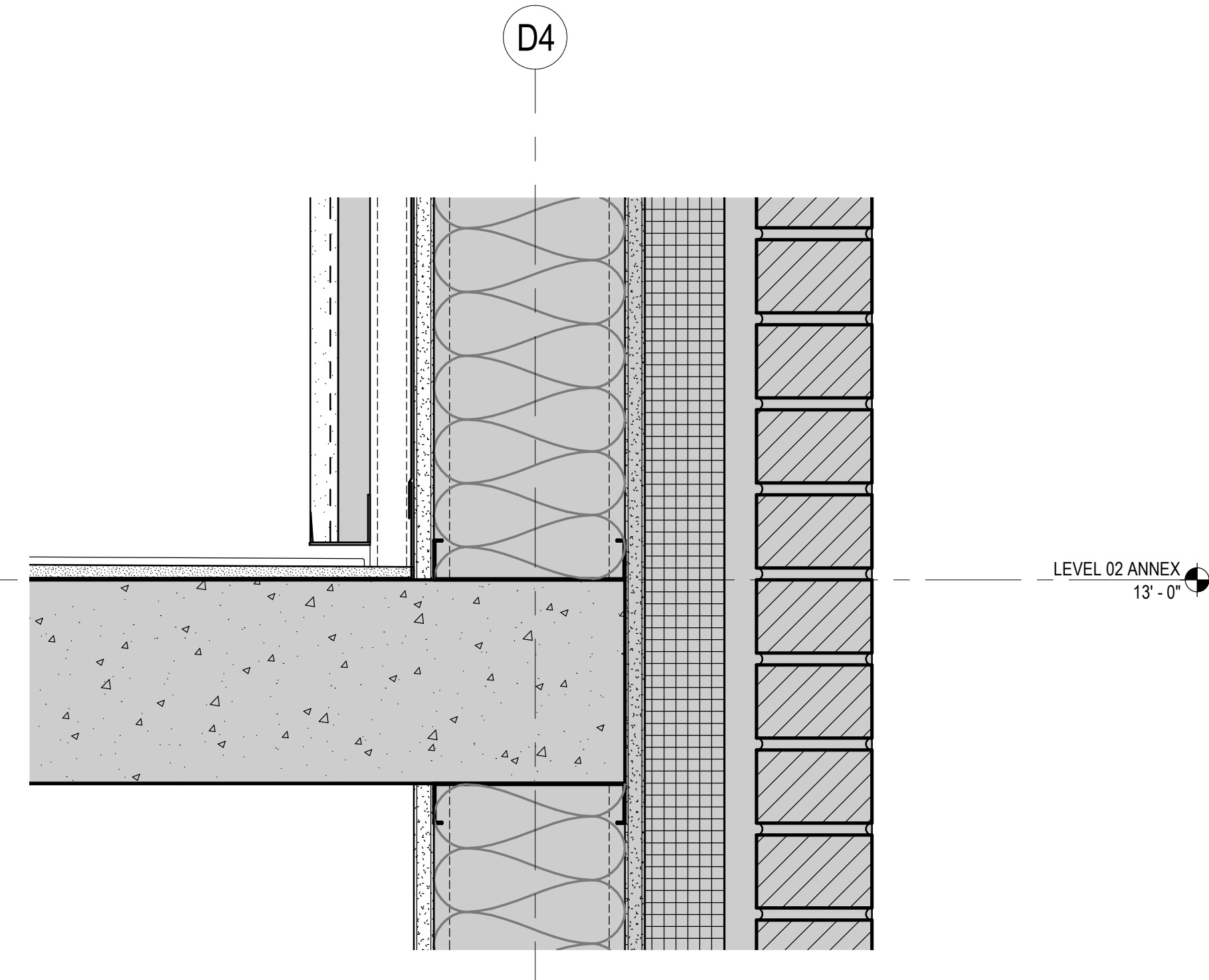




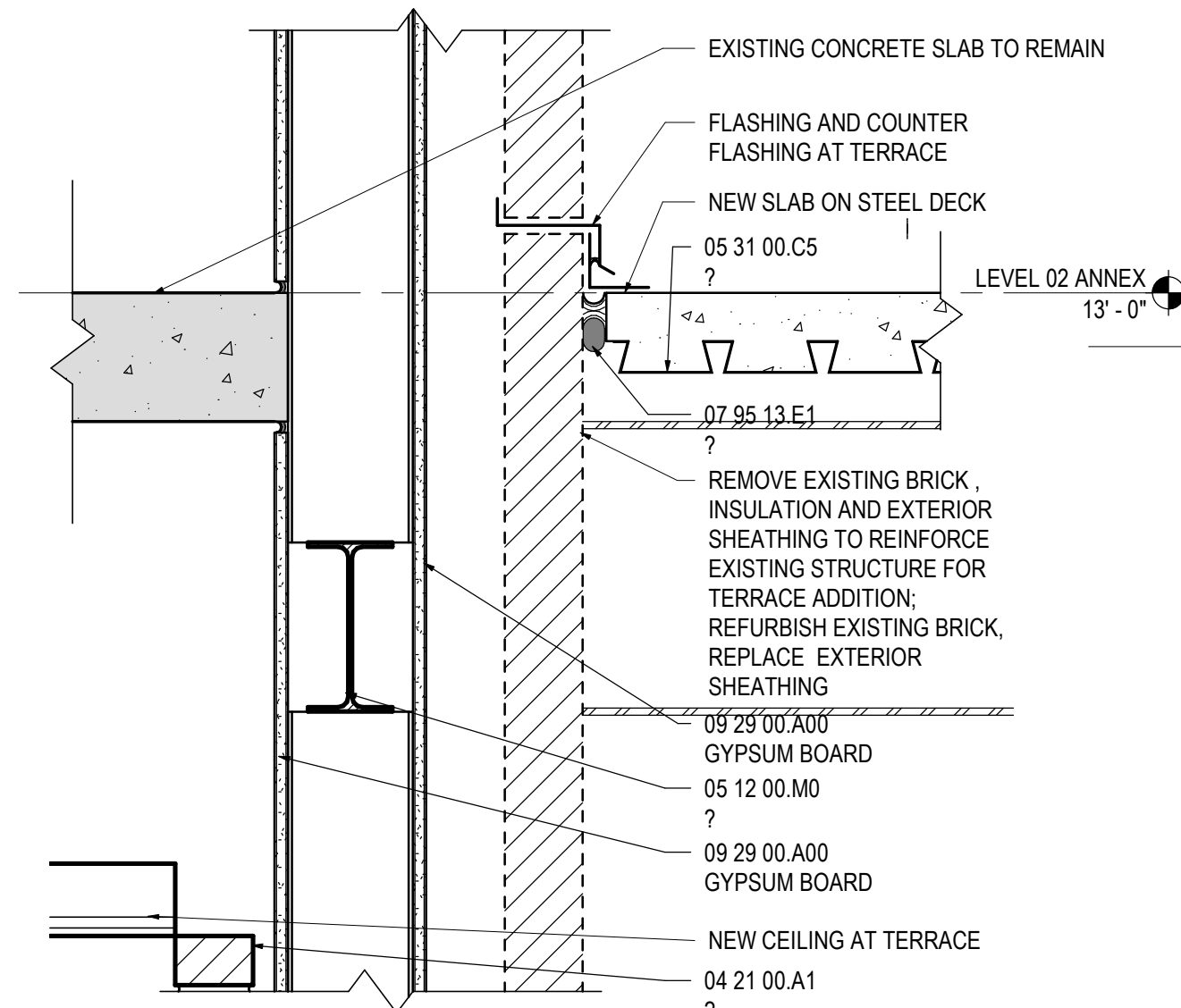
09 SECTION DETAIL - HEAD @ ANNEX TILE WALL  
SCALE: 3" = 1'-0"



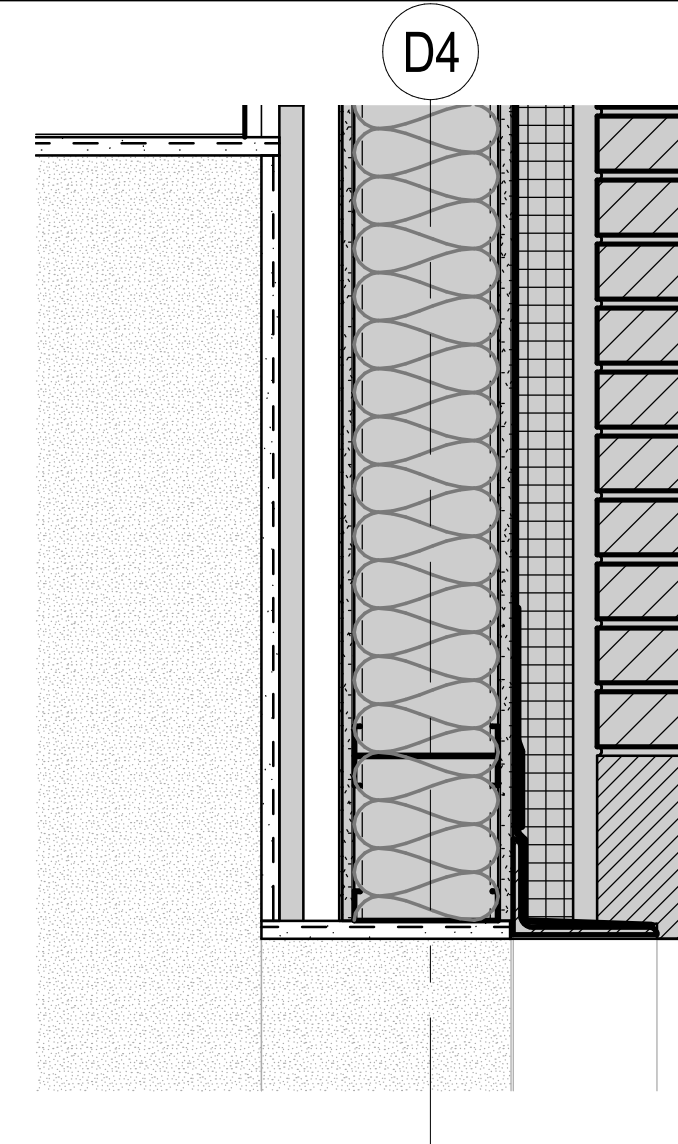
10 SECTION DETAIL - BASE @ ANNEX TILE WALL  
SCALE: 3" = 1'-0"



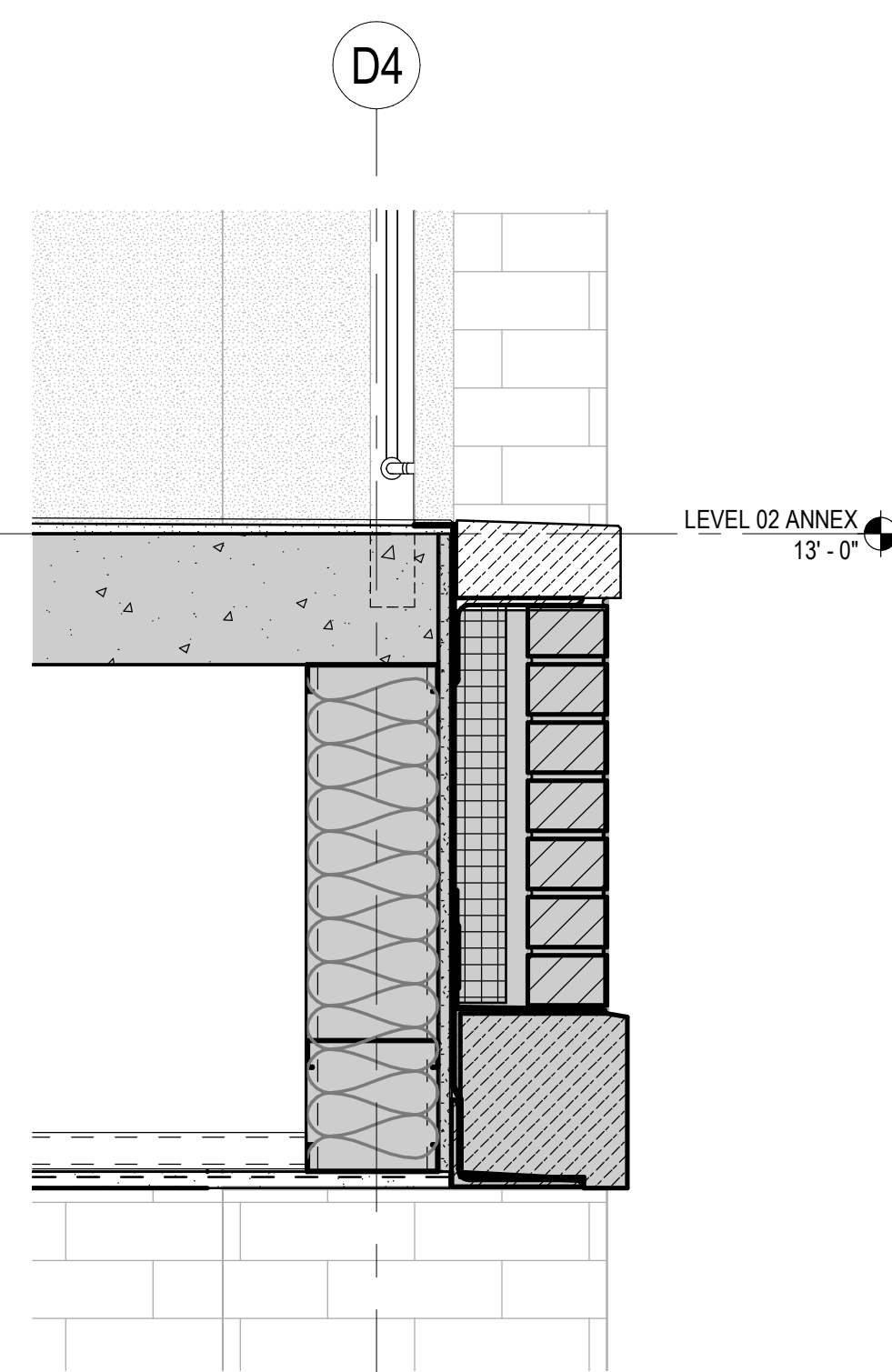
12 SECTION DETAIL - BASE @ REV. PILASTER  
SCALE: 3" = 1'-0"



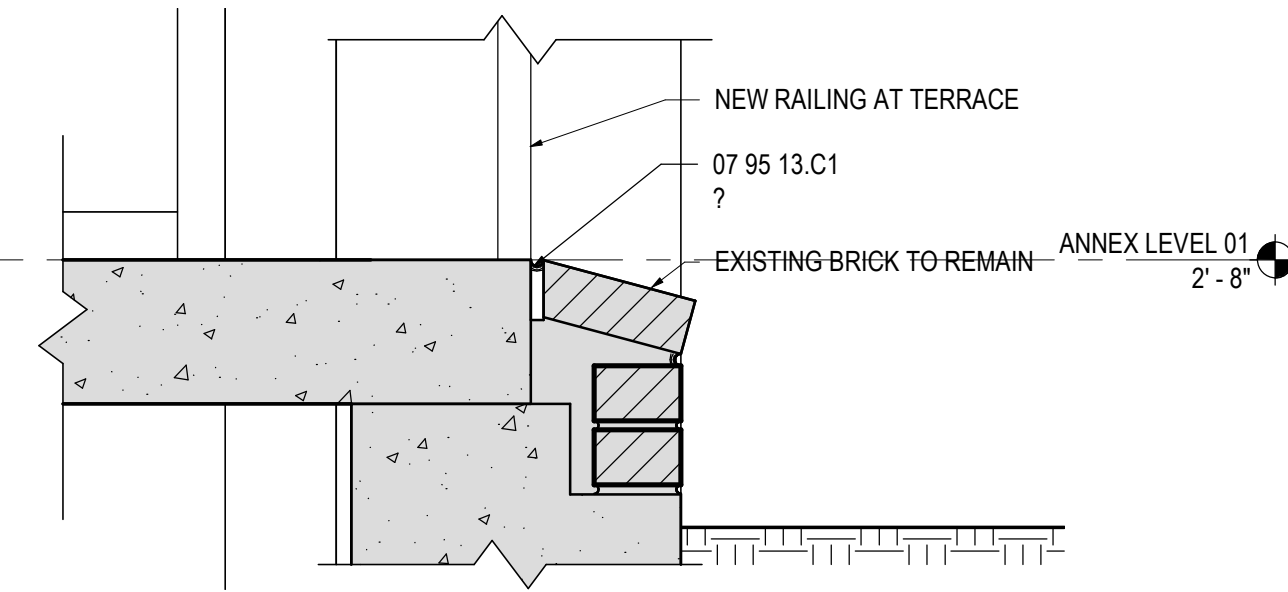
06 WALL SECTION DETAIL @ TERRACE 4  
SCALE: 1 1/2" = 1'-0"



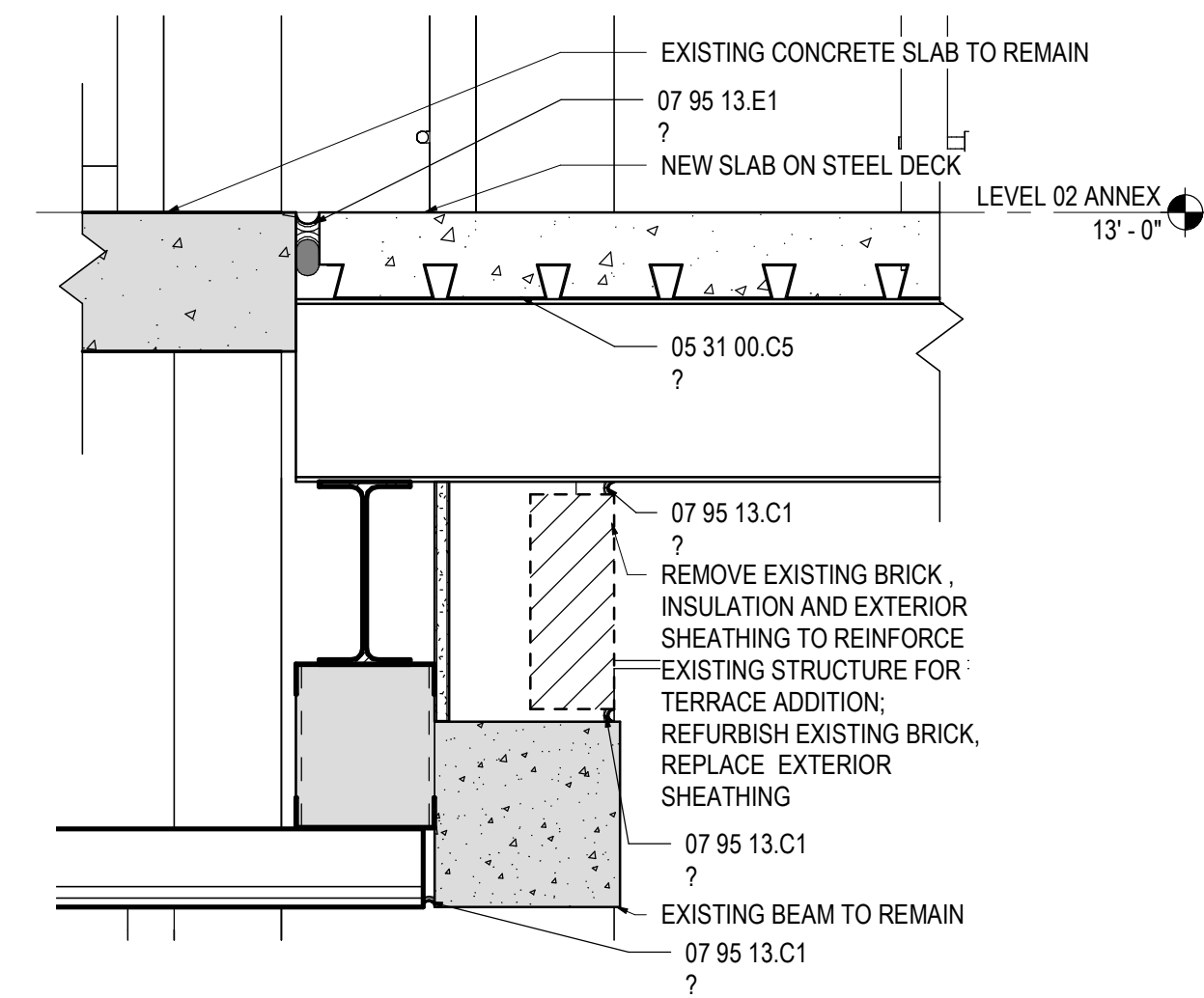
07 SECTION DETAIL - TYP. TERRACE OPENING HEAD  
SCALE: 1 1/2" = 1'-0"



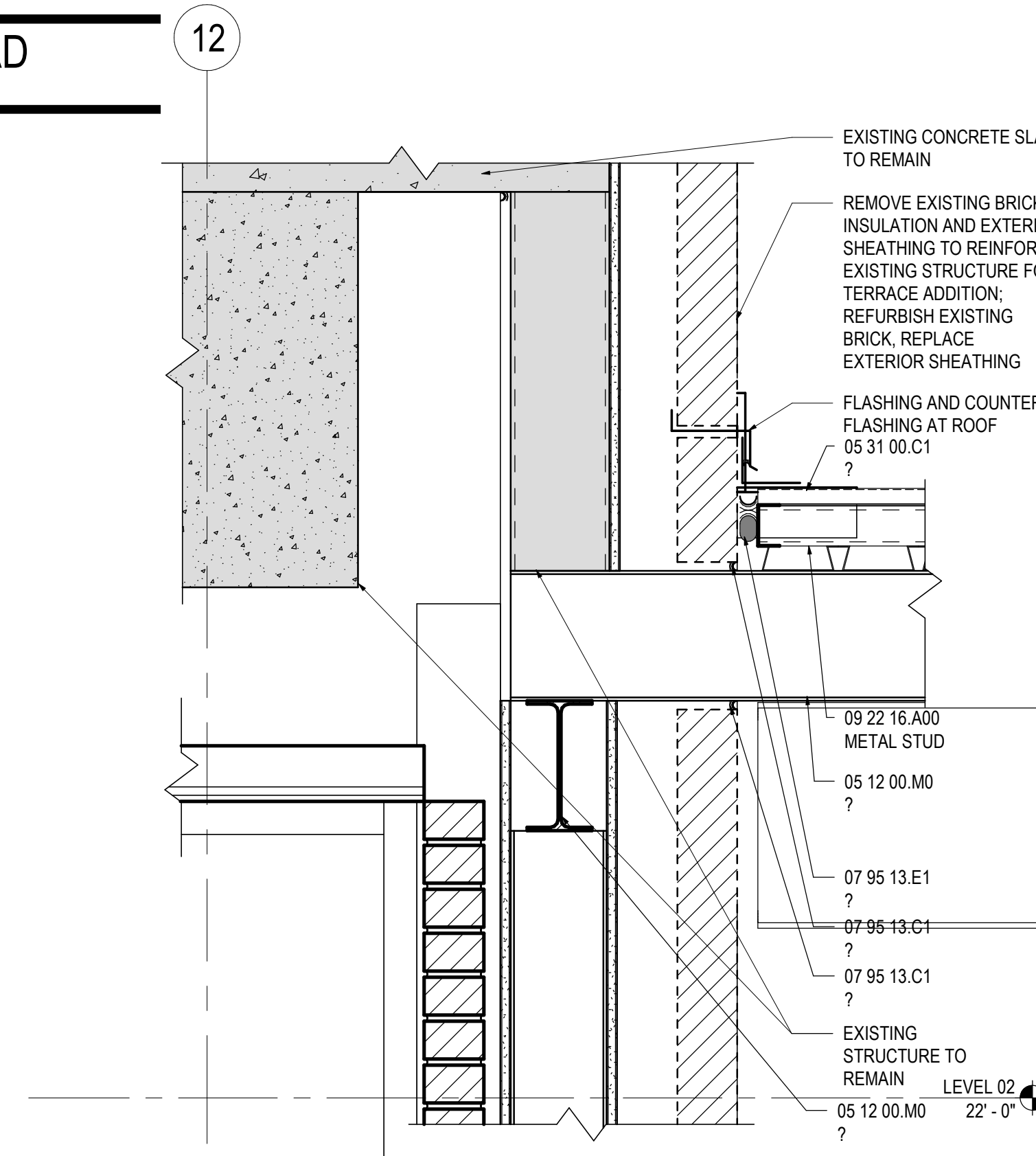
08 SECTION DETAIL - TYP. TERRACE OPENING SILL  
SCALE: 1 1/2" = 1'-0"



01 WALL SECTION DETAIL @ TERRACE 1  
SCALE: 1 1/2" = 1'-0"



02 WALL SECTION DETAIL @ TERRACE 2  
SCALE: 1 1/2" = 1'-0"



04 WALL SECTION DETAIL @ TERRACE 3  
SCALE: 1 1/2" = 1'-0"

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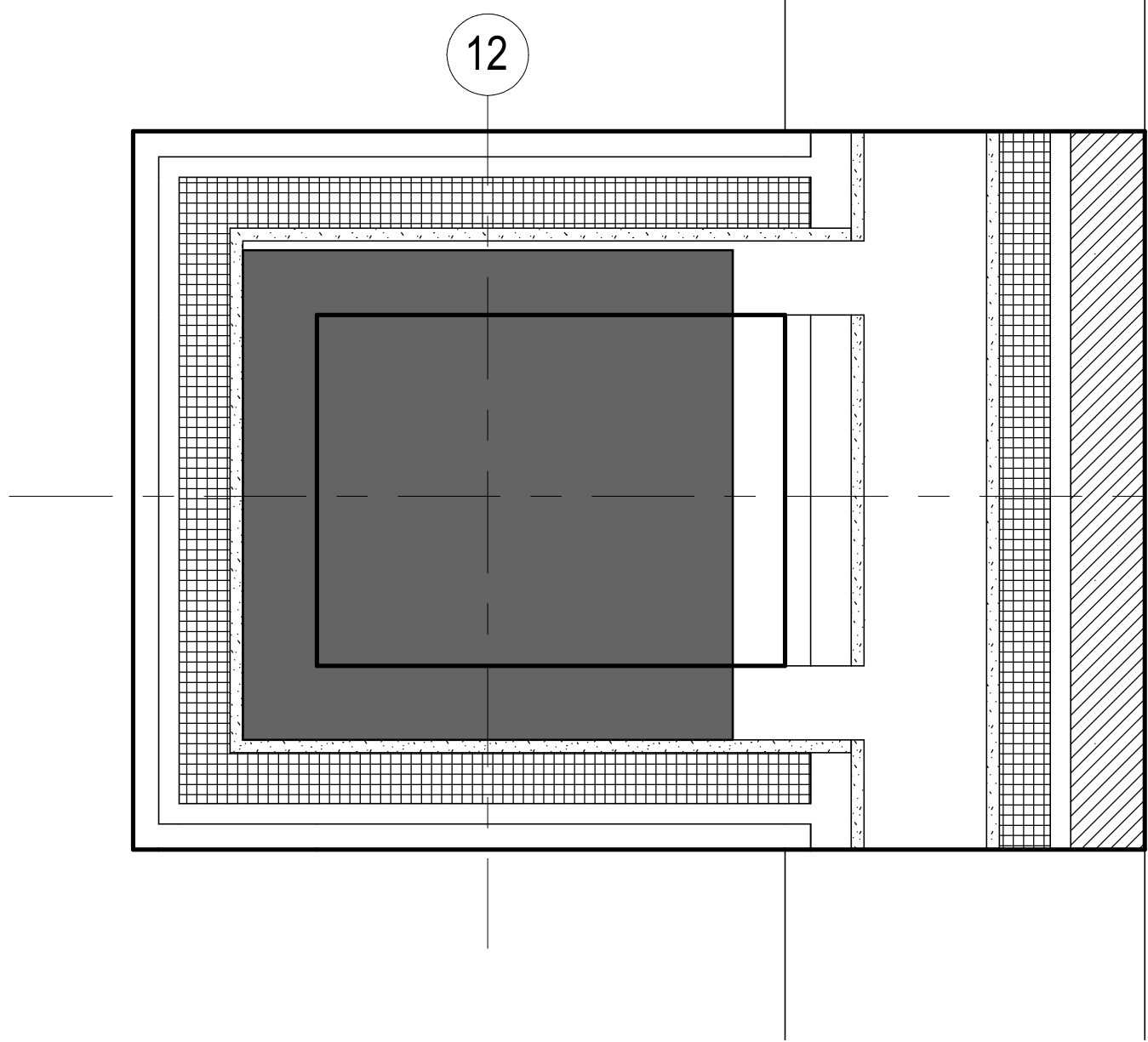
**NOT FOR  
CONSTRUCTION**

**Project Name**  
146 Navarro Repositioning  
CD 75%  
**Project Number**  
122.0043.000  
**Description**  
SECTION DETAILS - ANNEX BUILDING  
TERRACE

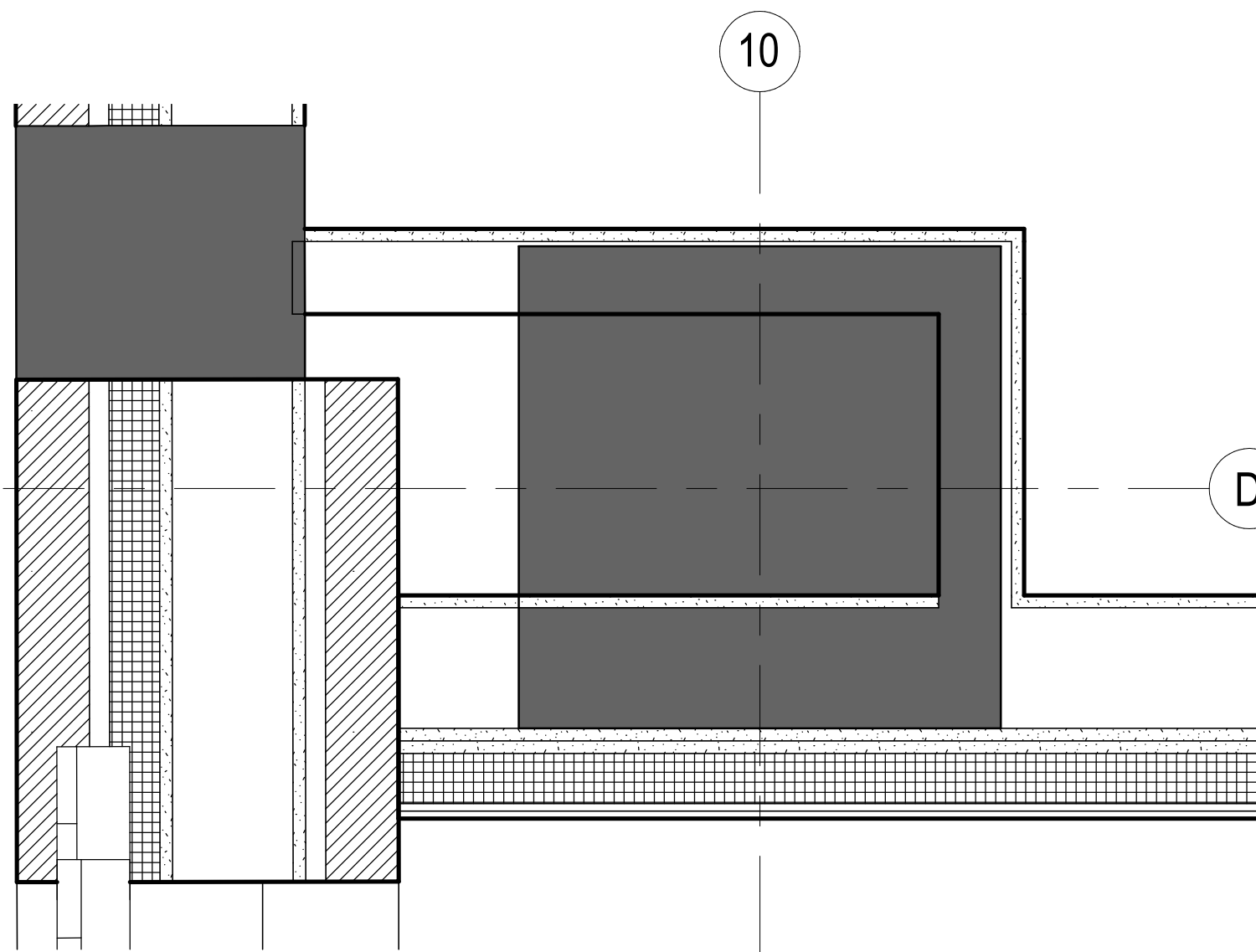
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**A6.100**

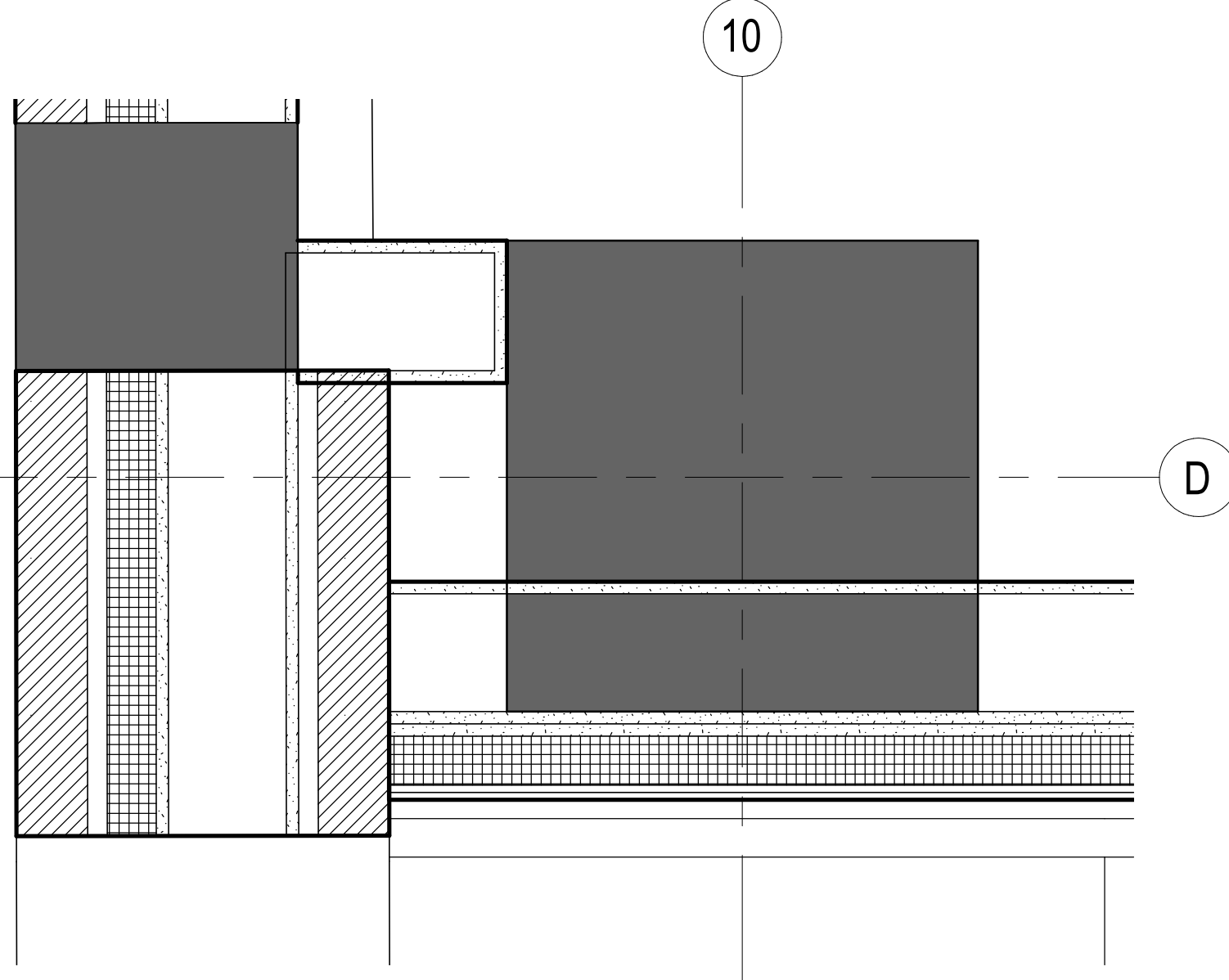
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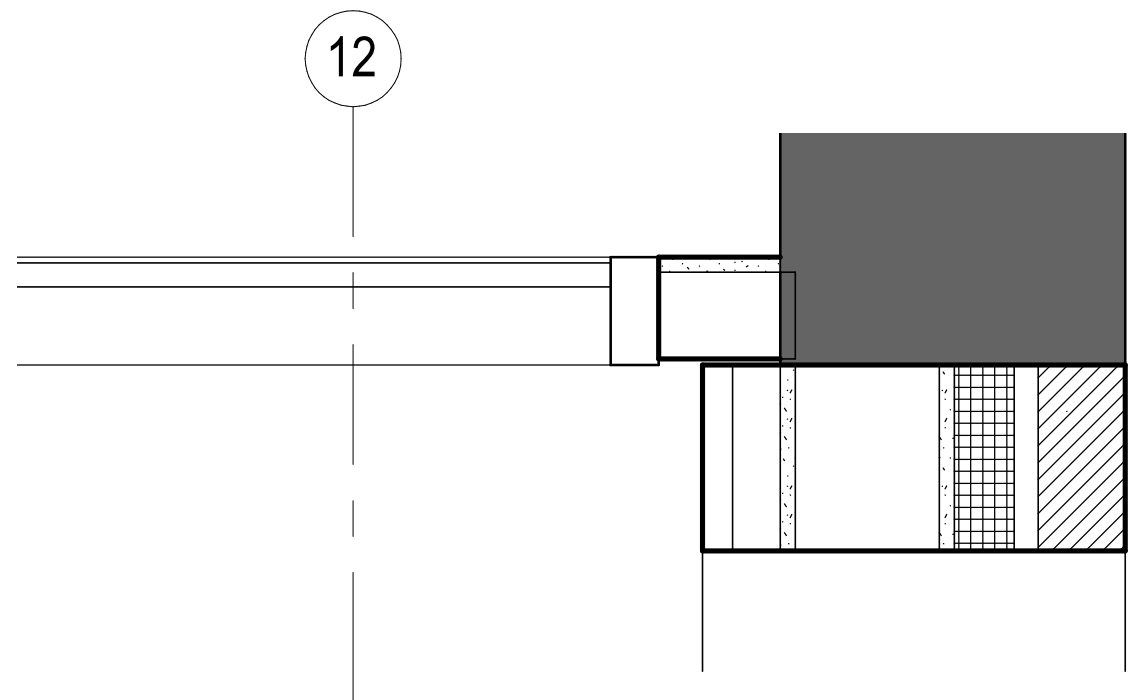
13 PLAN DETAIL 7  
SCALE: 1 1/2" = 1'-0"



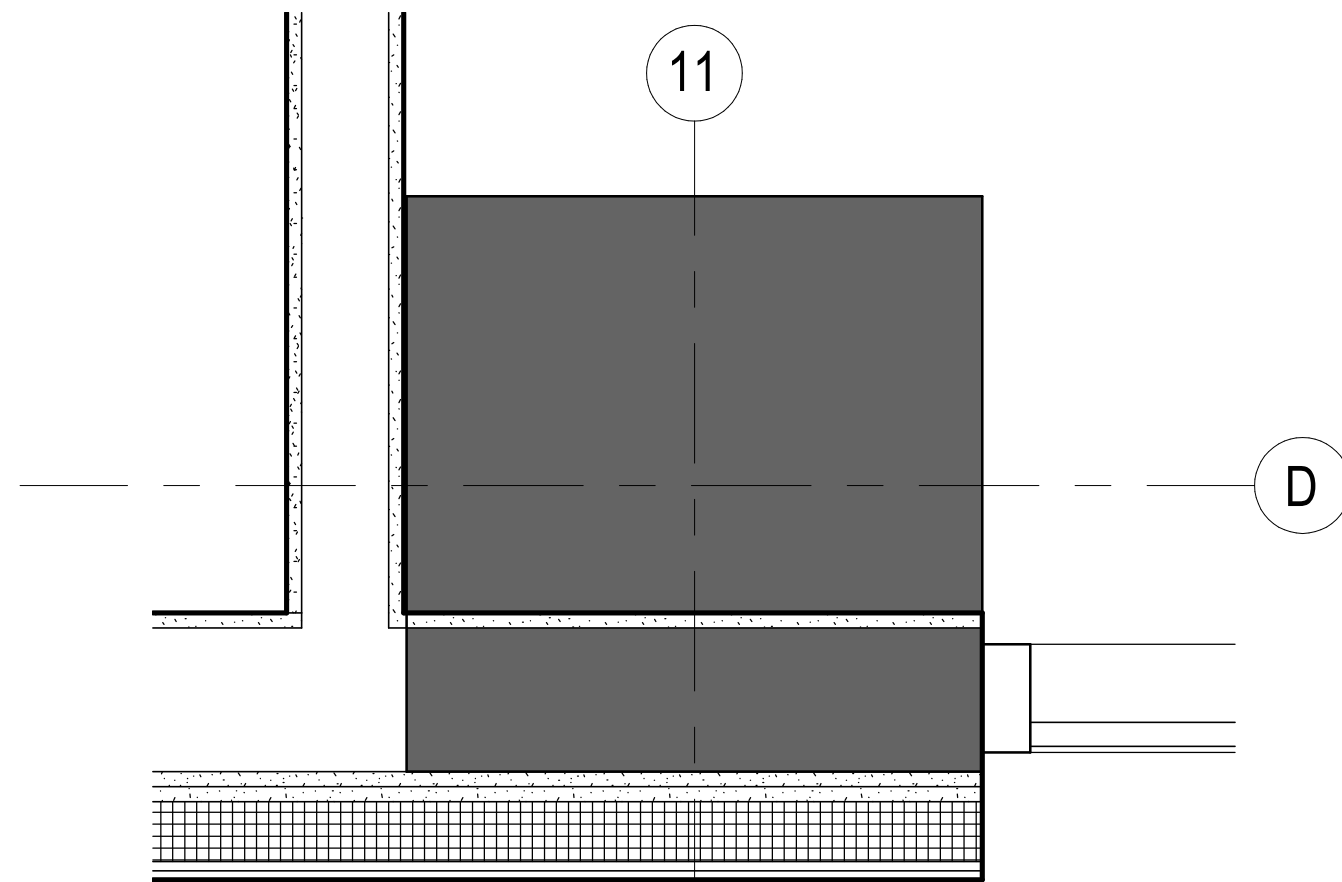
05 PLAN DETAIL 4  
SCALE: 1 1/2" = 1'-0"



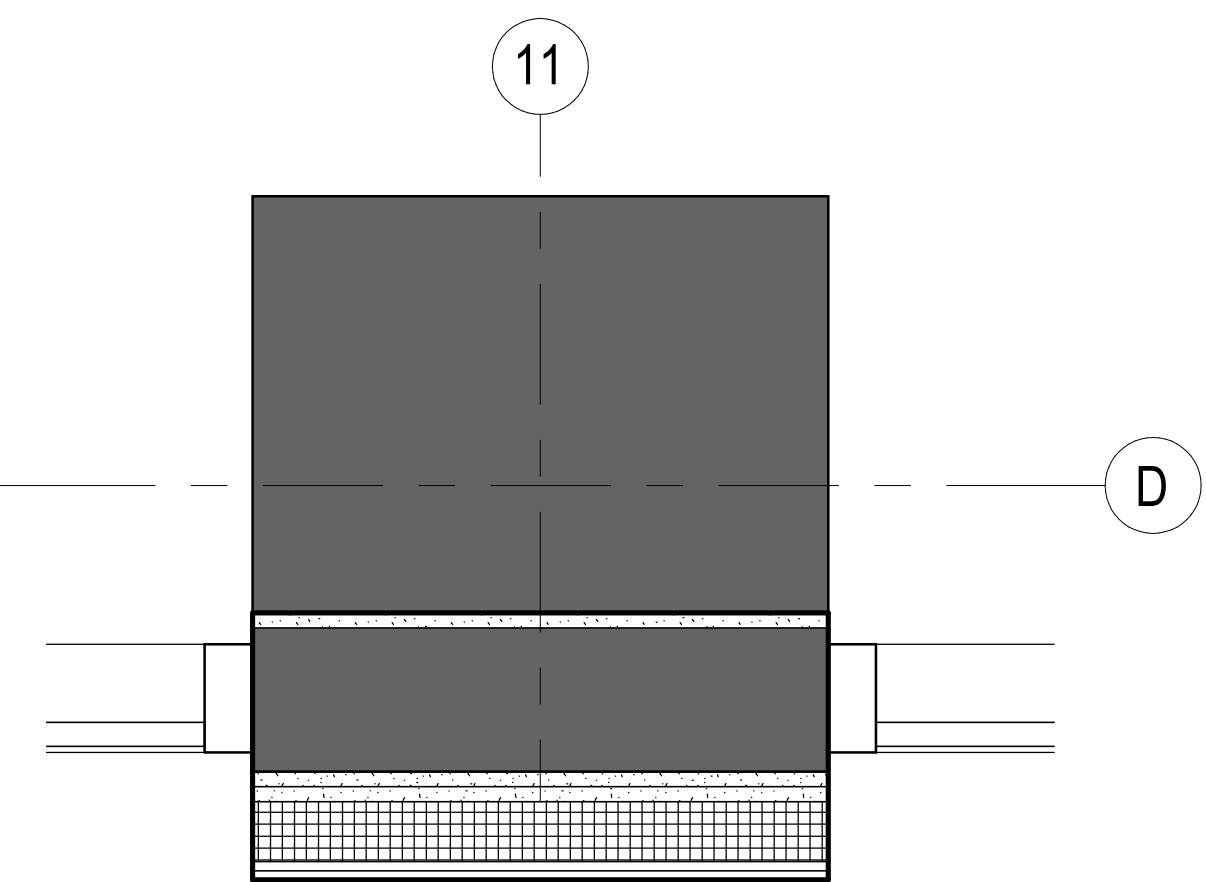
01 PLAN DETAIL 1  
SCALE: 1 1/2" = 1'-0"



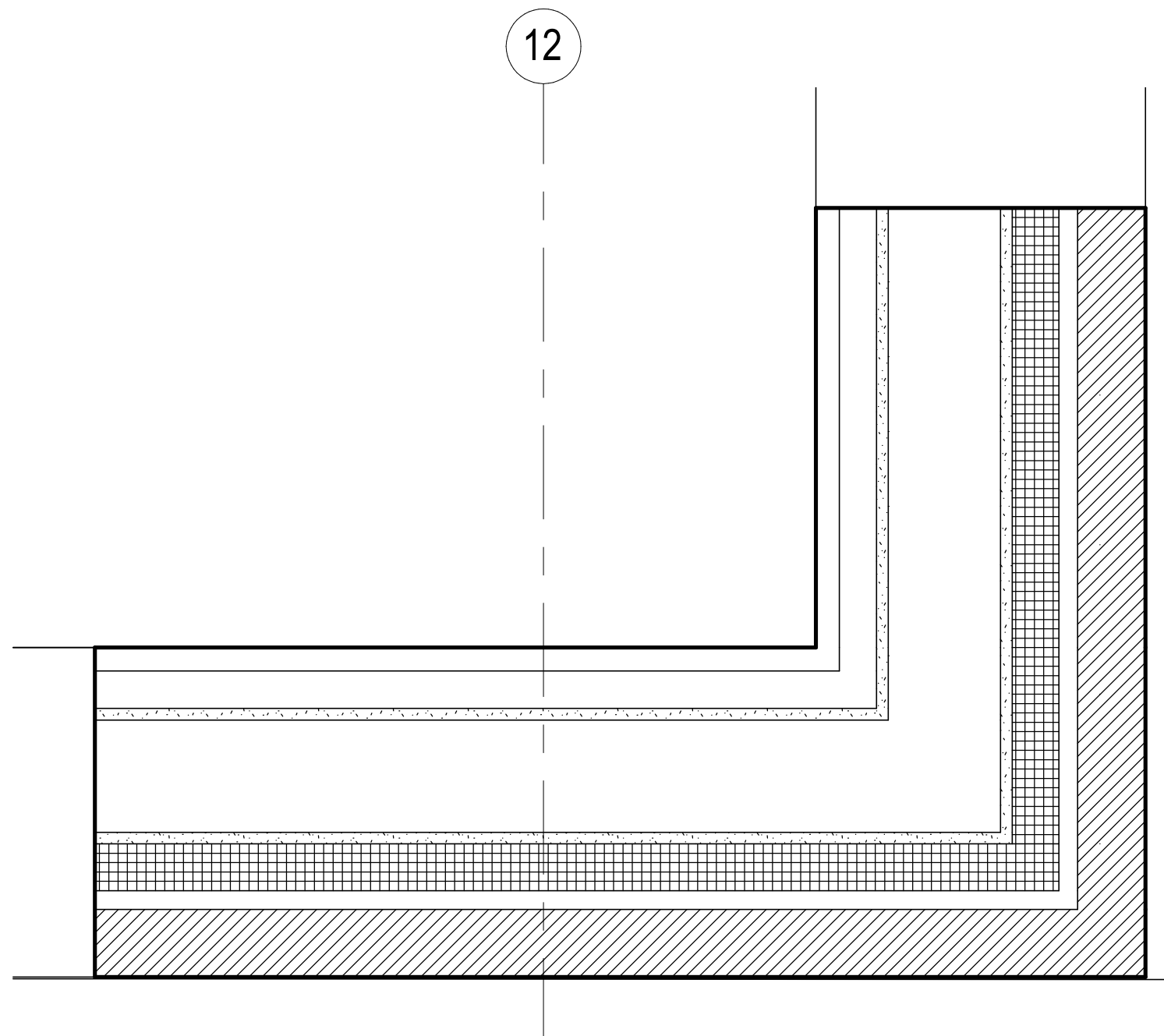
14 PLAN DETAIL 8  
SCALE: 1 1/2" = 1'-0"



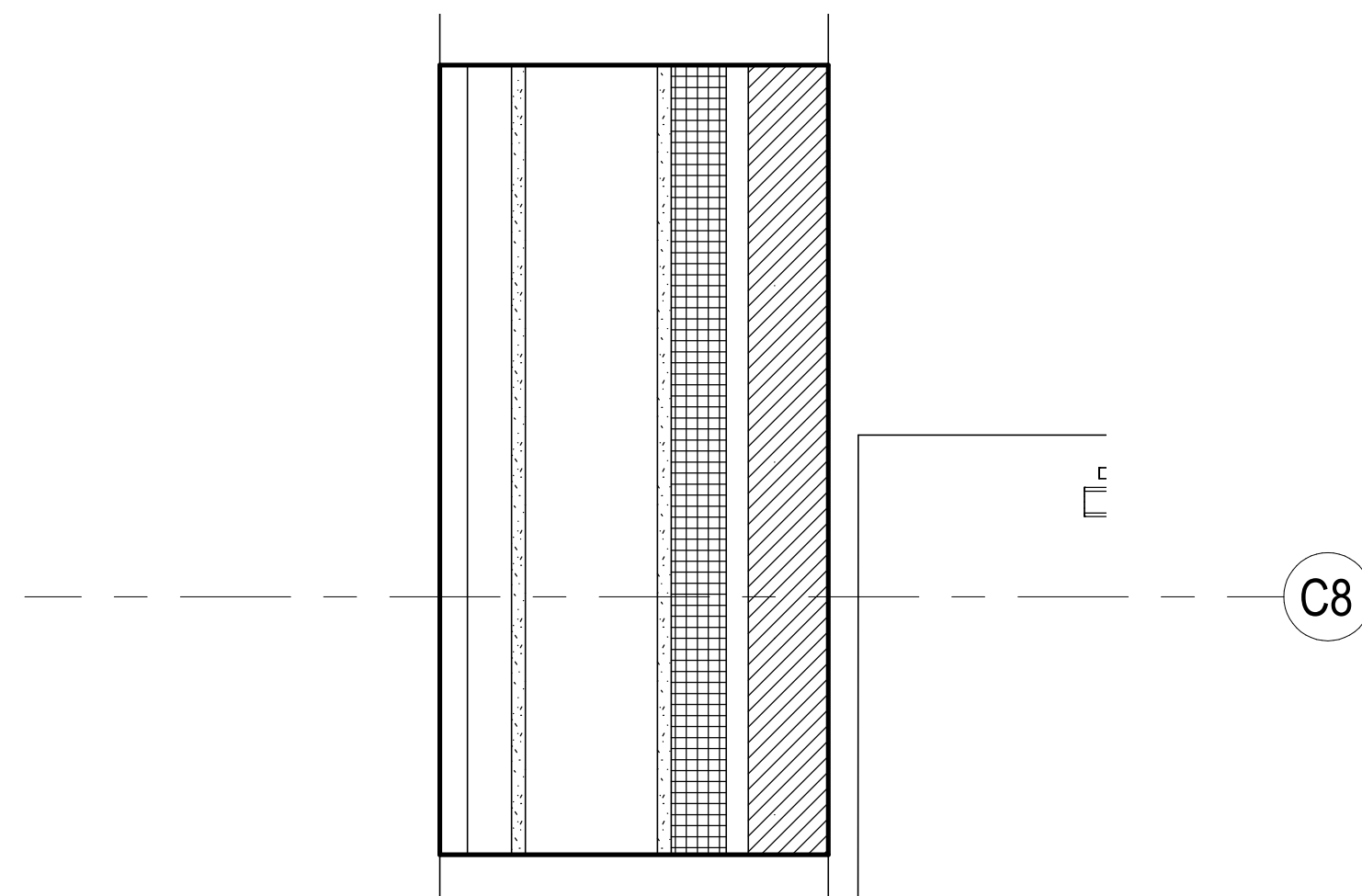
10 PLAN DETAIL 5  
SCALE: 1 1/2" = 1'-0"



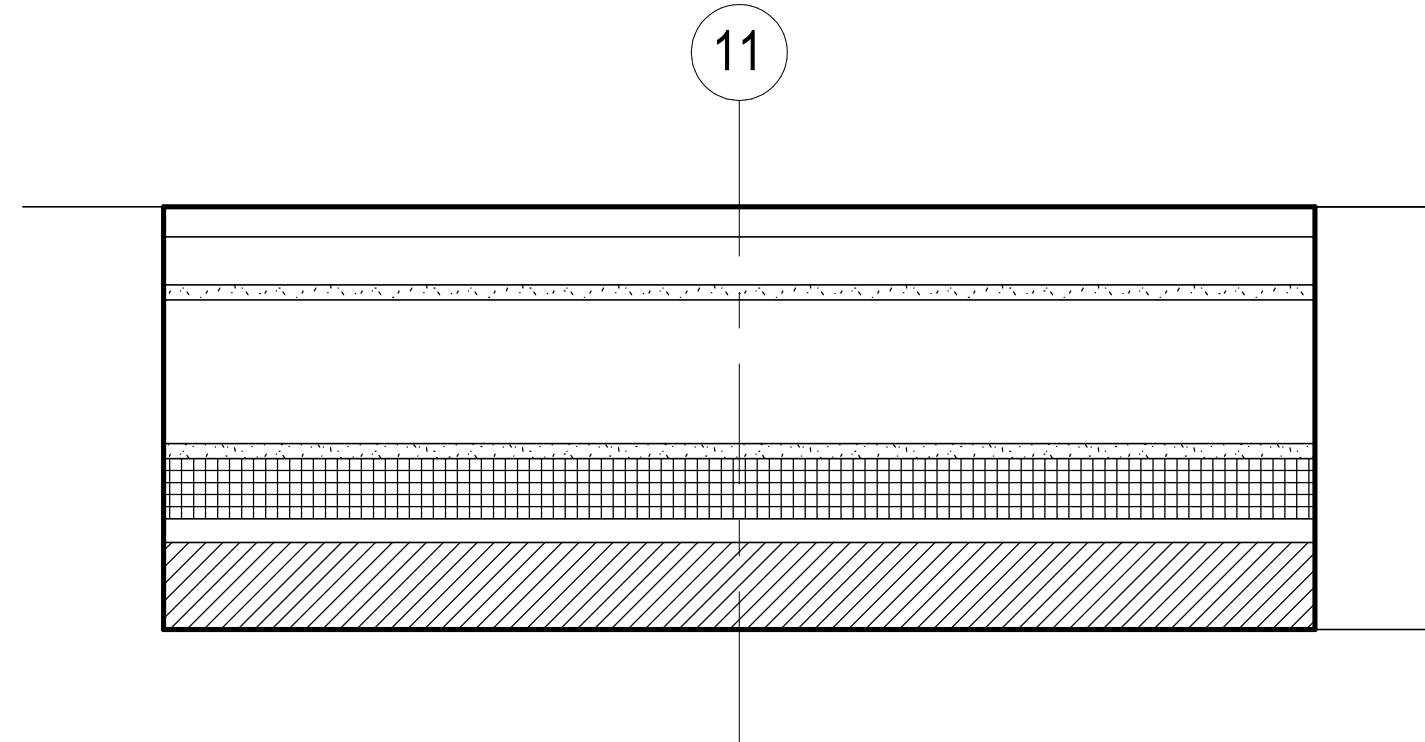
02 PLAN DETAIL 2  
SCALE: 1 1/2" = 1'-0"



16 PLAN DETAIL 9  
SCALE: 1 1/2" = 1'-0"



12 PLAN DETAIL 6  
SCALE: 1 1/2" = 1'-0"



04 PLAN DETAIL 3  
SCALE: 1 1/2" = 1'-0"

## SHEET NOTES

## GENERAL NOTES

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△	Date	Description
B	12.03.2021	PROGRESS, PERMIT AND CD ISSUE

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## NOT FOR CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

PLAN DETAILS - ANNEX BUILDING  
TERRACE

Scale

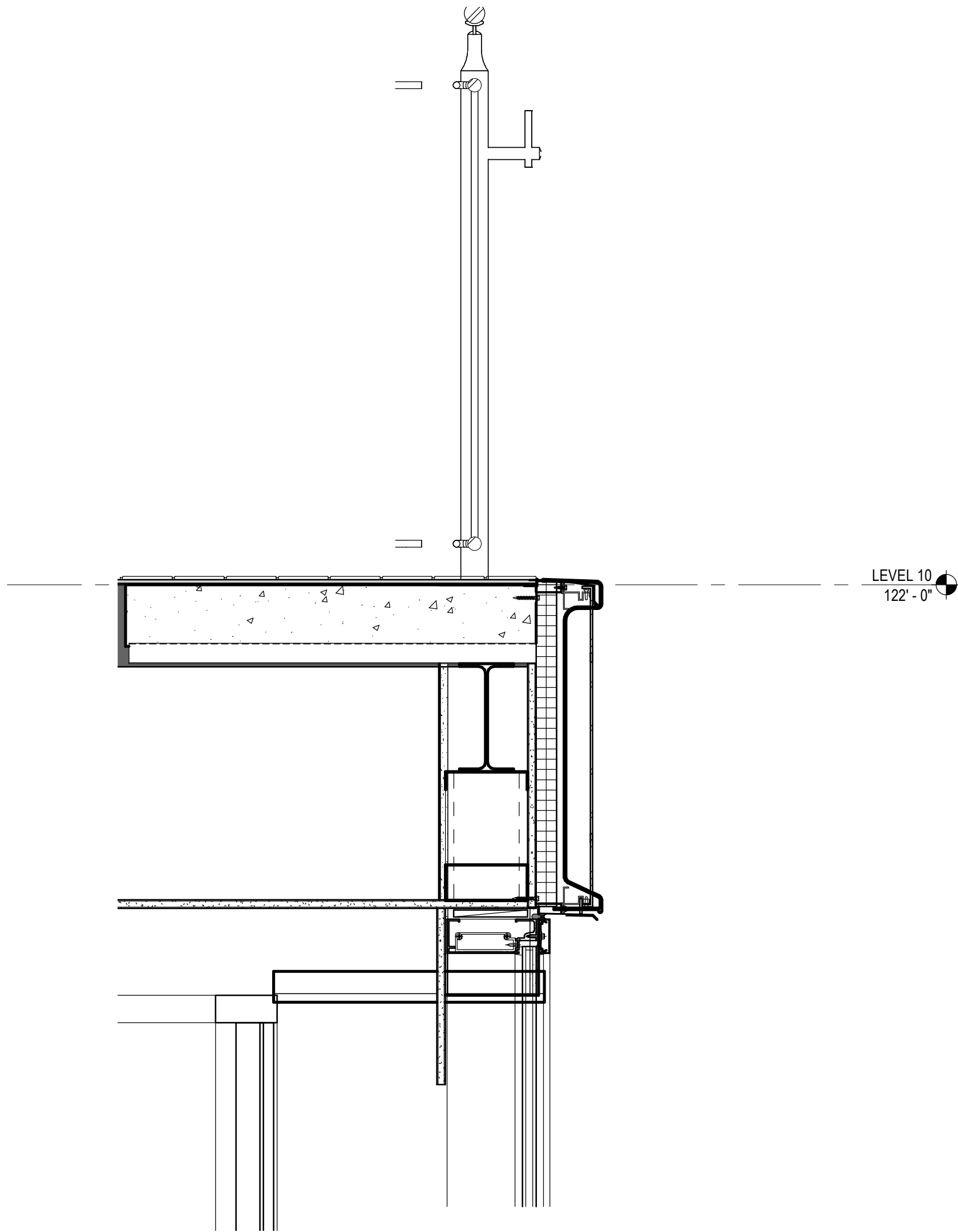
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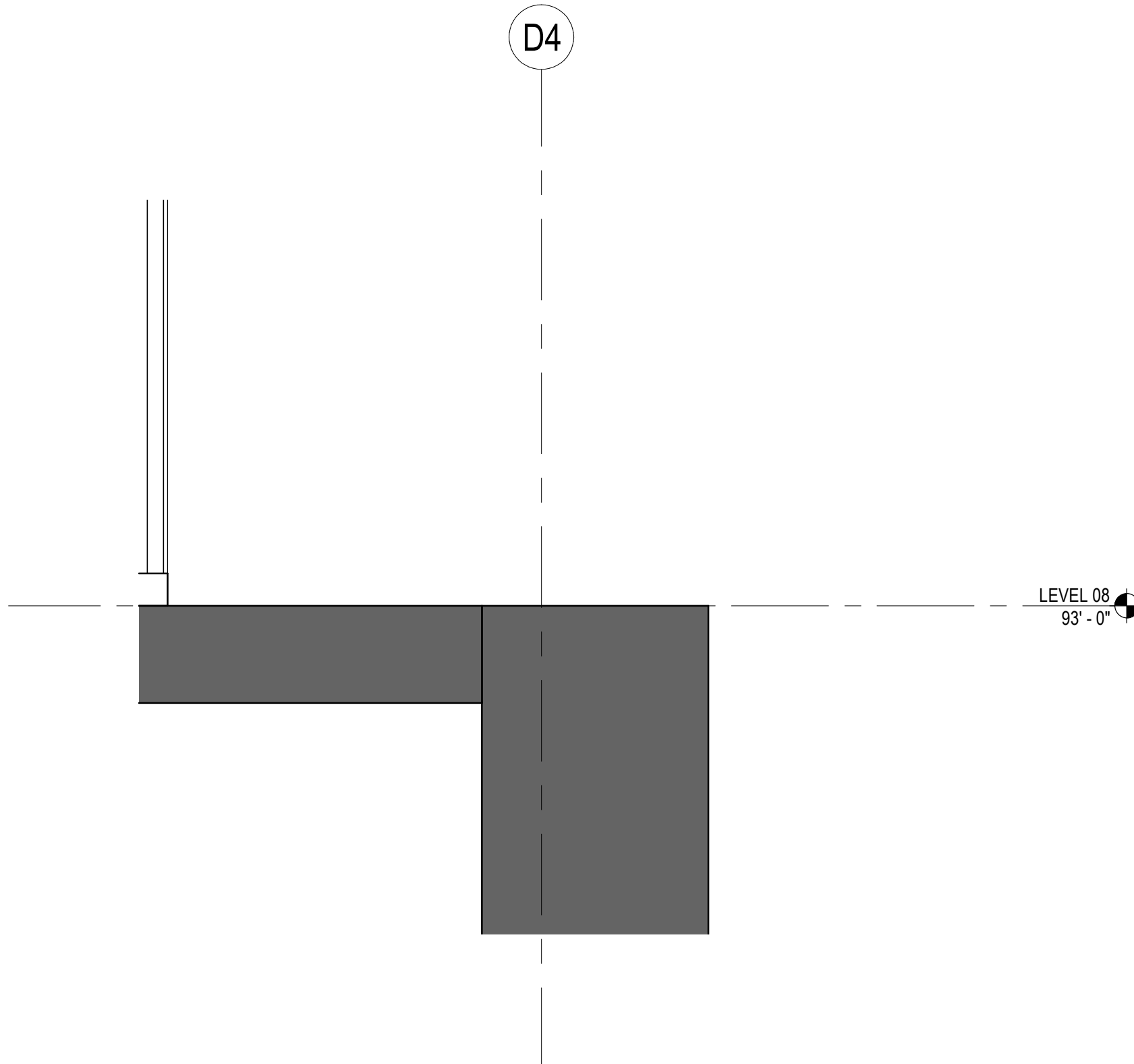






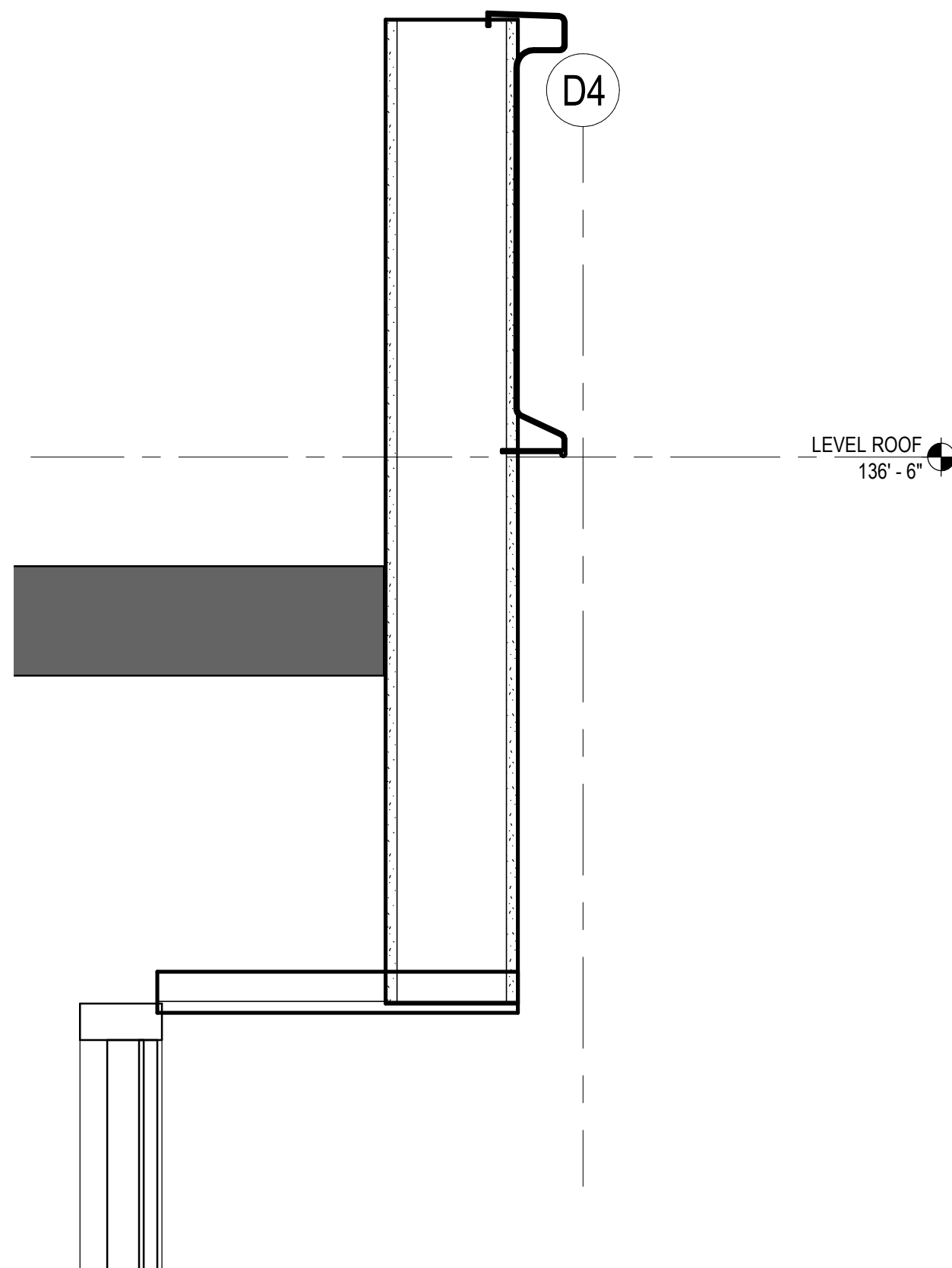
05 DETAIL SECTION - GLAZED GUARDRAIL

SCALE: 1 1/2" = 1'-0"



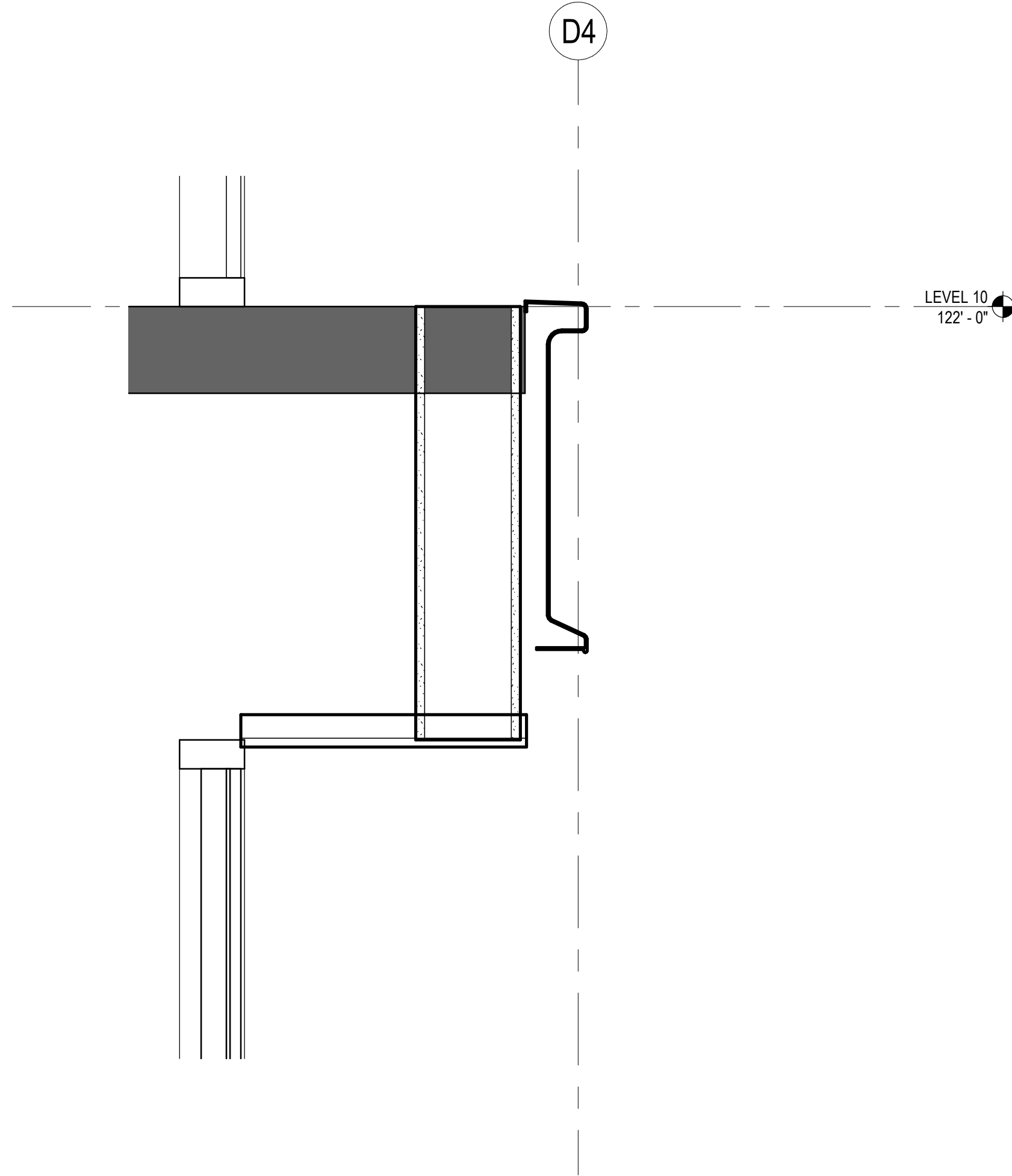
08 DETAIL SECTION - LEVEL 08 - WINDOW WALL AT GARAGE LID

SCALE: 1 1/2" = 1'-0"



01 DETAIL SECTION - ROOF PARAPET

SCALE: 1 1/2" = 1'-0"



04 DETAIL SECTION - WINDOW WALL HEAD/SILL, TYP.

SCALE: 1 1/2" = 1'-0"

SHEET NOTES

GENERAL NOTES

BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



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MP Studio Landscape  
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201 Grovelton St  
San Antonio, Texas 78210  
Tel 210.314.5582

△	Date	Description
B	12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

NOT FOR  
CONSTRUCTION

Project Name
146 Navarro Repositioning CD 75%
Project Number
122.0043.000
Description
ENVELOPE DETAILS

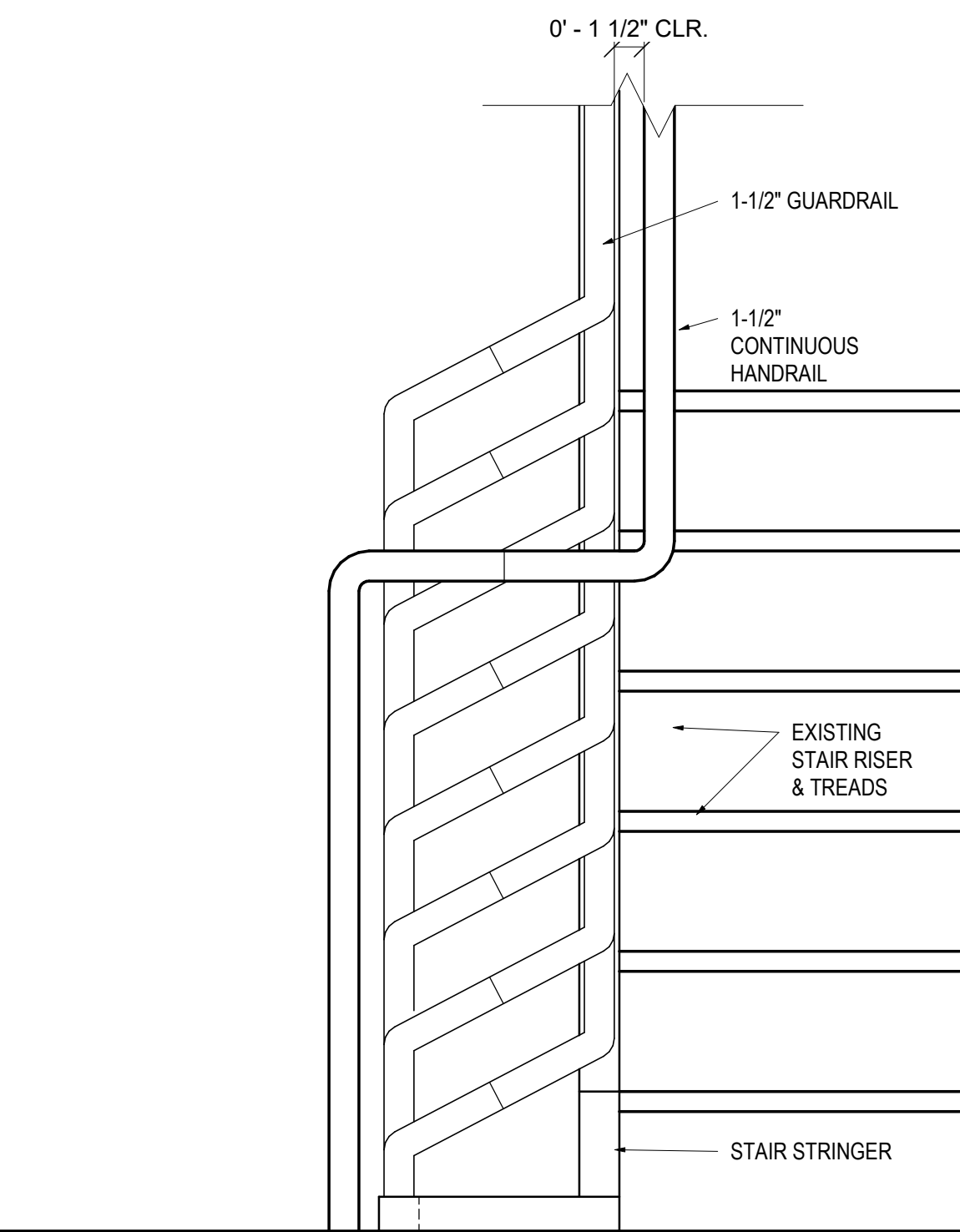
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A6.300

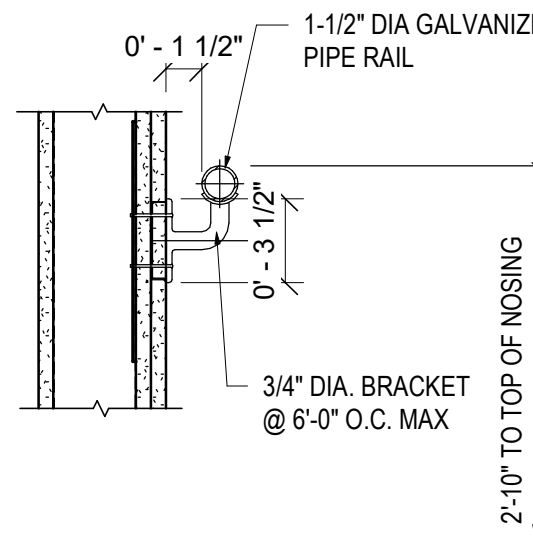




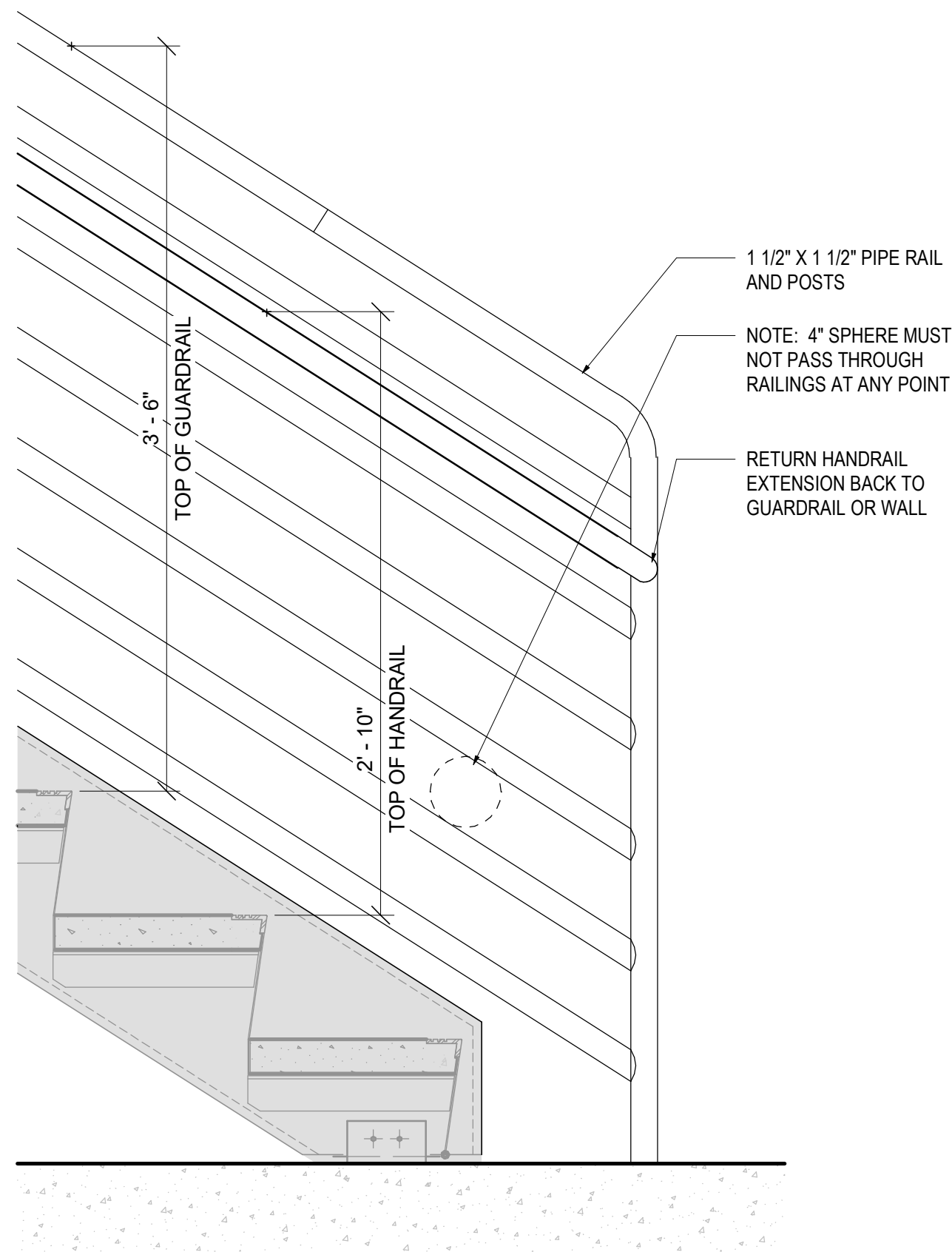
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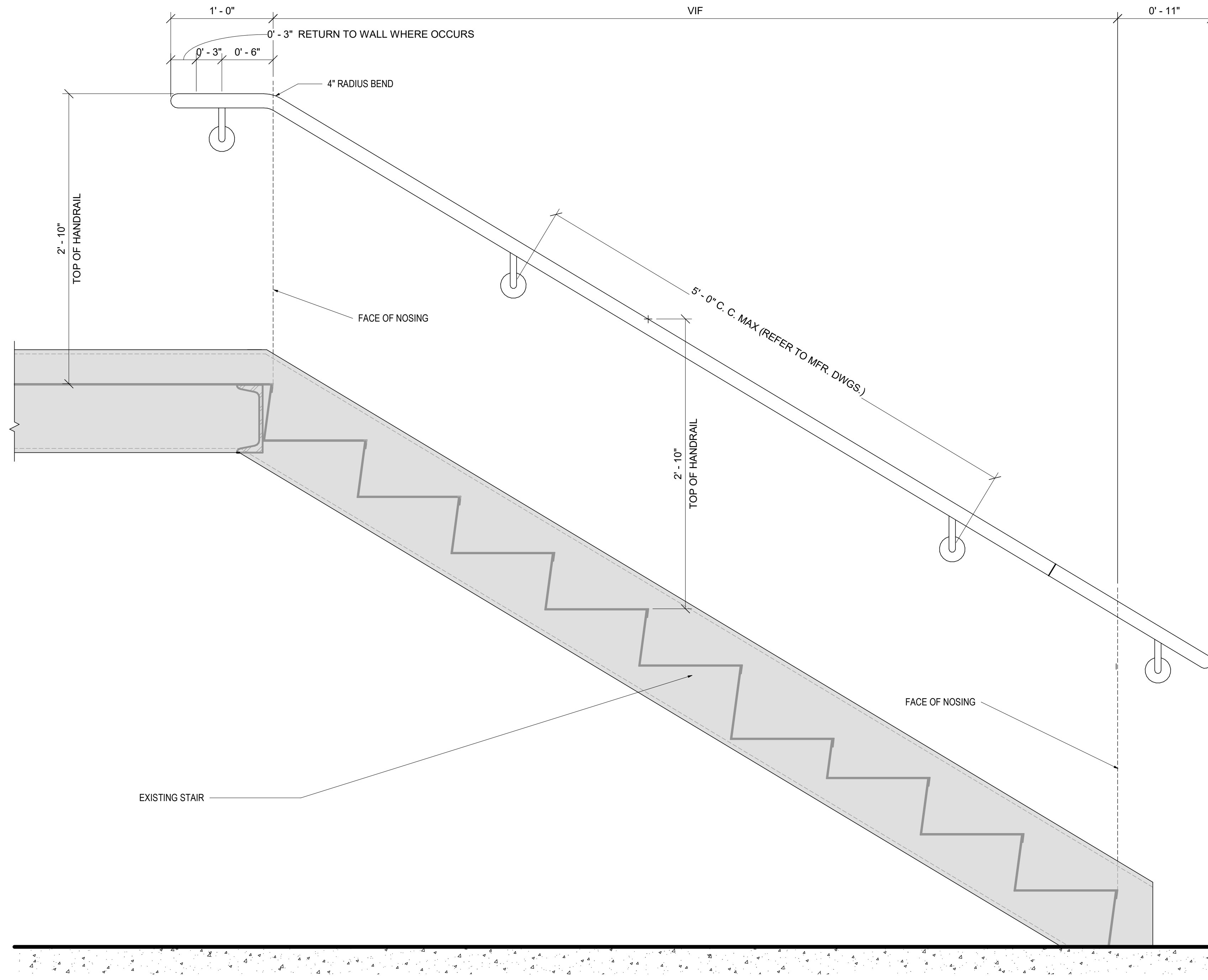
**13 GUARDRAIL AT LANDING 3**  
SCALE: 1 1/2" = 1'-0"



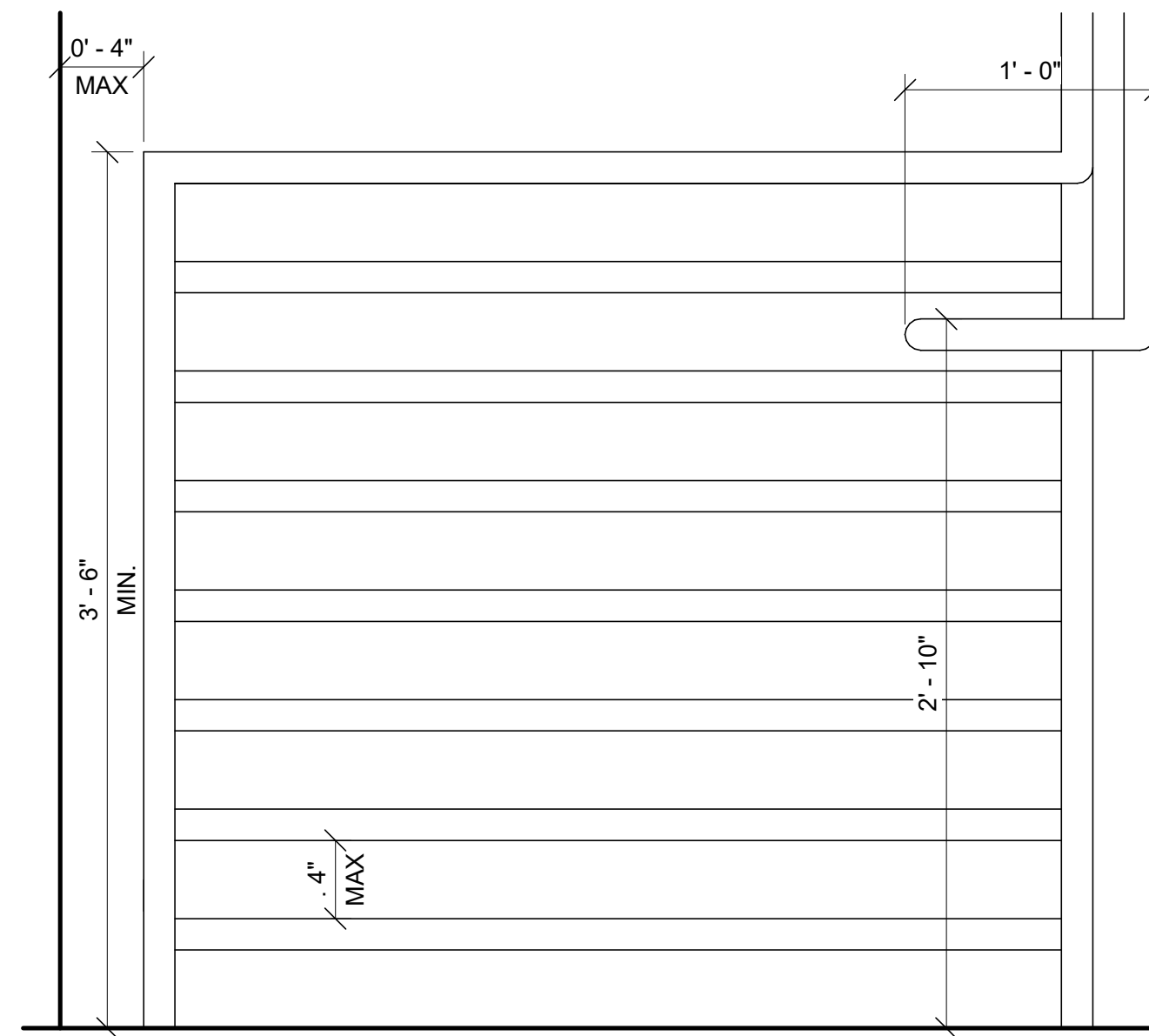
**14 HANDRAIL SECTION**  
SCALE: 1 1/2" = 1'-0"



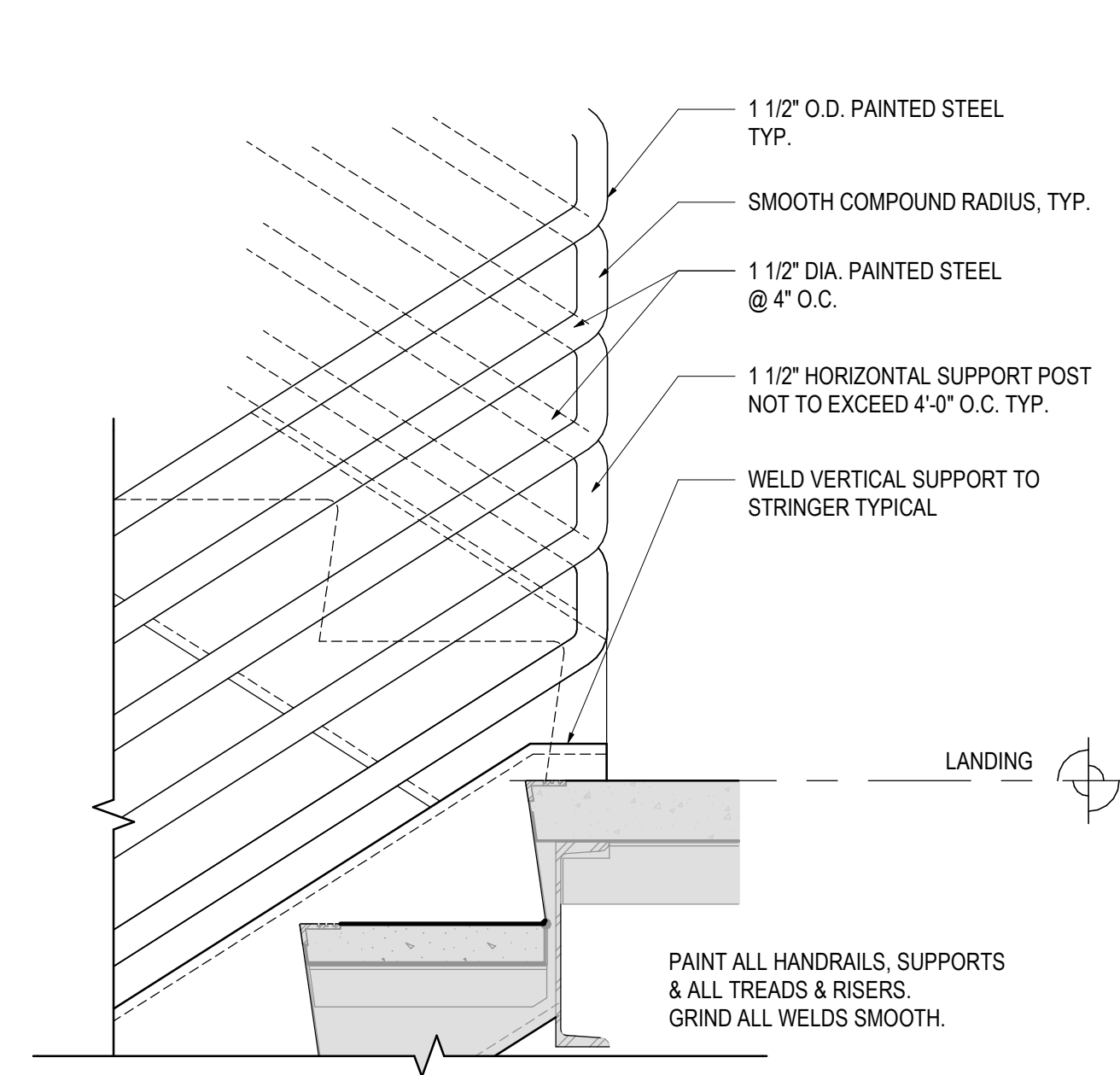
**16 GUARDRAIL TERMINATION**  
SCALE: 1 1/2" = 1'-0"



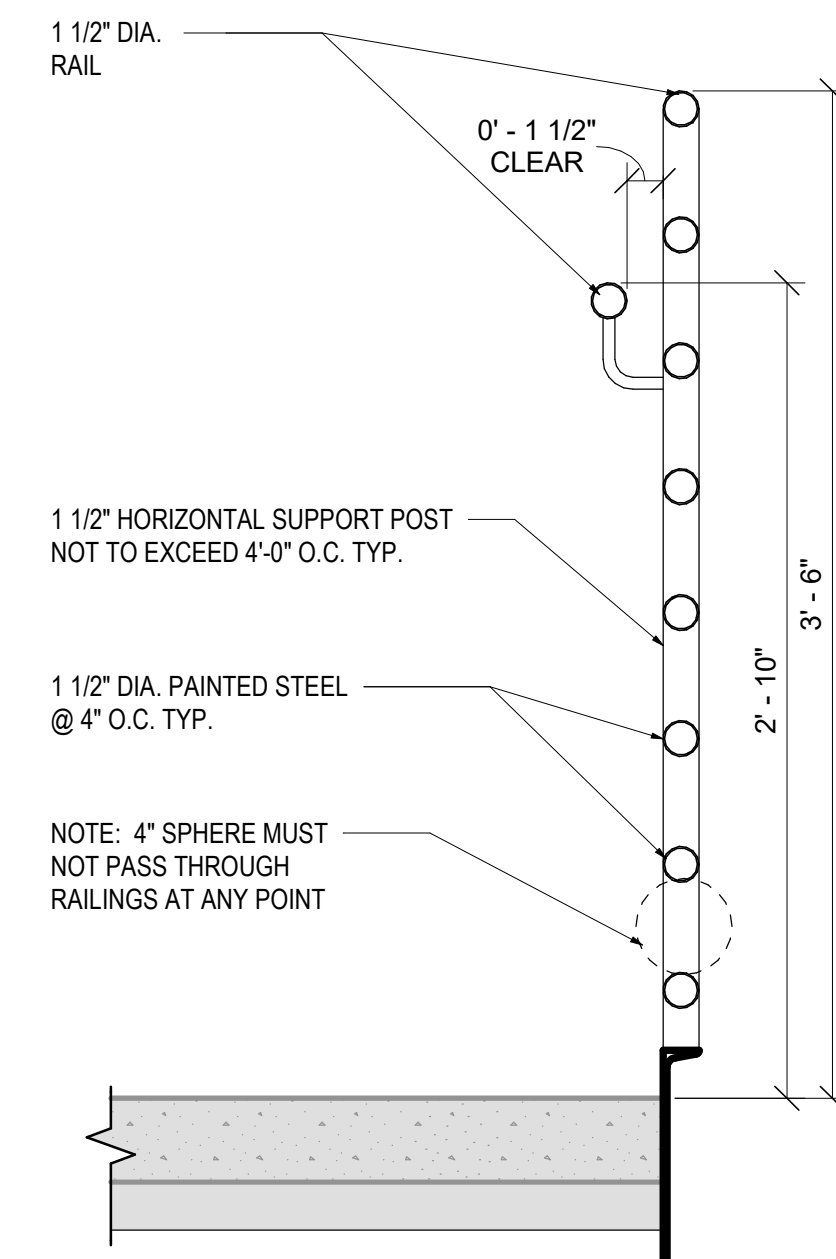
**11 HANDRAIL ELEVATION**  
SCALE: 1 1/2" = 1'-0"



**12 GUARDRAIL AT LANDING 2**  
SCALE: 1 1/2" = 1'-0"



**08 GUARDRAIL AT LANDING 1**  
SCALE: 1 1/2" = 1'-0"



**04 GUARDRAIL SECTION DETAIL**  
SCALE: 1 1/2" = 1'-0"

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Architecture  
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Date	Description
------	-------------

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**NOT FOR CONSTRUCTION**

**Project Name**  
146 Navarro Repositioning  
CD 75%

**Project Number**  
122.0043.000

**Description**  
RAIL DETAILS

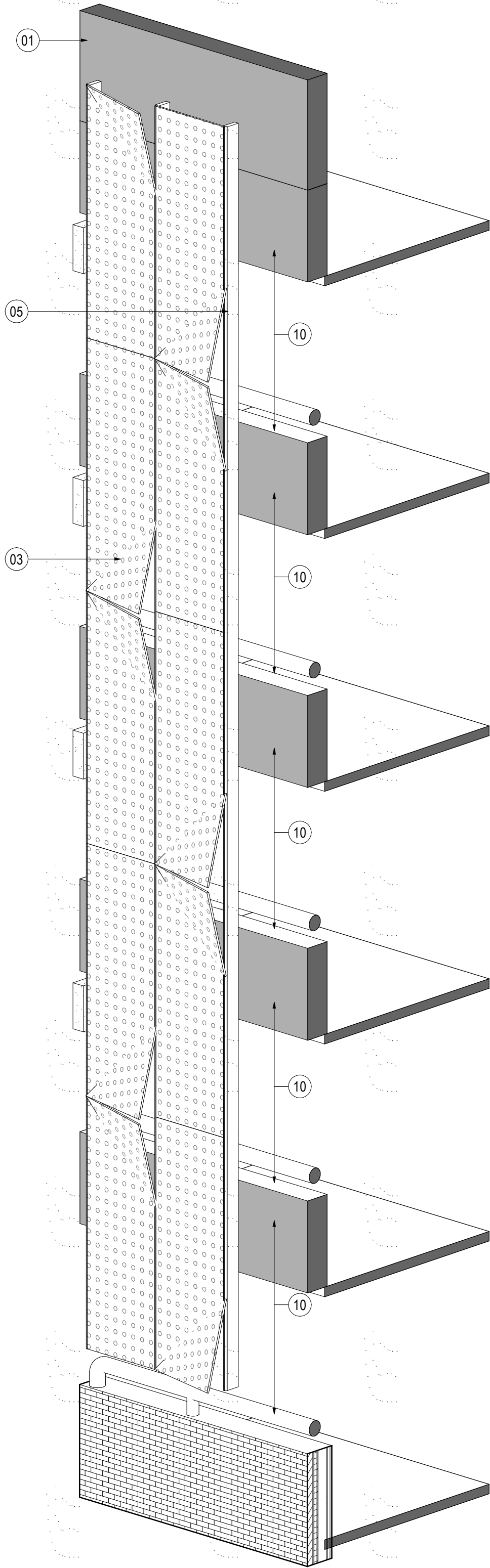
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**A6.302**



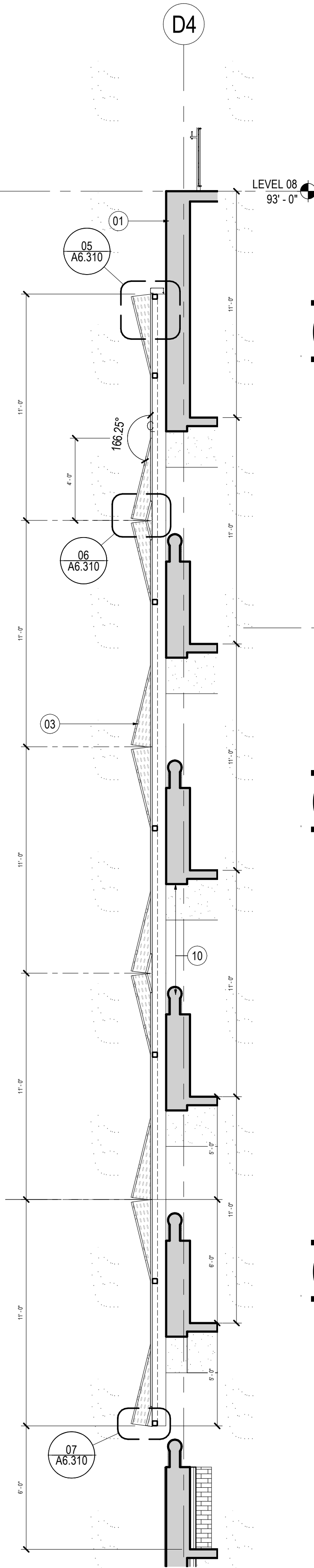
# 16 SECTION AXON GARAGE PANELS

SCALE:



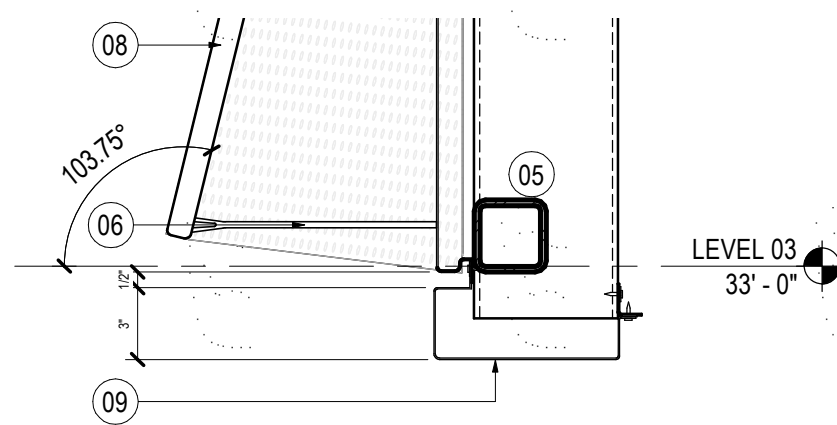
# 12 WALL SECTION - TYP GARAGE PANEL

SCALE: 1/4" = 1'-0"



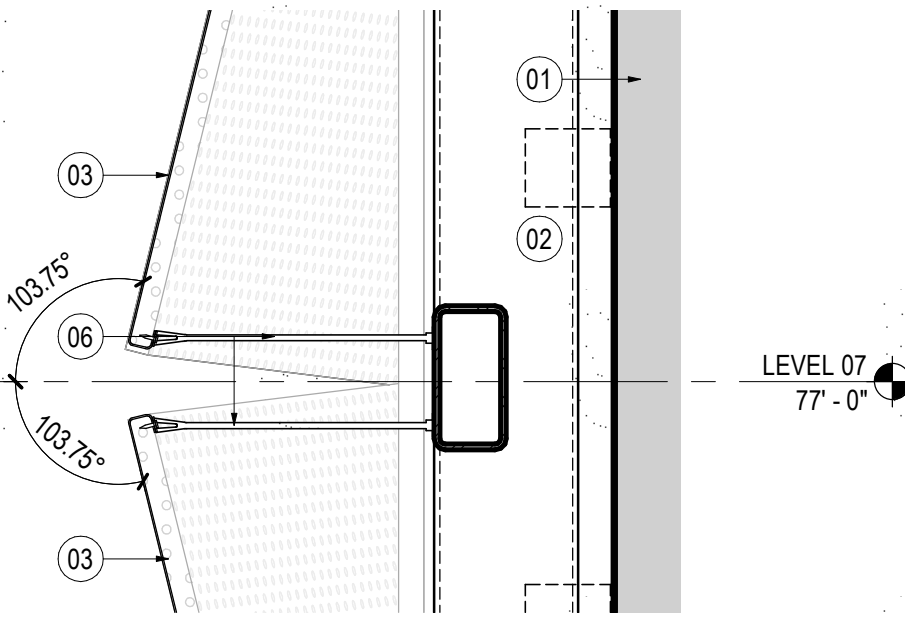
# 07 SECTION DETAIL - GARAGE PANEL BASE

SCALE: 1 1/2" = 1'-0"



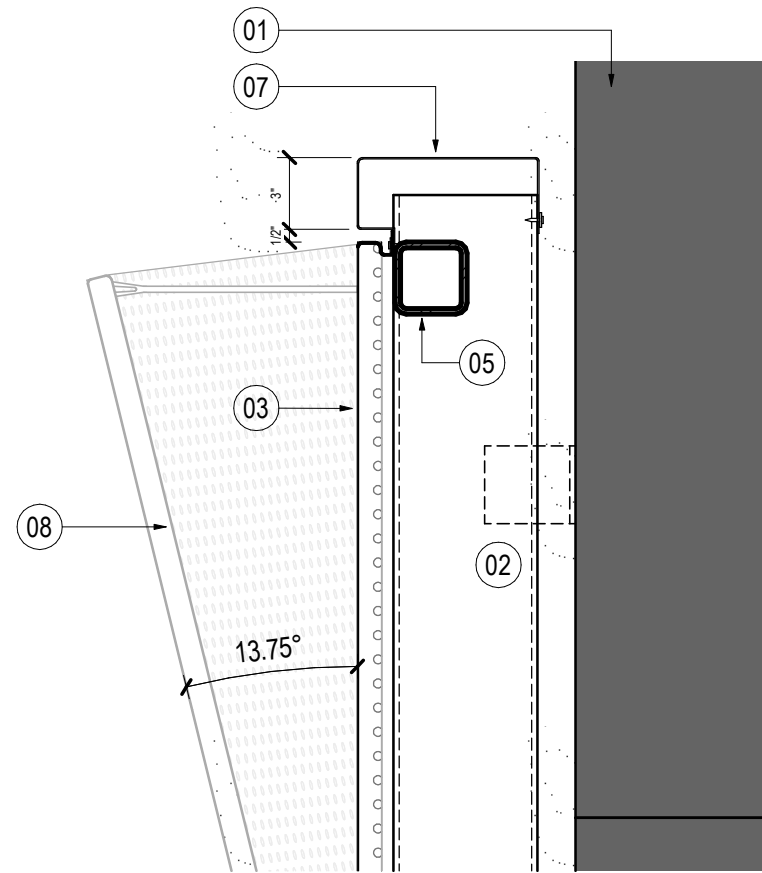
# 06 SECTION DETAIL - BENT PANEL MID JOINT

SCALE: 1 1/2" = 1'-0"



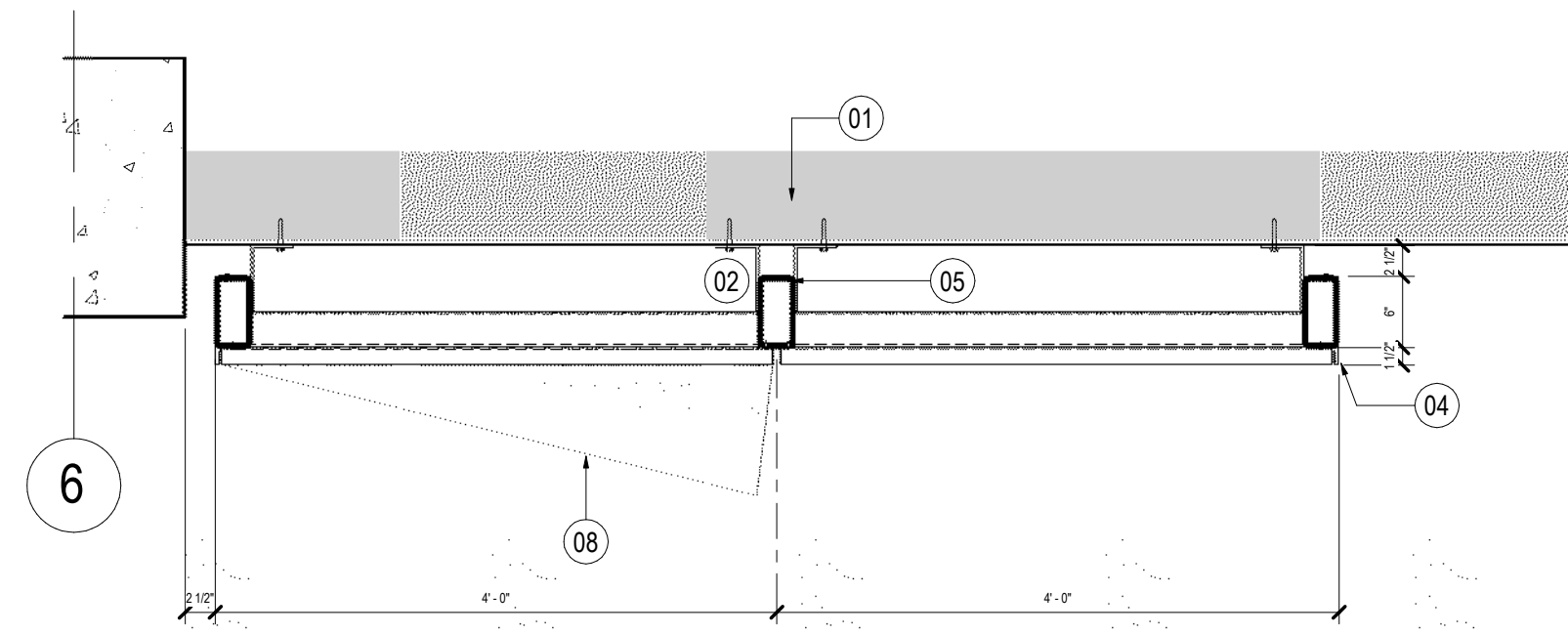
# 05 SECTION DETAIL - GARAGE PANEL HEAD

SCALE: 1 1/2" = 1'-0"



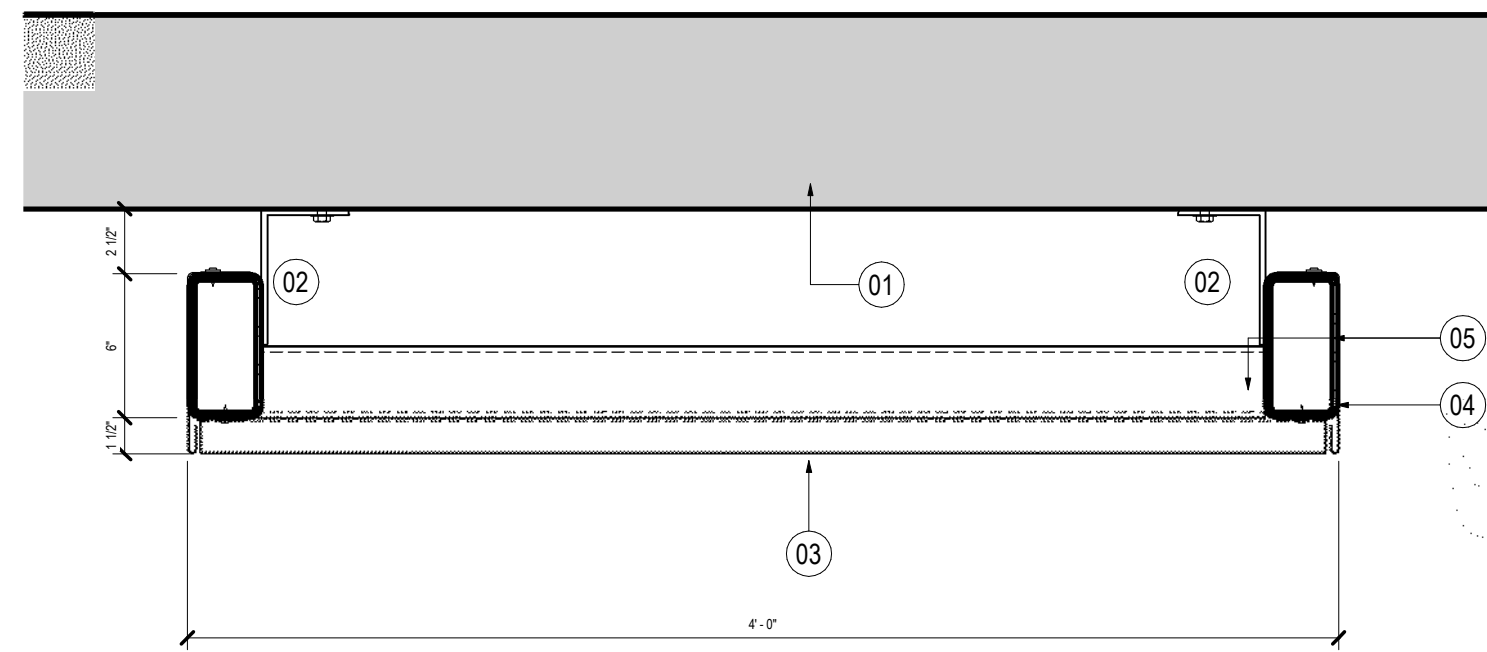
# 03 PLAN DETAIL - TYP. GARAGE PANEL DOUBLE

SCALE: 3/4" = 1'-0"



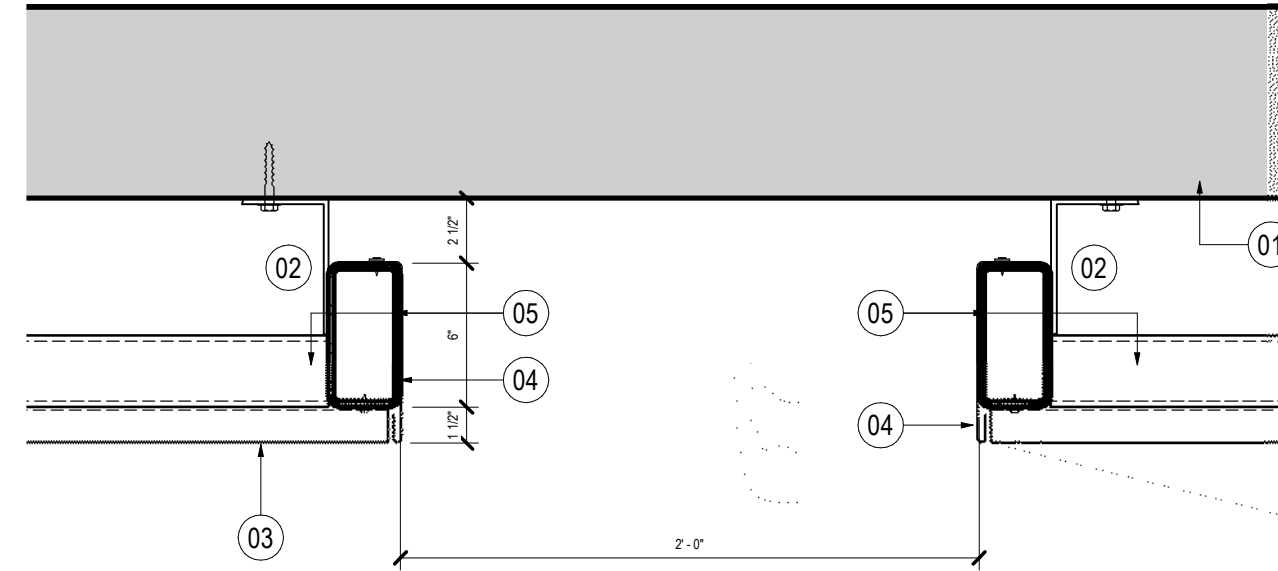
# 02 PLAN DETAIL - TYP. GARAGE PANEL SINGLE

SCALE: 1 1/2" = 1'-0"



# 01 PLAN DETAIL - GARAGE PANEL END CONDITION

SCALE: 1 1/2" = 1'-0"



## SHEET NOTES

- 01 EXISTING GARAGE CONCRETE SPANDREL. PREPARE SURFACE TO RECEIVE PAINT AND FOR PERFORATED SCREEN WALL SUBSTRUCTURE ATTACHMENTS; PTXX
- 02 ALUM. "L" BRACKET ATTACHED TO BOTH SIDES OF VERTICAL SUBSTRUCTURE. DETAIL AND FASTENING PROVIDED BY PANEL SUBCONTRACTOR, FINISH TO MATCH SUBSTRUCTURE.
- 03 PERFORATED METAL PANEL WITH INTEGRAL BEND IN PANEL; 40% OPEN, 3/8" HOLE, 9/16" STAGGERED SPACING. FLUOROPON FINISH.
- 04 HEMMED END PANEL AT PERF. PANEL SYSTEM.FINISH TO MATCH PERF. PANEL SYS.
- 05 SUBSTRUCTURE TO BE FLUOROPON FINISH, ASSURE PAINTED SURFACES AT PANEL JOINTS.
- 06 BRACKET EXTRUSION TIED BACK TO SUBSTRUCTURE TO SUPPORT OUTER MOST CORNER OF PANEL BEND. BOLTED CONNECTION. FINAL DETAIL AND FASTENING TO BE DETERMINED BY PANEL SUB CONTRACTOR. FLUOROPON FINISH
- 07 FORMED ALUM PLATE CLOSURE PANEL AT TOP OF PANEL SYSTEM, FASTEN TO SUBSTRUCTURE; FLUOROPON FINISH
- 08 BENT PANEL SHOWN BEYOND
- 09 FORMED ALUM. PLATE CLOSURE PANEL AT BOTTOM OF PANEL SYSTEM. FASTEN TO SUBSTRUCTURE, PROVIDE SLOTTED OR DRILLED HOLES FOR WEEP; FLUOROPON FINISH.
- 10 PAINT EXISTING GARAGE SPANDREL FACES, TRAFFIC GUARDRAILS AND INSIDE RETURN FACE OF SPANDREL AT ALL CONDITIONS OF GARAGE.

## GENERAL NOTES

- A. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO WORK IN THAT AREA, CONFIRM ANY DISCREPANCIES WITH OWNER AND ARCHITECT.
- B. ALL EXISTING CONDITIONS WHERE NEW WORK IS INVOLVED SHALL BE PROTECTED AND/OR PREPARED DURING NEW CONSTRUCTION.
- C. EXISTING LIFE SAFETY, EXITS, AND SIGNAGE SHALL BE PROTECTED DURING CONSTRUCTION.
- D. ARCHITECTURAL DRAWINGS REFERENCE SUPPORT MEMBERS FOR EXTERIOR FACADE AS DETAILED AND ENGINEERED BY FACADE CONSULTANT/INSTALLER. SIZING AND ASSEMBLAGES WILL NEED TO BE CONFIRMED PRIOR TO INSTALLATION. ENGINEER OF RECORD SHOULD REVIEW CONNECTIONS TO EXISTING CONDITIONS TO ASSURE DESIGN LOADS ARE ABLE TO BE ACCOMMODATED.
- E. PROVIDE ON-SITE MOCK-UP OF ALUM. PERFORATED SCREEN PANELS AND SUBSTRUCTURE SUPPORT SYSTEM FOR REVIEW AND APPROVAL BY OWNER AND ARCHITECT PRIOR TO INSTALLATION OF ENTIRE WORK. EXTENT OF MOCK-UP TO BE DETERMINED BY ARCHITECT.
- F. EXISTING GARAGE BEHIND PERFORATED PANEL SYSTEM WILL BE PAINTED; PROTECT AND REPAIR ANY INSTANCES WHERE NEW WORK AFFECTS THE FINISH OF THE GARAGE.

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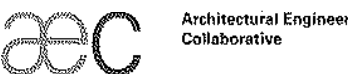
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MP Studio Landscape  
Architecture  
201 Grovelton St  
San Antonio, Texas 78210  
Tel 210.314.5582

Date	Description
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Seal / Signature

**NOT FOR  
CONSTRUCTION**

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

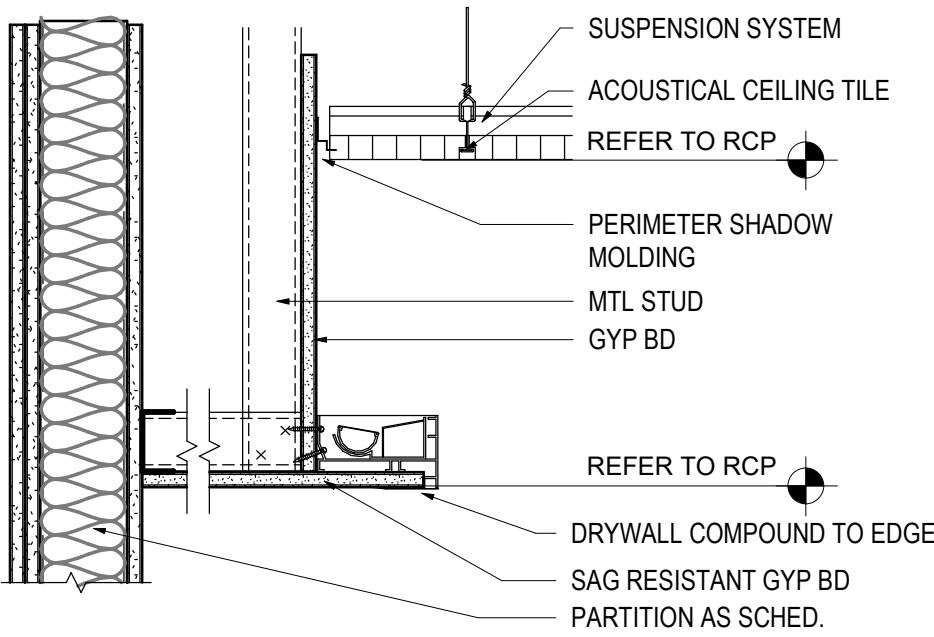
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GARAGE DETAILS

Scale

As indicated

**A6.310**

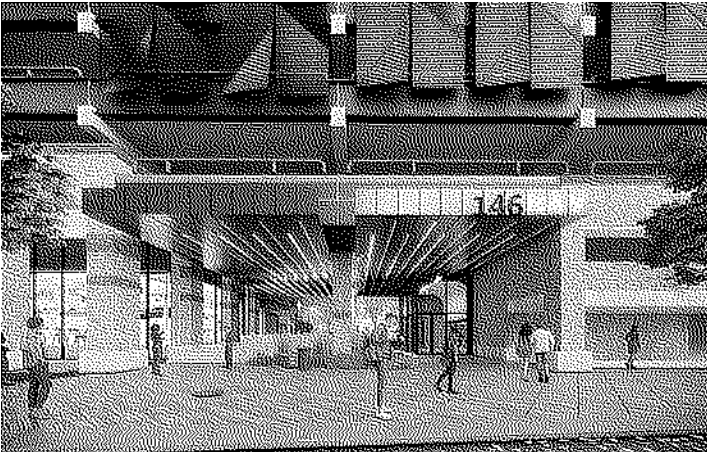


1 COVE DETAIL

SCALE: 1 1/2" = 1'-0"

BH PROPERTIES

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Project Name

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Project Number

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Description

CEILING DETAILS

Scale

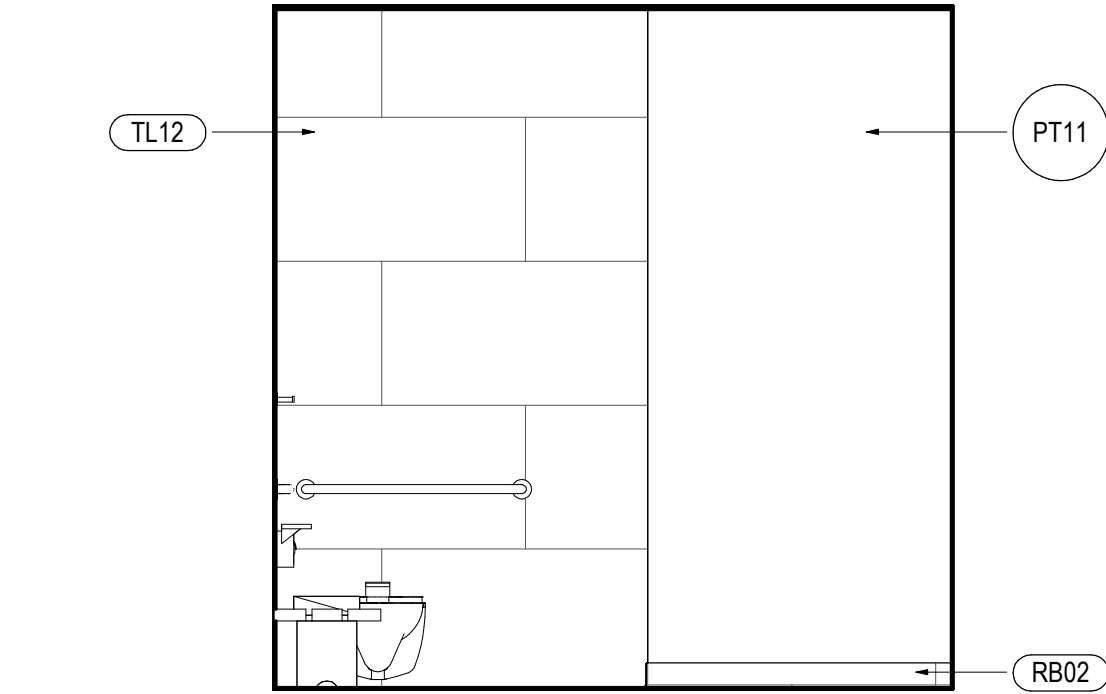
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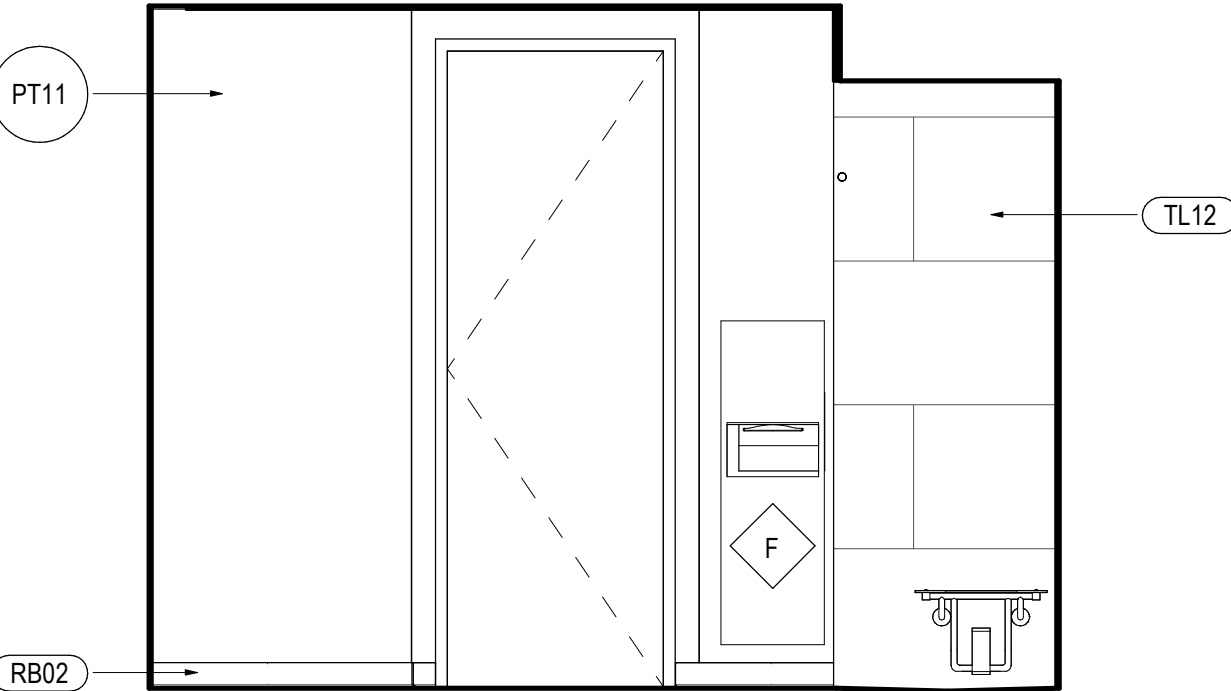
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SHEET NOTES

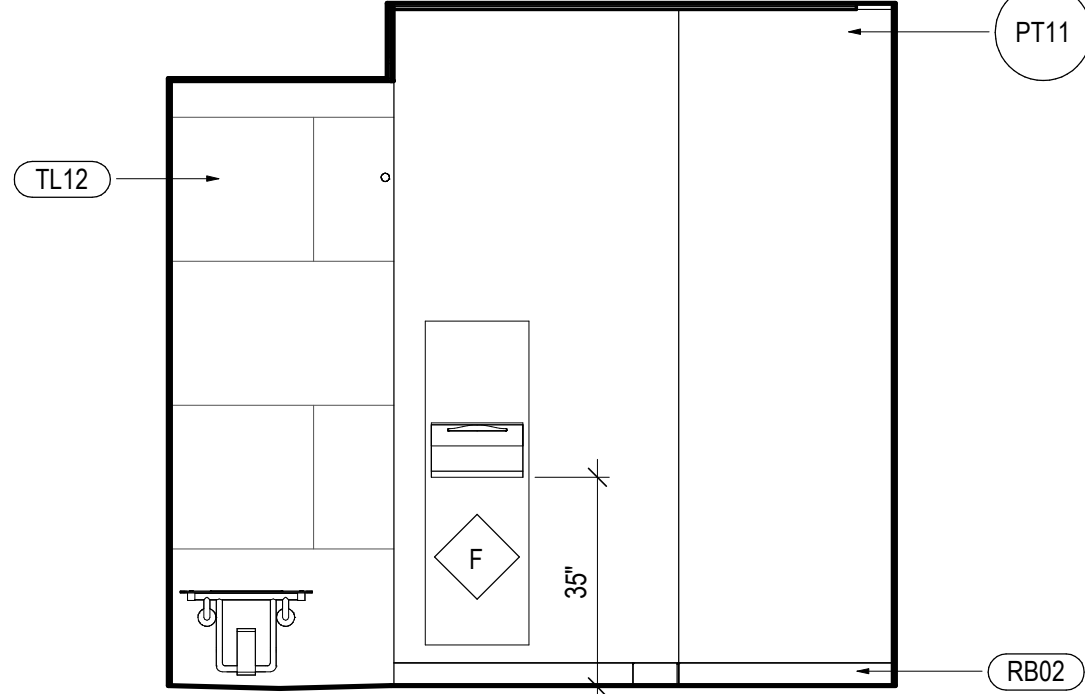
GENERAL NOTES



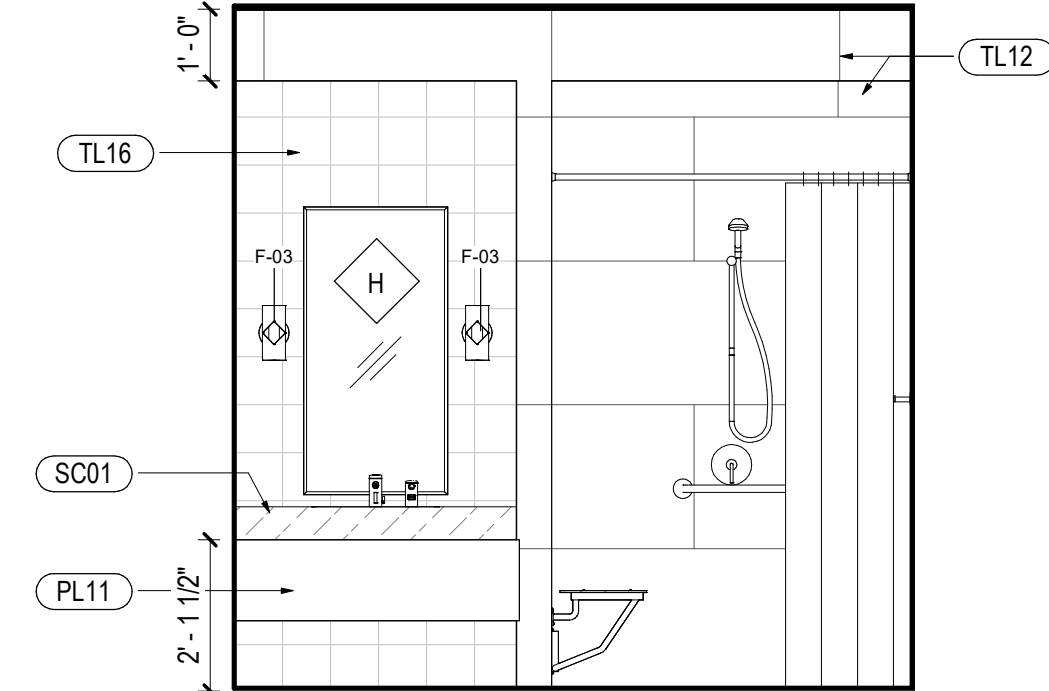
07 ELEVATION - SHOWER 7-07 WEST  
SCALE: 3/8" = 1'-0"



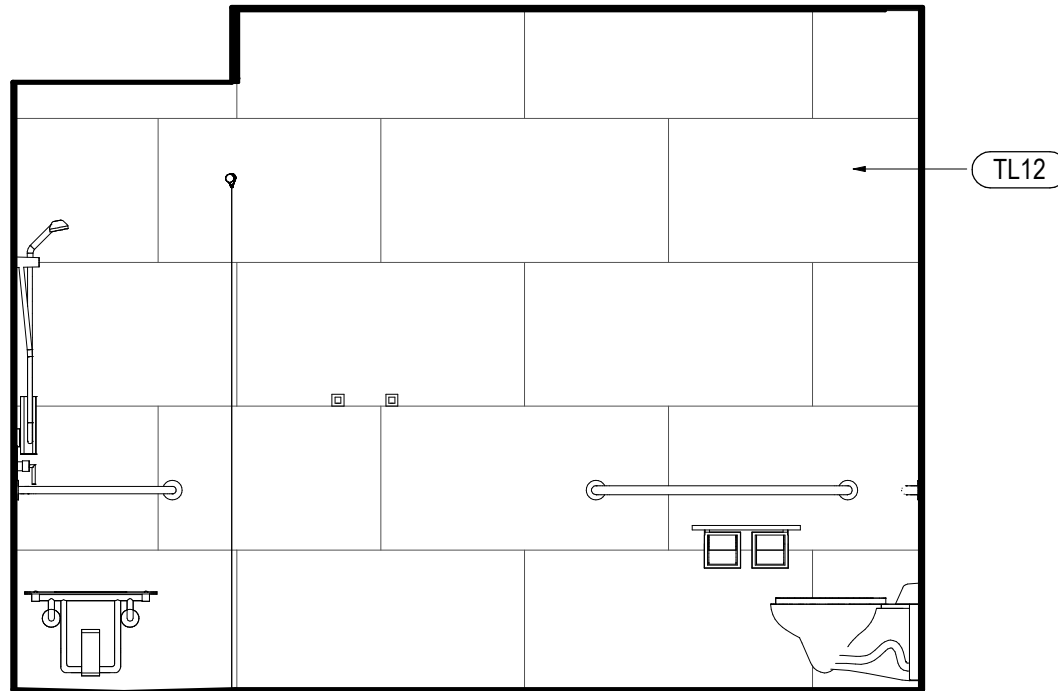
08 ELEVATION - SHOWER 7-07 NORTH  
SCALE: 3/8" = 1'-0"



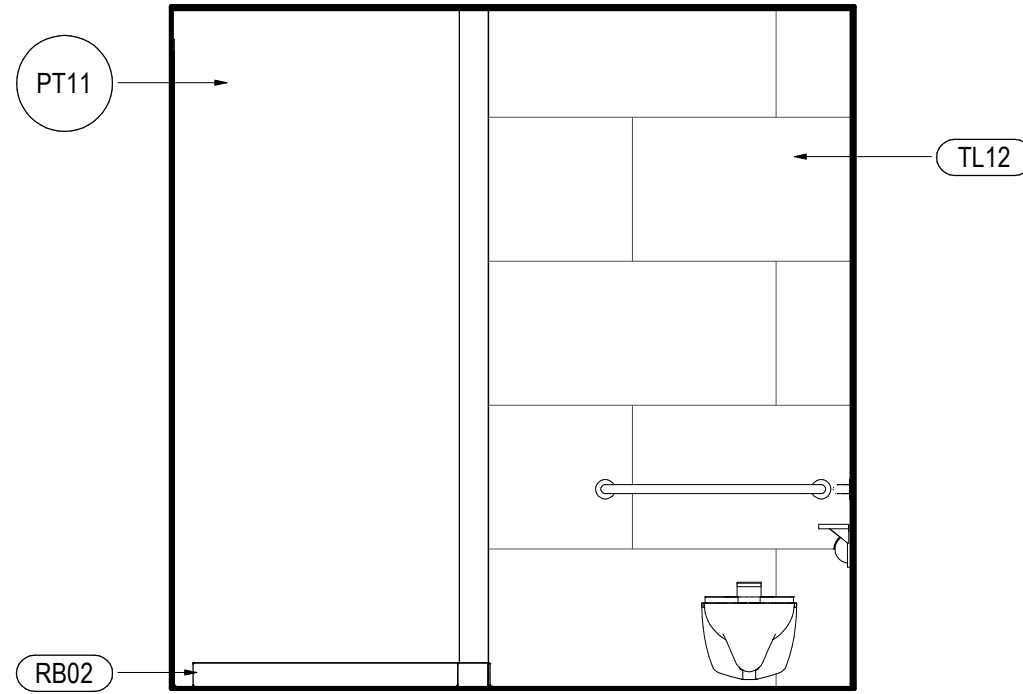
04 ELEVATION - SHOWER 7-06 NORTH  
SCALE: 3/8" = 1'-0"



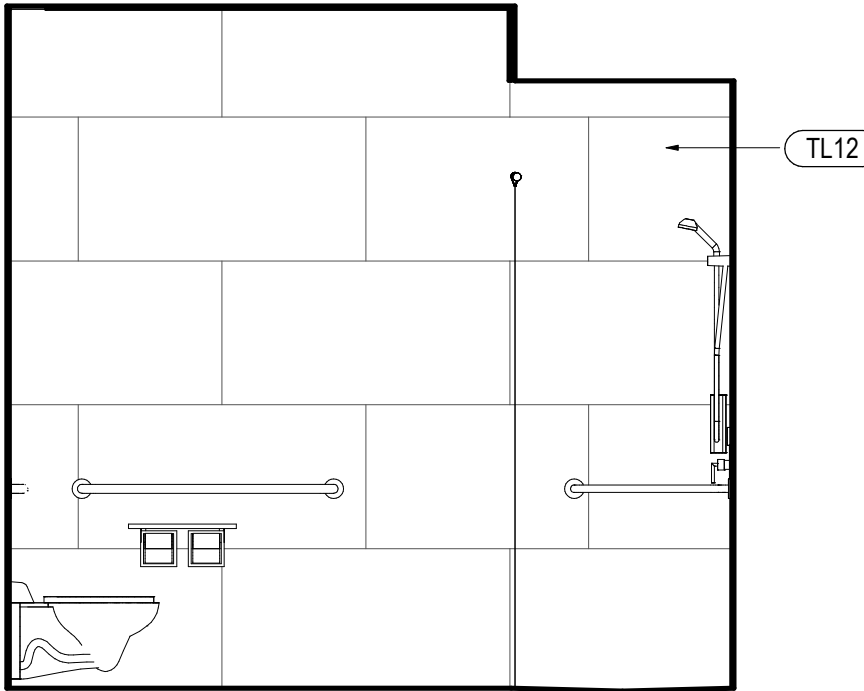
05 ELEVATION - SHOWER 7-07 EAST  
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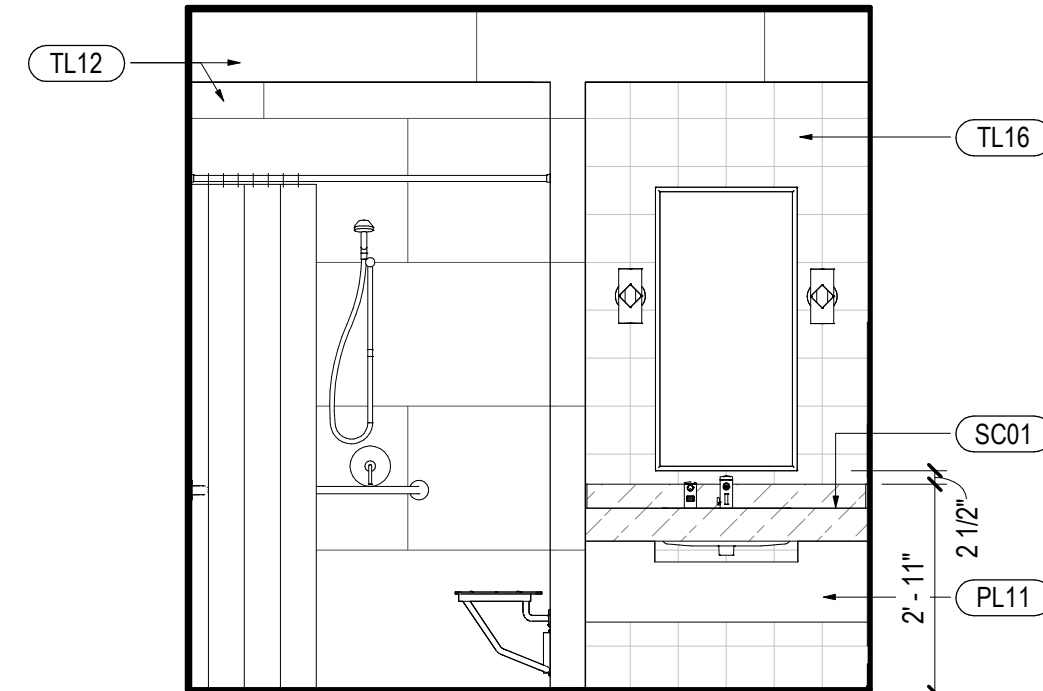
06 ELEVATION - SHOWER 7-07 SOUTH  
SCALE: 3/8" = 1'-0"



01 ELEVATION - SHOWER 7-06 EAST  
SCALE: 3/8" = 1'-0"



02 ELEVATION - SHOWER 7-06 SOUTH  
SCALE: 3/8" = 1'-0"



03 ELEVATION - SHOWER 7-06 WEST  
SCALE: 3/8" = 1'-0"

RESTROOM ACCESSORIES SCHEDULE

TYPE	MFR.	MODEL #	DESCRIPTION
A	Bobrick Washroom Equipment, Inc.	B-669	Recessed Toilet Tissue Dispenser w/ Hood For Single Roll
B	Bobrick Washroom Equipment, Inc.	B-295	Solid Wall Mounted Shelf, 18"W x 5"D, Stainless
C	Bobrick Washroom Equipment, Inc.	B-6806 x 36	36" Horizontal Grab Bar
D	Bobrick Washroom Equipment, Inc.	B-6806 x 42	42" Horizontal Grab Bar
E	Bobrick Washroom Equipment, Inc.	B-58616	Tub-Shower-Toilet Compartment Two-Wall Grab Bar
F	American Specialties Inc.	6462-00	Platto™ Completely Recessed Paper Towel Dispenser and Waste Receptacle - White Phenolic Door (6462-00)

TYPE	MFR.	MODEL #	DESCRIPTION
G	Bobrick Washroom Equipment, Inc.	B-167 2448	LED Backlit Mirror
H	Bobrick Washroom Equipment, Inc.	B-165 2448	Channel Frame Mirror
K	Bobrick Washroom Equipment, Inc.	B-5191	Solid Phenolic Folding Shower/Dressing Area Seat
L	Simple Human	BT1029	Wall Mount Soap Pump - Triple
M	Bobrick Washroom Equipment, Inc.	B-207x60	Shower Curtain Rod
N	Bobrick Washroom Equipment, Inc.	B-204-2	Shower Curtain; Opaque, Matte White Vinyl

BH PROPERTIES

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A	07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
B	12.03.2021	PROGRESS, PERMIT AND CD ISSUE

Seal / Signature

NOT FOR  
CONSTRUCTION

Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

INTERIOR ELEVATIONS - LEVEL 07  
LOCKER ROOMS

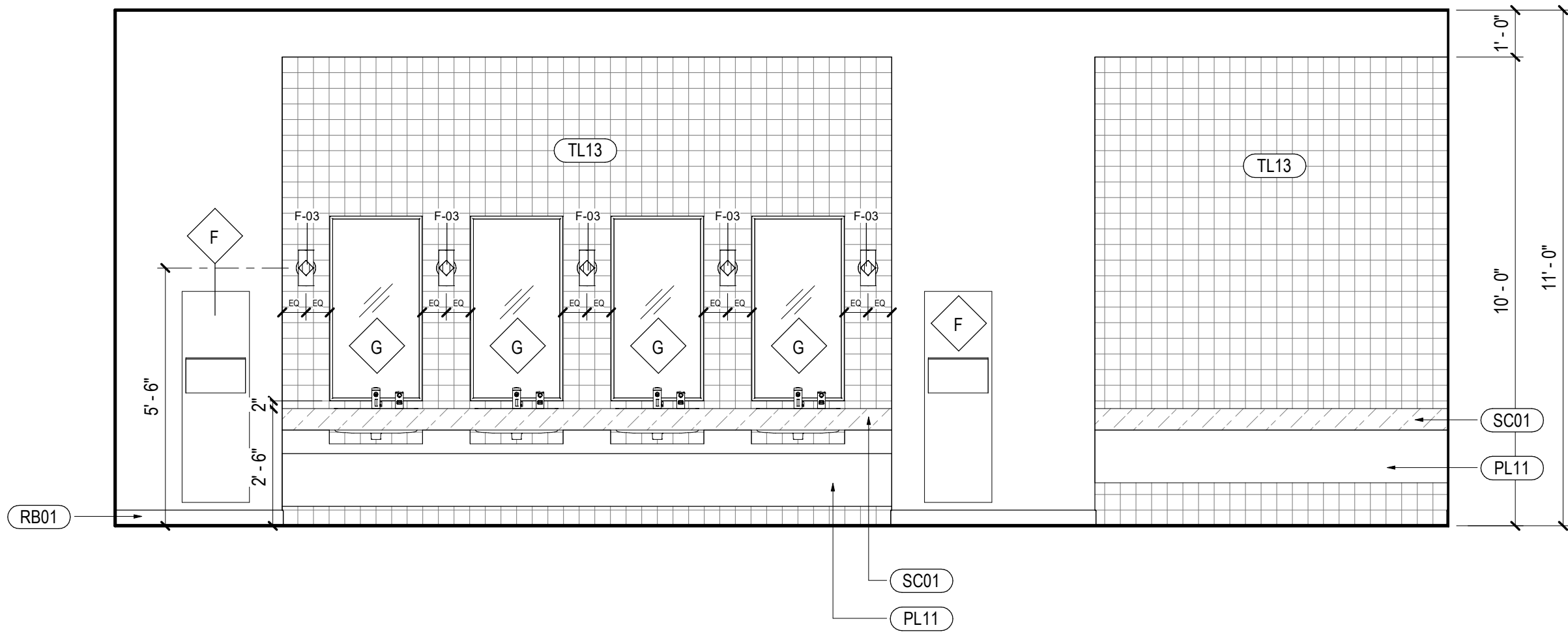
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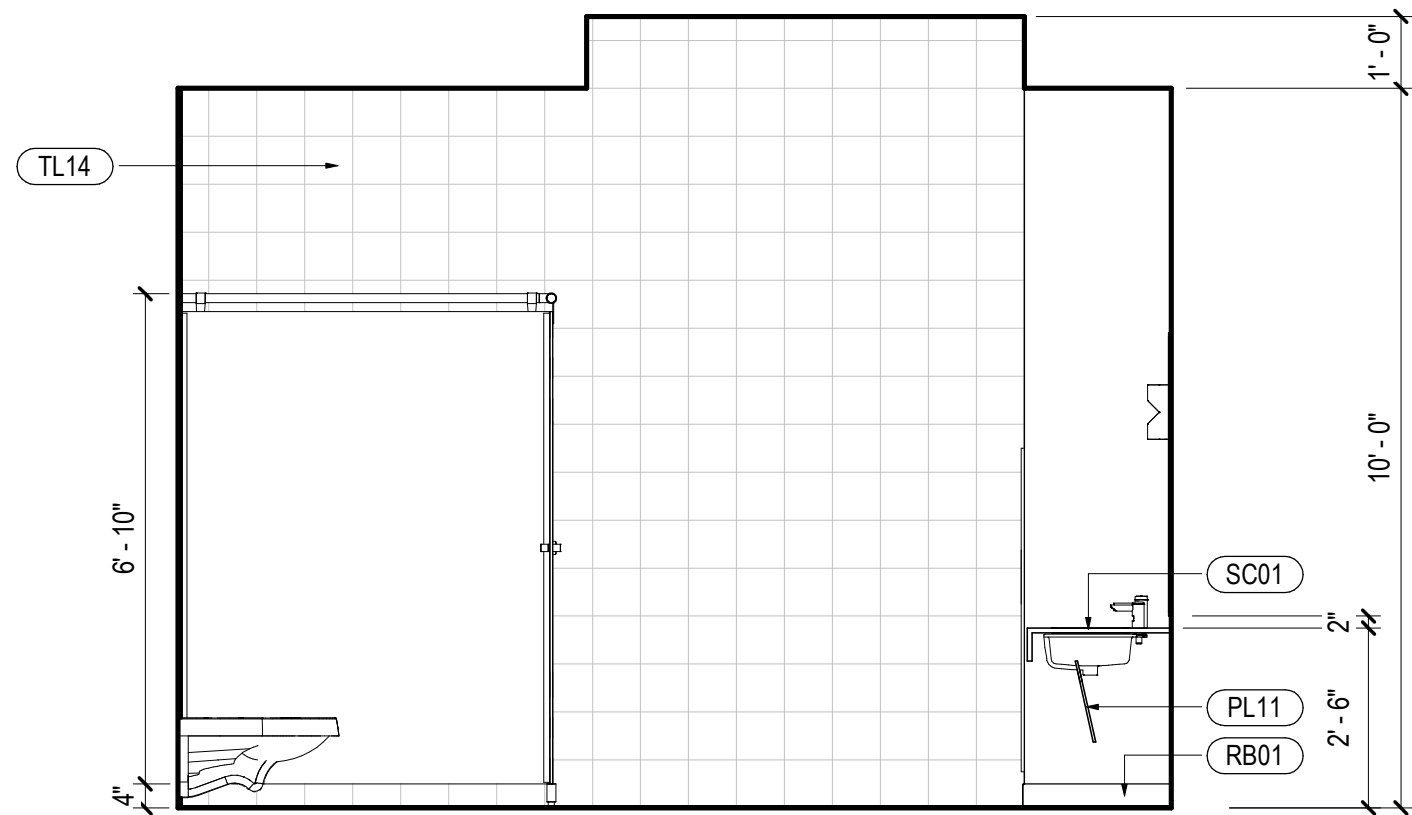
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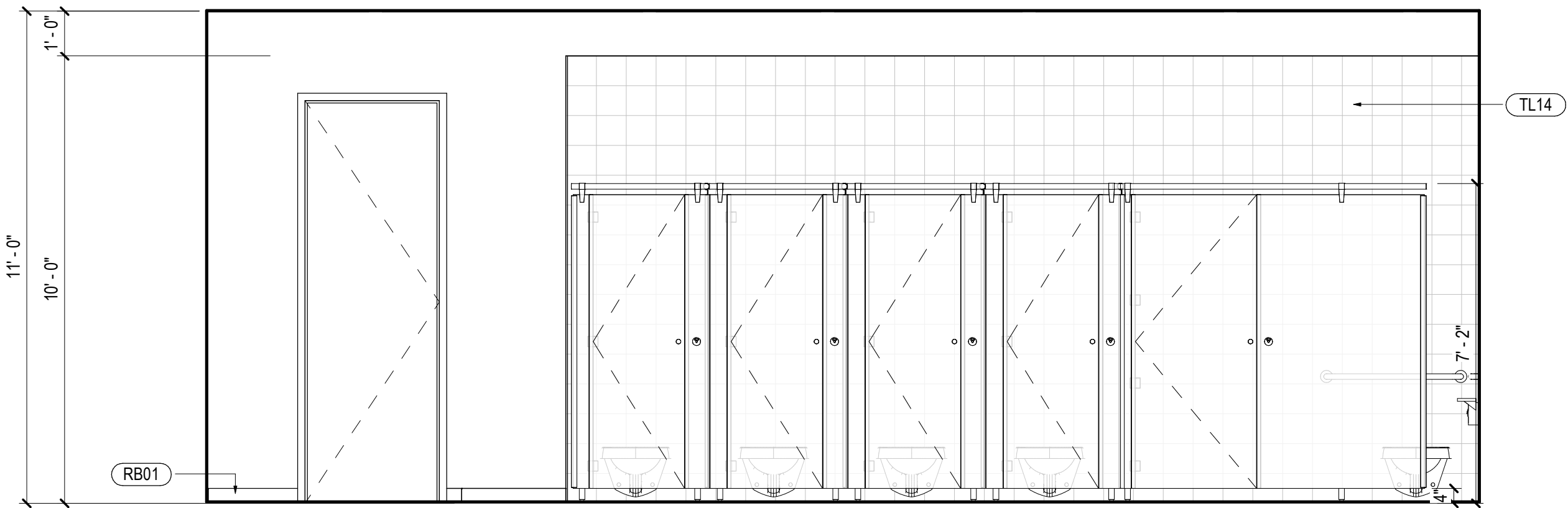
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04 ELEVATION - WOMENS RESTROOM WEST  
SCALE: 3/8" = 1'-0"



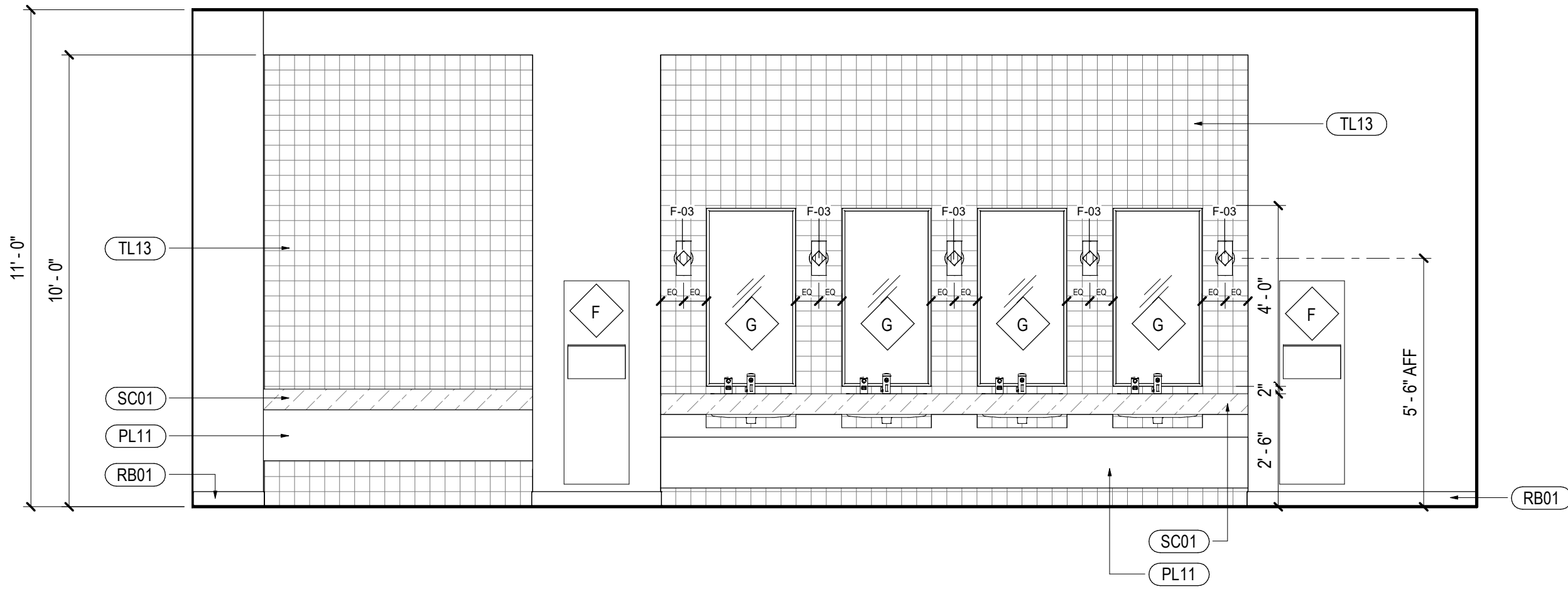
05 ELEVATION - WOMENS RESTROOM SOUTH  
SCALE: 3/8" = 1'-0"



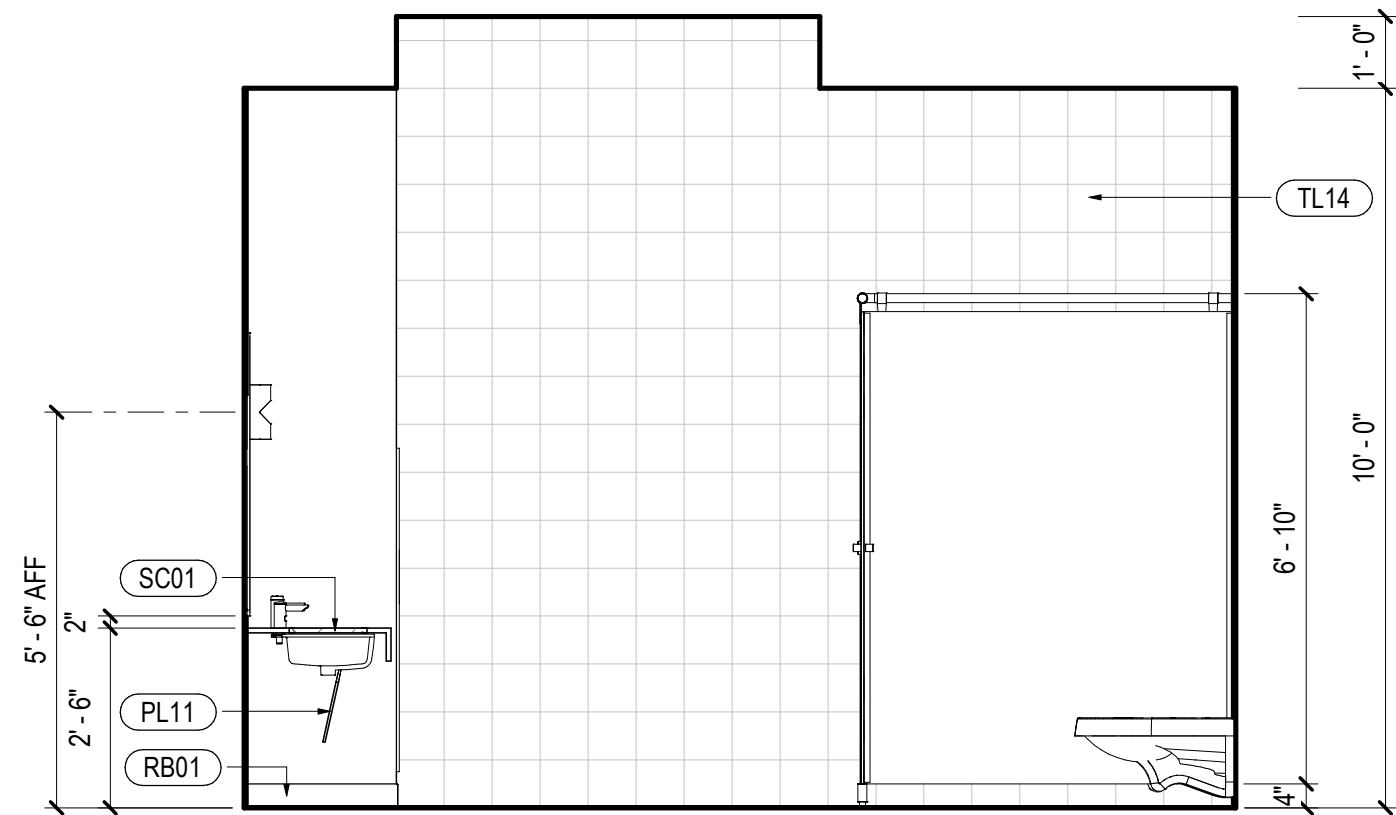
06 ELEVATION - WOMENS RESTROOM EAST  
SCALE: 3/8" = 1'-0"

#### SHEET NOTES

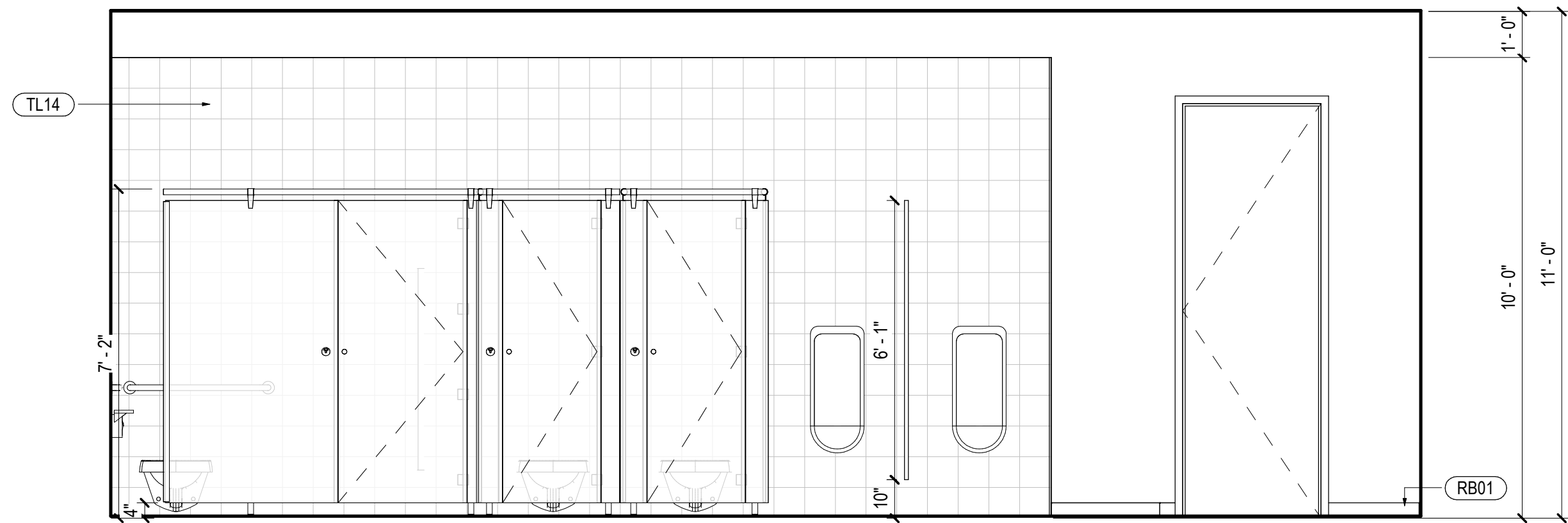
#### GENERAL NOTES



01 ELEVATION - MENS RESTROOM EAST  
SCALE: 3/8" = 1'-0"



02 ELEVATION - MENS RESTROOM SOUTH  
SCALE: 3/8" = 1'-0"



03 ELEVATION - MENS RESTROOM WEST  
SCALE: 3/8" = 1'-0"

#### RESTROOM ACCESSORIES SCHEDULE

TYPE	MFR.	MODEL #	DESCRIPTION	TYPE	MFR.	MODEL #	DESCRIPTION
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B	Bobrick Washroom Equipment, Inc.	B-295	Solid Wall Mounted Shelf, 18"W x 5"D, Stainless	H	Bobrick Washroom Equipment, Inc.	B-165 2448	Channel Frame Mirror
C	Bobrick Washroom Equipment, Inc.	B-6806 x 36	36" Horizontal Grab Bar	K	Bobrick Washroom Equipment, Inc.	B-5191	Solid Phenolic Folding Shower/Dressing Area Seat
D	Bobrick Washroom Equipment, Inc.	B-6806 x 42	42" Horizontal Grab Bar	L	Simple Human	BT1029	Wall Mount Soap Pump - Triple
E	Bobrick Washroom Equipment, Inc.	B-58616	Tub-Shower-Toilet Compartment Two-Wall Grab Bar	M	Bobrick Washroom Equipment, Inc.	B-207x60	Shower Curtain Rod
F	American Specialties Inc.	6462-00	Platto™ Completely Recessed Paper Towel Dispenser and Waste Receptacle - White Phenolic Door (6462-00)	N	Bobrick Washroom Equipment, Inc.	B-204-2	Shower Curtain; Opaque, Matte White Vinyl

## BH PROPERTIES

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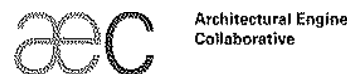
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Project Name

146 Navarro Repositioning  
CD 75%

Project Number

122.0043.000

Description

INTERIOR ELEVATIONS - LEVEL 08-10  
CORE RESTROOMS

Scale

3/8" = 1'-0"

A7.003

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GENERAL NOTES:

1. CONTRACTOR SHALL LOCATE AND VERIFY THE CONDITION OF ALL EXISTING UTILITIES, INCLUDING CONTACTING LINE LOCATION SERVICES, PRIOR TO ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE FOR ANY COSTS INCURRED FOR BODILY INJURY AND/OR DAMAGE TO THE OWNER'S PROPERTY OR SAID UTILITIES.
2. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF ANY DISCREPANCIES DISCOVERED BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGES IF WORK PROCEEDS WITHOUT THIS NOTIFICATION.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ASPECTS OF A SAFE WORK SITE INCLUDING, BUT NOT LIMITED TO, PROVIDING FOR TRAFFIC CONTROL, INSTALLATION AND PLACEMENT OF FENCING AND BARRICADES, EXCAVATION AND TRENCH PROTECTION AND COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS AND CODES. ALL SAFETY EXPOSURES OR VIOLATIONS SHALL BE RECTIFIED IMMEDIATELY.
4. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING IMPROVEMENTS ON, OR ADJACENT TO, THE WORK SITE AND SHALL REPAIR ANY DAMAGE TO THESE IMPROVEMENTS CAUSED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.
5. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK REQUIRING INSPECTION IN COORDINATING THE PROJECT SCHEDULE.
6. ANY PROPOSED ALTERNATES OR SUBSTITUTIONS TO THE WORK BY THE CONTRACTOR SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING FOR APPROVAL. CHANGES TO THE SCOPE OF WORK AND/OR CONTRACT DOCUMENTS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND/OR SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF TRASH ON A DAILY BASIS AND MAINTAINING A CLEAN JOBSITE.
8. CONTRACTOR IS RESPONSIBLE FOR THE LEGAL OFF-SITE DISPOSAL OF SURPLUS MATERIAL AND DEBRIS.
9. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND SERVICING TEMPORARY TOILET FACILITIES.
10. UNLESS SPECIFIED OTHERWISE, CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND PAYING ALL TEMPORARY UTILITIES AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS.
11. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYMENT OF ALL PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION OF THE PROJECT WITH COSTS INCLUDED IN THE BID. (PLAN REVIEW FEES ARE PAID BY OWNER.) IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME AWARE OF REQUIRED INSPECTIONS THAT ARE ASSOCIATED WITH PERMITS ISSUED FOR THE WORK AND TO SCHEDULE THESE INSPECTIONS AT THE APPROPRIATE STAGE OF CONSTRUCTION. (EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, ROUGH-IN ELECTRICAL, ROUGH-IN PLUMBING, IRRIGATION PIPING, FOUNDATION STEEL FOR STRUCTURES, INCLUDING WALLS, FIRE INSPECTIONS RELATED TO ENTRY GATES AND STRUCTURES, AND OTHER INSPECTIONS AS THEY MAY APPLY.)
12. CONTRACTOR SHALL COORDINATE THE WORK OF SUBCONTRACTORS TO ACCOMPLISH THE SCOPE OF WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS AS WELL AS COORDINATE CONSTRUCTION ACTIVITIES WITH OTHER CONTRACTORS WORKING ON THE SITE.
13. CONTRACTOR SHALL COORDINATE THE STORING OF MATERIALS, PARKING OF VEHICLES, RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS OR PARK ANY VEHICLES OR EQUIPMENT UNDER THE CANOPY OF EXISTING TREES.
14. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO APPROVAL, CONTRACTOR SHALL PROVIDE PROTECTION OF ALL FINISHED WORK IN PLACE, THOROUGHLY CLEAN THE PROJECT SITE OF ALL TRASH AND CONSTRUCTION DEBRIS AND REPAIR ALL DAMAGE TO FINISH GRADE, INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS AND ANY SETTLING OR EROSION THAT HAS OCCURRED DUE TO CONSTRUCTION ACTIVITIES.
15. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR SUBSTANTIAL COMPLETION INSPECTION TO THE OWNER AND LANDSCAPE ARCHITECT TO DETERMINE ACCEPTABILITY. WHERE INSPECTED WORK DOES NOT COMPLY WITH REQUIREMENTS, CONTRACTOR SHALL REPLACE REJECTED WORK AND NOTIFY THE OWNER OR LANDSCAPE ARCHITECT FOR REINSPECTION AS APPROPRIATE FOR ACCEPTANCE AND PRIOR TO SUBMITTAL OF THE FINAL PAYMENT.

END OF NOTES

03 00 00 CONCRETE:

- PART 1 - GENERAL
- 1.01 SECTION INCLUDES
- A. CONCRETE FORMING AND ACCESSORIES.
- B. CONCRETE REINFORCING.
- C. CAST-IN-PLACE CONCRETE.
- 1.02 REFERENCE STANDARDS
- A. AMERICAN CONCRETE INSTITUTE (ACI)
1. ACI 117 - SPECIFICATION FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS
2. ACI 301 - SPECIFICATIONS FOR STRUCTURAL CONCRETE
3. ACI 315 - GUIDE TO PRESENTING REINFORCING STEEL DESIGN DETAILS
4. ACI 318 - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- B. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)
1. ASTM A615/A615M, GRADE 60 - STANDARD SPECIFICATION FOR DEFORMED AND PLAIN CARBON-STEEL BARS FOR CONCRETE REINFORCEMENT
2. ASTM A1064/A1064M - STANDARD SPECIFICATION FOR CARBON-STEEL WIRE AND WELDED WIRE REINFORCEMENT, PLAIN AND DEFORMED, FOR CONCRETE
3. ASTM C31 - STANDARD PRACTICE FOR MAKING AND CURING CONCRETE TEST SPECIMENS IN THE FIELD
4. ASTM C33 - STANDARD SPECIFICATION FOR CONCRETE AGGREGATES
5. ASTM C39 - STANDARD TEST METHOD FOR COMPRESSIVE STRENGTH OF CYLINDRICAL CONCRETE SPECIMENS
6. ASTM C94/C94M - STANDARD SPECIFICATION FOR READY-MIXED CONCRETE
7. ASTM C150 - STANDARD SPECIFICATION FOR PORTLAND CEMENT
8. ASTM C260/C260M - STANDARD SPECIFICATION FOR AIR-ENTRAINING ADMIXTURES FOR CONCRETE
9. ASTM C494/C494M - STANDARD SPECIFICATION FOR CHEMICAL ADMIXTURES FOR CONCRETE
10. ASTM C618 - STANDARD SPECIFICATION FOR COAL FLY ASH AND RAW OR CALCINED NATURAL POZZOLAN FOR USE IN CONCRETE.
- 1.03 SUBMITTALS
- A. SUBMITTALS FOR REVIEW
1. CONCRETE MIX DESIGN: FOR EACH TYPE OF CONCRETE TO BE USED BASED ON MATERIALS AND PROPORTIONS, AGGREGATE GRADATIONS, WATER/CEMENT RATIO, DESIGN STRENGTH, SLUMP AND AIR CONTENT AND ADMIXTURES.
2. PRODUCT DATA: FOR EACH SPECIFIED MATERIAL AND PRODUCT AS INDICATED ON THE PLAN SHEETS.
- 1.04 QUALITY ASSURANCE
- A. INSTALLER QUALIFICATIONS: MINIMUM 5 YEARS DOCUMENTED EXPERIENCE IN WORK OF THIS SECTION.
- B. CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE TO ACI 301.
- C. CONCRETE REINFORCING AND ACCESSORIES IN ACCORDANCE WITH ACI 315.
- 1.05 DELIVERY, STORAGE AND HANDLING
- A. MIX AND DELIVER CONCRETE TO PROJECT SITE IN ACCORDANCE WITH ASTM C94.
- B. SCHEDULE DELIVERY SO THAT CONTINUITY OF ANY POUR WILL NOT BE INTERRUPTED FOR OVER 15 MINUTES.
- C. PLACE CONCRETE ON SITE WITHIN 90 MINUTES AFTER PROPORTIONING MATERIALS AT BATCH PLANT.
- 1.06 GENERAL REQUIREMENTS
- A. ALL CONCRETE WORK SHALL BE TRUE TO LINE AND GRADE AS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DRAINAGE, WITHOUT BIODRATHS, ON ALL CONCRETE PAVED SURFACES. ANY DISCREPANCIES OR OMISSIONS ON THE DRAWINGS OR CONDITIONS ON THE SITE WHICH PREVENT THE CONTRACTOR FROM PROVIDING PROPER DRAINAGE SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IN WRITING FOR CORRECTION OR RELIEF BEFORE THE WORK PROCEEDS.
- PART 2 - PRODUCTS
- 2.01 MANUFACTURERS
- A. AS INDICATED ON THE DRAWINGS FOR EACH SPECIFIED CONDITION.
- B. SUBSTITUTIONS: SUBMIT WRITTEN SUBSTITUTION REQUEST TO OWNER/LANDSCAPE ARCHITECT FOR APPROVAL DESCRIBING PRODUCT OR METHOD BEING REPLACED BY SUBSTITUTION WITH DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS INCLUDING PRODUCT DATA/DRAWINGS, DESCRIPTION OF METHODS, SAMPLES WHERE APPLICABLE AND DETAILED COMPARISON BETWEEN THE SPECIFIED PRODUCT AND PROPOSED SUBSTITUTION.
- 2.02 MATERIALS
- A. FORM MATERIALS: WOOD, METAL OR GLASS FIBER TYPE THAT WILL NOT ADVERSELY AFFECT SURFACE OF CONCRETE AND WILL PROVIDE SPECIFIED SURFACE FINISH. FORM RELEASE AGENT BE NON-STAINING, WAX BARRIER TYPE.
- B. REINFORCEMENT: BARS AND DOWELS IN ACCORDANCE WITH ASTM A615, DEFORMED BILLET STEEL BARS, GRADE 40 OR 60.
- C. CONCRETE MATERIALS: PORTLAND CEMENT IN ACCORDANCE WITH ASTM C150, AGGREGATES IN ACCORDANCE WITH ASTM C33, FLY ASH IN ACCORDANCE WITH ASTM C618 AND ADMIXTURES IN ACCORDANCE WITH ASTM C494.
- 2.03 ACCESSORIES
- A. JOINT FILLERS: ASPHALTIC TYPE.
- B. JOINT SEALER: IN CONFORMANCE TO ASTM C920 AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- C. SANDBLASTING AGGREGATE: NATURAL OR MANUFACTURED.
- 2.04 MIXES
- A. PROPORTIONS: PROPORTIONS OF CEMENT, AGGREGATE AND WATER TO ATTAIN REQUIRED PLASTICITY AND COMPRESSIVE STRENGTH IN ACCORDANCE WITH ACI 301.
- B. CONCRETE SHALL BE OF NORMAL WEIGHT AND DESIGNED TO DEVELOP MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI, OR AS INDICATED ON THE DRAWINGS.

- PART 3 - EXECUTION
- 3.01 EXAMINATION
- A. VERIFY COMPACTED SUBGRADE IS ACCEPTABLE AND READY TO SUPPORT PAVING AND IMPOSED LOADS.
- B. VERIFY GRADIENTS AND ELEVATIONS OF BASE ARE CORRECT.
- 3.02 SUBBASE
- A. PREPARE SUBBASE IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS, OR TO 95% MAXIMUM DRY DENSITY.
- 3.03 PREPARATION
- A. PROTECT ALL ADJACENT CONSTRUCTION AND EXISTING EDGE FEATURES THAT MAY BE ADVERSELY AFFECTED BY CONCRETE PLACEMENT ACTIVITIES.
- 3.04 CONSTRUCTION OF FORMS
- A. SURFACE PREPARATION: PROOF-ROLL PREPARED SUBBASE ADN REMOVE LOOSE MATERIAL FROM SURFACE.
- B. FORMS: SET, BRACE AND SECURE EDGE FORMS, BULKHEADS AND INTERMEDIATE SCREED GUIDES FOR PAVEMENT TO REQUIRED LINES, GRADES AND ELEVATIONS.
- 3.05 REINFORCEMENT INSTALLATION
- A. REINFORCEMENT: ACCURATELY POSITION ADN SUPPORT REINFORCEMENT AND SECURE AGAINST DISPLACEMENT. SET WIRE TIES WITH ENDS DIRECTED INTO CONCRETE. LAP REINFORCEMENT 8" MINIMUM, OR 1 1/2 MESH WIDTH, WHICHEVER IS GREATER AT SPLICE POINTS.
- B. JOINTS: LOCATE AND INSTALL CONSTRUCTION, ISOLATION, CONTRACTION AND EXPANSION JOINTS AS INDICATED.
- 3.06 CONCRETE PLACEMENT
- A. CONCRETE PLACEMENT: COMPLY WITH RECOMMENDATIONS IN ACI 304R FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE. PLACE CONCRETE IN CONTINUOUS OPERATION WITH PLANNED JOINTS OR SECTIONS.
1. MOISTEN SUBBASE TO PROVIDE A UNIFORM DAMPENED CONDITION AT TIME CONCRETE IS PLACED.
2. CONSOLIDATE CONCRETE BY MECHANICAL VIBRATING EQUIPMENT SUPPLEMENTED BY HAND-SPADING, RODDING OR TAMPING ACCORDING TO RECOMMENDATIONS IN ACI 309R.
3. SCREED AND INITIAL FLOAT CONCRETE SURFACES WITH DARBY OR BULL FLOAT BEFORE EXCESS MOISTURE OR BLEED WATER APPEARS ON SURFACE.
4. PROTECT CONCRETE FROM COLD OR HOT WEATHER DURING MIXING, PLACING AND CURING.
- 3.07 FINISHING
- A. FLOAT FINISH: BEGIN THE SECOND FLOATING OPERATION WHEN BLEED-WATER SHEETN HAS DISAPPEARED AND THE CONCRETE SURFACE HAS STIFFENED SUFFICIENTLY TO PERMIT OPERATIONS. FLOAT SURFACES TO TRUE PLANES WITH GAPS BELOW 10 FOOT-LONG, UNLEVELLED STRAIGHT-EDGE NOT TO EXCEED 1/4 INCH. CUT DOWN HIGH SPOTS AND FILL LOW SPOTS. REFLOAT SURFACE IMMEDIATELY TO UNIFORM GRANULAR TEXTURE.
1. FINISH CONCRETE TO RECEIVE SURFACE FINISH AS INDICATED ON PLANS.
- B. CURING: BEGIN CURING AFTER FINISHING CONCRETE, BUT NOT BEFORE FREE WATER HAS DISAPPEARED FROM CONCRETE SURFACE.
1. CURING COMPOUND: APPLY UNIFORMLY IN CONTINUOUS OPERATION BY POWER SPRAY OR ROLLER ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. RECOAT AREAS SUBJECTED TO HEAVY RAINFALL WITHIN THREE HOURS AFTER INITIAL APPLICATION. MAINTAIN CONTINUITY OF COATING AND REPAIR DAMAGE DURING CURING PERIOD.
- 3.08 EXPANSION JOINTS
- A. FILL EXPANSION JOINTS WITH JOINT SEALER IN CONFORMANCE TO ASTM C920 AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- 3.09 CLEANING AND PATCHING
- A. ALL DEFECTS IN CONCRETE WORK SHALL BE CORRECTED, VOIDS SHALL BE CHIPPED TO A DEPTH OF AT LEAST ONE (1) INCH WITH EDGES PERPENDICULAR TO THE SURFACE AND PARALLEL TO FORM MARKINGS. SURFACE IRREGULARITIES OR HONEYCOMBING SHALL BE FILLED BY PATCHING OR RUBBING AS DIRECTED BY THE LANDSCAPE ARCHITECT AT THE CONTRACTOR'S EXPENSE. REPAIRED SURFACES SHALL DUPLICATE THE APPEARANCE OF THE UNPATCHED WORK.
- B. ANY DEFECTIVE CONCRETE WORK, WHICH AFTER CORRECTIVE PATCHING, FAILS TO DUPLICATE THE APPEARANCE OF UNPATCHED WORK AND/OR CONFORM TO SPECIFICATION STANDARDS SHALL BE REMOVED AND REPLACED AT NO COST TO THE CONTRACT.
- 3.10 PROTECTION
- A. PROTECT WORK SUBJECT TO DAMAGE FROM SUBSEQUENT CONSTRUCTION ACTIVITY ON SITE.

END OF SECTION

05 50 00 METAL FABRICATIONS:

- PART 1 - GENERAL
- 1.01 SECTION INCLUDES
- A. SHOP FABRICATED ELEMENTS.
- B. CUSTOM FABRICATED ELEMENTS.
- 1.02 REFERENCE STANDARDS
- A. AMERICAN WELDING SOCIETY (AWS), D1.1 - STRUCTURAL WELDING CODE - STEEL.
- B. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)
1. ASTM A36/A36M - STANDARD SPECIFICATION FOR CARBON STRUCTURAL STEEL.
2. ASTM A108 - STANDARD SPECIFICATION FOR STEEL BAR, CARBON AND ALLOY, COLD FINISHED.
3. ASTM A123/123M - STANDARD SPECIFICATION FOR ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS.
4. ASTM A153/153M - STANDARD SPECIFICATION FOR ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL HARDWARE.
5. ASTM A283 - STANDARD SPECIFICATION FOR LOW AND INTERMEDIATE TENSILE STRENGTH CARBON STEEL PLATES.
6. ASTM A500/A500M - STANDARD SPECIFICATION FOR COLD-FORMED WELDED AND SEAMLESS CARBON STEEL STRUCTURAL TUBING IN ROUNDS AND SHAPES.
7. ASTM A501/A501M - STANDARD SPECIFICATION FOR HOT-FORMED WELDED AND SEAMLESS CARBON STEEL STRUCTURAL TUBING.
8. ASTM A780/A780M - STANDARD PRACTICE FOR REPAIR OF DAMAGED AND UNCOATED AREAS OF HOT-DIP GALVANIZED COATINGS.
9. ASTM F3125/F3125M - STANDARD SPECIFICATION FOR HIGH STRENGTH STRUCTURAL BOLTS AND ASSEMBLIES, STEEL AND ALLOY STEEL, HEAT TREATED, INCH DIMENSIONS 120 KSI AND 150 KSI MINIMUM TENSILE STRENGTH, AND METRIC DIMENSIONS 830 MPA AND 1040 MPA MINIMUM TENSILE STRENGTH.
- 1.03 SUBMITTALS
- A. SHOP DRAWINGS FOR REVIEW:
1. CONTRACTOR/FABRICATOR SHALL VERIFY ALL MEASUREMENTS ON SITE.
2. SHOW DIMENSIONS, METAL THICKNESSES, FINISHES, JOINTS, ATTACHMENTS AND RELATIONSHIP OF WORK TO ADJACENT CONSTRUCTION.
3. INDICATE PROFILES, SIZES, CONNECTION ATTACHMENTS, REINFORCING, ANCHORAGE, SIZE AND TYPE OF FASTENERS AND ACCESSORIES.
4. INDICATE WELDED CONNECTIONS USING STANDARD AWS WELDING SYMBOLS. INDICATE NET WELD LENGTHS.
5. BEAR SEAL AND SIGNATURE OF A REGISTERED STATE OF TEXAS ENGINEER RESPONSIBLE FOR SYSTEM DESIGN.
- B. PRODUCT DATA FOR REVIEW:
1. PROVIDE MANUFACTURER'S CURRENT CATALOG CUT SHEETS, DATA SHEETS AND INSTALLATION INSTRUCTIONS FOR ALL HARDWARE.
- 1.04 QUALITY ASSURANCE
- A. FABRICATOR QUALIFICATIONS: MINIMUM 2 YEARS DOCUMENTED EXPERIENCE IN WORK OF THIS SECTION. FOR STEEL FABRICATION, PROVIDE RESUME AND WORK SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- B. FIELD MEASUREMENTS: VERIFY ALL FIELD MEASUREMENTS AS REQUIRED PRIOR TO FABRICATION AND INSTALLATION.
- C. SHOP ASSEMBLY: PRE-ASSEMBLE ITEMS IN SHOP TO GREATEST EXTENT POSSIBLE TO MINIMIZE FIELD SPLICING AND ASSEMBLY.
- D. COORDINATION: WHERE CONCRETE, MASONRY OR OTHER MATERIALS MUST BE SET TO EXACT LOCATIONS TO RECEIVE WORK, FURNISH ASSISTANCE AND DIRECTION NECESSARY TO PERMIT OTHER TRADES TO PROPERLY LOCATE THEIR WORK.
- E. TEMPLATES AND BUILT-INS: FURNISH ALL ANCHORS, FASTENERS, SLEEVES, SETTING TEMPLATES AND LAYOUTS AFFECTING, OR INSTALLED IN, THE WORK OF OTHER TRADES.
- F. REPLACEMENT: REPLACE ALL DAMAGED WORK AT NO COST TO THE OWNER.
- PART 2 - PRODUCTS
- 2.01 MATERIALS
- A. SHOP FABRICATED ELEMENTS:
1. SHAPES: ASTM A36/A36M.
2. PIPE: ASTM A500/A500M.
3. TUBE: ASTM A501/A501M.
4. PLATE: ASTM A283.
5. BAR: ASTM A108.
- B. CUSTOM FABRICATED ELEMENTS:
1. REFERENCE PLAN SHEETS FOR MATERIAL AND DIMENSIONAL SPECIFICATIONS.
- C. SUBSTITUTIONS: SUBMIT WRITTEN SUBSTITUTION REQUEST TO OWNER/LANDSCAPE ARCHITECT FOR APPROVAL DESCRIBING PRODUCT OR METHOD BEING REPLACED BY SUBSTITUTION WITH DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS INCLUDING PRODUCT DATA/DRAWINGS, DESCRIPTION OF METHODS, SAMPLES WHERE APPLICABLE AND DETAILED COMPARISON BETWEEN THE SPECIFIED PRODUCT AND PROPOSED SUBSTITUTION.
- 2.02 ACCESSORIES
- A. BOLTS, NUTS AND WASHERS: ASTM A307.
- B. ANCHORING CEMENT: NON-SHRINK CEMENTITIOUS TYPE.
- 2.03 FABRICATION
- A. FABRICATE FROM STEEL PIPE OR TUBE STOCK OF SIZES INDICATED.
- B. FABRICATE FROM STEEL BAR AND PLATE STOCK OF SIZES INDICATED.
- C. MAKE BENDS UNIFORM AND FREE FROM BUCKLES AND OTHER DEFECTS.
- D. CUT INTERSECTIONS SQUARE TO WITHIN 2 DEGREES AND TO A LENGTH WITHIN 1/8 INCH. REMOVE BURRS FROM CUT ENDS.
- E. MITER AND COPE INTERSECTIONS WITHIN 2 DEGREES, TO 1/8 INCH.
- F. CONTINUOUSLY WELD CONNECTIONS. WELDING TO CONFORM TO AWS D1.1. GRIND EXPOSED WELDS SMOOTH.
- G. WHERE RAIL LENGTH EXCEEDS THAT SUITABLE FOR SHIPPING AND HANDLING, FABRICATE RAILS IN SECTIONS WITH CONCEALED INTERNAL SLEEVES FORMING SLIP JOINTS. EXTEND SLEEVES MINIMUM 2 INCHES ON BOTH SIDES OF JOINT; FIELD WELD AND GRIND SMOOTH.
- H. SUPPLY COMPONENTS REQUIRED FOR ANCHORAGE OF FABRICATIONS. FABRICATE ANCHORS AND RELATED COMPONENTS OF SAME MATERIAL AND FINISH AS FABRICATION, EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE.
- I. FABRICATE COMPONENTS WITH JOINTS TIGHTLY FITTED AND SECURED.
- J. ACCOMMODATE FOR EXPANSION AND CONTRACTION OF MEMBERS AND STRUCTURE MOVEMENT WITHOUT DAMAGE TO CONNECTIONS OR MEMBERS.
- K. PROVIDE ANCHORS, PLATES OR ANGLES REQUIRED FOR CONNECTING TO STRUCTURES.
- L. EXPOSED MECHANICAL FASTENINGS: PROVIDE FLUSH COUNTERSUNK SCREWS OR BOLTS; UNOBTUSIVELY LOCATED; CONSISTENT WITH DESIGN OF COMPONENT, EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE.
- M. EXTERIOR COMPONENTS: CONTINUOUSLY SEAL JOINED PIECES BY CONTINUOUS WELDS. DRILL CONDENSATE DRAINAGE HOLES AT BOTTOM OF MEMBERS AT LOCATIONS THAT WILL NOT ENCOURAGE WATER INTRUSION.
- 2.04 FINISHES
- A. SHOP FINISHING: GALVANIZE ITEMS TO MINIMUM 2.0 OUNCES PER SQUARE FOOT IN ACCORDANCE WITH ASTM A123/A123M.
- B. SHOP APPLY PRIME COAT IN ACCORDANCE WITH SPECIFIED MANUFACTURER'S RECOMMENDATIONS.
- PART 3 - EXECUTION
- 3.01 EXAMINATION
- A. VERIFY ALL MEASUREMENTS AT THE JOB.
- B. VERIFY THAT FIELD CONDITIONS ARE ACCEPTABLE AND ARE READY TO RECEIVE WORK.
- C. NOTIFY LANDSCAPE ARCHITECT OF ANY CONDITION OR DEFECTS WHICH WOULD INTERFERE WITH INSTALLATION. STARTING WORK IMPLIES ACCEPTANCE OR SURFACES AS SATISFACTORY.
- 3.02 INSTALLATION
- A. INSTALL IN ACCORDANCE WITH APPROVED SHOP DRAWINGS.
- B. SET PLUMB AND LEVEL, ACCURATELY FITTED, FREE FROM DISTORTION AND DEFECTS.
- C. ALLOW FOR ERECTION LOADS, AND FOR TEMPORARY BRACING, TO MAINTAIN TRUE ALIGNMENT UNTIL COMPLETION OF ERECTION AND INSTALLATION OF PERMANENT ATTACHMENTS.
- D. MECHANICALLY FASTEN JOINTS BUTTED TIGHT, FLUSH AND HAIRLINE.
- E. INSTALLATION TOLERANCES TO BE A MAXIMUM OFFSET FROM TRUE ALIGNMENT: 1/4 INCH.
- F. INSTALL SLEEVED COMPONENTS WITH ANCHORING CEMENT.
- G. DO ALL CUTTING, SHEARING, DRILLING, PUNCHING, THREADING, ETC. REQUIRED FOR SITE METALWORK OR FOR ATTACHMENT OF ADJACENT WORK. DRILL OR PUNCH HOLES; DO NOT USE A CUTTING TORCH. SHEARING AND PUNCHING SHALL LEAVE TRUE LINES AND SURFACES.
- H. FIELD WELD ANCHORS AS INDICATED ON SHOP DRAWINGS.
1. PERFORM FIELD WELDING IN ACCORDANCE WITH AWS D1.1.
2. TOUCH-UP WELDS WITH PRIMER. GRIND WELDS SMOOTH AND FLUSH. PROTECT ALL ADJACENT SURFACES FROM DAMAGE DUE TO WELD SPARKS, SPLATTER OR TRAMP MATERIAL.
3. FAULTY AND DEFECTIVE WELDING: CHIP OUT AND REPLACE ALL WELDING SHOWING CRACKS, SLAG, INCLUSION, LACK OF FUSION, BAD UNDERCUT OR OTHER DEFECTS ASCERTAINED BY VISUAL OR OTHER MEANS OF INSPECTION. REPLACE AND RE-WELD AT NO COST TO THE OWNER.
- I. BOLTED, SCREWED AND RIVETED CONNECTIONS:
1. BOLTS AND SCREWS: USE BOLTS AND SCREWS FOR FIELD CONNECTIONS ONLY AND AS INDICATED ON THE SHOP DRAWINGS. PROVIDE WASHERS UNDER ALL HEADS AND NUTS. DRAW ALL NUTS TIGHT AND NICK THREADS OF PERMANENT CONNECTION TO PREVENT LOOSENING. USE BEVELED WASHERS WHERE BEARING IS ON SLOPED SURFACES.
2. RIVETS: MACHINE DRIVE TIGHT ALL RIVETS WITH HEADS CENTERED, COUNTERSUNK AND FINISHED FLUSH AND SMOOTH.
3. CONCEAL BOLTS AND SCREWS WHENEVER POSSIBLE. WHERE NOT CONCEALED, USE FLUSH COUNTERSUNK FASTENINGS. FORM JOINTS EXPOSED TO WEATHER TO EXCLUDE WATER.
- 3.03 ADJUSTING
- A. CLEAN AND TOUCH UP GALVANIZED COATINGS AT WELDED AND ABRADED SURFACES IN ACCORDANCE WITH ASTM A780, ANNEX A2.
- B. CLEAN AND TOUCH UP DAMAGED PRIMER PAINT WITH SAME PRODUCT AS APPLIED IN SHOP.
- C. APPLY HIGH PERFORMANCE COATING SYSTEM IN ACCORDANCE WITH SPECIFIED MANUFACTURER'S RECOMMENDATIONS.
- 3.04 PROTECTION
- A. PROTECT INSTALLED FINISHED STEEL SUBJECT TO DAMAGE FROM ADJACENT CONSTRUCTION ACTIVITIES.
- B. PROTECTIVE FILMS OR COVERINGS SHOULD NOT DAMAGE APPLIED FINISHES OR COATINGS WHEN REMOVED.
- C. REPAIRS TO FINISHES, IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFIED MANUFACTURER'S RECOMMENDATIONS.
- END OF SECTION

BH PROPERTIES

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Date	Description
A 07.29.2021	35% ISSUE FOR CONSTRUCTION DOCUMENTS
11.30.2021	PROGRESS, PERMIT, AND PRICING CONSTRUCTION DOCUMENTS

Seal / Signature

Project Name

146 Navarro Repositioning

PROGRESS, PERMIT, AND PRICING CONSTRUCTION DOCUMENTS

Project Number

122.0039.000

Description

GENERAL NOTES

Scale

LC 1.0



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MATERIALS SCHEDULE					
03 00 00 - CONCRETE					
KEY	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
C.1	(CAST IN PLACE CONCRETE - 03 30 00) BOARD FORMED CONCRETE  ROUGH SAWN OR SANDBLASTED TO EXPOSE AND ROUGHEN GRAIN  COURSE THE FORM USING TYP. 1X 2X MEMBERS IN 4" HEIGHTS WITH VARYING LENGTHS (4" MIN - 8" MAX)	GREY	BOARD FORM	LOCAL SOURCE	<ul style="list-style-type: none"><li>CONTRACTOR TO PROVIDE UP TO (4) 5'X5' MOCK-UPS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.</li><li>FORMED CONCRETE IS INTENDED TO SUBTLY DISPLAY THE WOOD GRAIN AND JOINTING OF THE BOARDS USED TO FORM THE CONCRETE STRUCTURE.</li></ul>
05 00 00 - METALS					
KEY	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
T.1	(XXXXXX - 00 00 00) HANDRAIL FLAT BAR HAND RAIL AT ALL STAIRWAYS & RAMPS	CHARCOAL	POWDER COATED	COMPANY: QUALITY FENCE & WELDING CONTACT: TJ HOWARD PHONE: 210.545.6767 EMAIL: tjhoward@saqualityfence.com	<ul style="list-style-type: none"><li>PROVIDE LANDSCAPE ARCHITECT WITH SAMPLES PRIOR TO ORDERING OR INSTALLATION.</li><li>CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO FABRICATION / INSTALLATION.</li></ul>
T.2	(XXXXXX - 00 00 00) RAISED PLANTER @ GROUNDLEVEL WILSHIRE STEEL PLANTERS SIZES: (1) 18" W X 24" L, (2) 18" W X 72" L HEIGHT: 36" BASE: FULL WALL MODELS:	SHADOW	POWDER COATED	COMPANY: TOURNESOL SITEWORKS CONTACT: PHONE: EMAIL:	<ul style="list-style-type: none"><li>SUBMIT PRODUCT INFORMATION AND SAMPLES FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION.</li><li>CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO FABRICATION/INSTALLATION.</li><li>INSTALL PER MANUFACTURER'S RECOMMENDATIONS.</li><li>OR</li><li>SUPPLY SPECS FOR APPROVED OTHER</li></ul>
T.3	(XXXXXX - 00 00 00) MODULAR PLANTER @ TERRACES KITSAP MODULAR METAL PLANTER WALLS, (2) TO HAVE CANTILEVERED WOOD BENCHES MODELS:	SHADOW	POWDER COATED	COMPANY: TOURNESOL SITEWORKS CONTACT: PHONE: EMAIL:	<ul style="list-style-type: none"><li>SUBMIT PRODUCT INFORMATION AND SAMPLES FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION.</li><li>CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO FABRICATION/INSTALLATION.</li><li>INSTALL PER MANUFACTURER'S RECOMMENDATIONS.</li><li>OR</li><li>SUPPLY SPECS FOR APPROVED OTHER</li></ul>
T.4	(XXXXXX - 00 00 00) METAL RETAINING WALL @ PASEO 3/8" THICK STEEL HEIGHT VARIES, REF. LS SERIES	TO MATCH RAISED AND MODULAR PLANTERS	POWDER COATED	LOCAL SOURCE	<ul style="list-style-type: none"><li>SUBMIT PRODUCT INFORMATION AND SAMPLES FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION.</li><li>CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO FABRICATION/INSTALLATION.</li><li>INSTALL PER MANUFACTURER'S RECOMMENDATIONS.</li><li>OR</li><li>SUPPLY SPECS FOR APPROVED OTHER</li></ul>
06 00 00 - WOOD					
KEY	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
W.1	(XXXXXX - 00 00 00) BENCH @ PLANTERS WALLY BENCH STYLE: FLAT BENCH STYLE "A" LENGTH: 8' MODEL: LY-A30-96	BOULEVARD THERMALLY MODIFIED WOOD	PENOFIN OIL	COMPANY: TOURNESOL SITEWORKS CONTACT: PHONE: EMAIL:	<ul style="list-style-type: none"><li>SUBMIT PRODUCT INFORMATION AND SAMPLES FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION.</li><li>CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO FABRICATION/INSTALLATION.</li><li>INSTALL PER MANUFACTURER'S RECOMMENDATIONS.</li><li>OR</li><li>SUPPLY SPECS FOR APPROVED OTHER</li></ul>
26 56 00 - EXTERIOR LIGHTING					
KEY	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
L.1	(EXTERIOR LIGHTING - 26 56 00)	BLACK WIRE	STANDARD	COMPANY: 2M LIGHTING CONTACT: ZACK MERRILL PHONE: 210.862.1595 EMAIL: zack@2mell.com	<ul style="list-style-type: none"><li>INSTALL PER MANUFACTURER'S RECOMMENDATIONS.</li><li>OR</li><li>SUPPLY SPECS FOR APPROVED OTHER.</li></ul>
L.2	(EXTERIOR LIGHTING - 26 56 00)	BRONZE	STANDARD	COMPANY: 2M LIGHTING CONTACT: ZACK MERRILL PHONE: 210.862.1595 EMAIL: zack@2mell.com	<ul style="list-style-type: none"><li>INSTALL PER MANUFACTURER'S RECOMMENDATIONS.</li><li>OR</li><li>SUPPLY SPECS FOR APPROVED OTHER.</li></ul>
L.3	(EXTERIOR LIGHTING - 26 56 00)	BLACK	STANDARD	COMPANY: 2M LIGHTING CONTACT: ZACK MERRILL PHONE: 210.862.1595 EMAIL: zack@2mell.com	<ul style="list-style-type: none"><li>INSTALL PER MANUFACTURER'S RECOMMENDATIONS.</li><li>OR</li><li>SUPPLY SPECS FOR APPROVED OTHER.</li></ul>
32 94 00 - PLANTING ACCESSORIES					
KEY	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
A.1	(XXXXXX - 00 00 00) METAL PLATE HEIGHT: 6" THICKNESS: 1/4"	WEATHERING STEEL	N/A	LOCAL SOURCE	<ul style="list-style-type: none"><li>SUBMIT PRODUCT INFORMATION AND SAMPLES FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION.</li><li>INSTALL PER MANUFACTURER'S RECOMMENDATIONS.</li><li>OR</li><li>SUPPLY SPECS FOR APPROVED OTHER</li></ul>

MATERIALS SCHEDULE CONT.					
32 10 00 - BASES, BALLASTS AND PAVING					
KEY	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
B.1	(CONCRETE PAVING - 32 13 13) STANDARD CONCRETE	STANDARD	LIGHT BROOM	LOCAL SOURCE	<ul style="list-style-type: none"><li>INSTALL PER DETAILS.</li><li>3000 PSI MINIMUM.</li></ul>
B.2	(EXPOSED AGGREGATE PAVING - 32 13 13) BOMANITE EXPOSED AGGREGATE SYSTEMS	COQUINA	SANDSCAPE REGULAR	COMPANY: BOMANITE PHONE: 512.491.0202	<ul style="list-style-type: none"><li>INSTALL PER DETAILS.</li><li>3000 PSI MINIMUM.</li><li>SUBMIT PRODUCT DATA AND SAMPLES TO LANDSCAPE ARCHITECT PRIOR TO ORDERING OR INSTALLATION.</li><li>CONTRACTOR TO PROVIDE 6'X6' MOCK-UP FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION IN SELECTED COLOR AND ONE ADDITIONAL COLOR (TBD).</li><li>APPROVED MOCK-UP CAN BE RETAINED AS PART OF FINISHED WORK.</li></ul>
B.3	(UNIT PAVING - 32 14 00) CONCRETE PAVERS STYLE: VERONA SIZE: 3"X12" PATTERN: STAGGER BOND	50% TRINITY BLEND, 50% TRINITY BLEND SHOT BLASTED	50% STANDARD, 50% SHOT BLASTED	COMPANY: KEYSTONE HARDSCAPES CONTACT: DAVE HASNESS PHONE: 512.787.1247 EMAIL: dhasness@keystonehardscapes.com	<ul style="list-style-type: none"><li>SUBMIT PRODUCT INFORMATION AND SAMPLES TO HARDSCAPES ARCHITECT PRIOR TO ORDERING OR INSTALLATION.</li><li>CONTRACTOR TO PROVIDE 4'X5' MOCK-UP FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.</li><li>MORTAR: SUBMIT COLOR SAMPLES W/ STONE.</li><li>APPROVED MOCK-UP CAN BE RETAINED AS PART OF FINISHED WORK.</li></ul>
B.4	(UNIT PAVING - 32 14 00) STONE PAVERS? UPGRADE @ RESTAURANT				<ul style="list-style-type: none"><li>SAMPLES: 12 X 12 INCH STONE SAMPLES SHOWING COLOR AND FINISH.</li><li>SUBMIT PRODUCT INFORMATION AND SAMPLES TO LANDSCAPE ARCHITECT PRIOR TO ORDERING OR INSTALLATION.</li><li>CONTRACTOR TO PROVIDE 4'X5' MOCK-UP FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.</li><li>MORTAR: SUBMIT COLOR SAMPLES W/ STONE.</li><li>APPROVED MOCK-UP CAN BE RETAINED AS PART OF FINISHED WORK.</li></ul>
B.5	(UNIT PAVING - 32 14 00) SHOULD WE DO WAUSAU (1") OR FLATWORX (2")				<ul style="list-style-type: none"><li>SAMPLES: 12 X 12 INCH STONE SAMPLES SHOWING COLOR AND FINISH.</li><li>SUBMIT PRODUCT INFORMATION AND SAMPLES TO LANDSCAPE ARCHITECT PRIOR TO ORDERING OR INSTALLATION.</li><li>CONTRACTOR TO PROVIDE 4'X5' MOCK-UP FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.</li><li>MORTAR: SUBMIT COLOR SAMPLES W/ STONE.</li><li>APPROVED MOCK-UP CAN BE RETAINED AS PART OF FINISHED WORK.</li></ul>
B.6	(XXXXXX - 00 00 00) RIVER ROCK CRUSHED LIMESTONE SIZE: 3-5"	WHITES, TANS, CREAMS	N/A	COMPANY: STONE AND SOIL PHONE: 210.688.9435	<ul style="list-style-type: none"><li>SUBMIT PRODUCT INFORMATION AND SAMPLES FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION.</li><li>PROVIDE GEO-FABRIK WEED BARRIER.</li><li>INSTALL AT 10" DEPTH</li></ul>
B.7	(AGGREGATE SURFACING - 32 15 00) DECOMPOSED GRANITE INCORPORATE STABILIZER MATERIAL INTO DECOMPOSED GRANITE	HILL COUNTRY BUFF	3/8" CRUSHED	COMPANY: STONE AND SOIL PHONE: 210.688.9435	<ul style="list-style-type: none"><li>SUBMIT PRODUCT INFORMATION AND SAMPLES FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION.</li><li>PROVIDE GEO-FABRIK WEED BARRIER.</li><li>6" INSTALLED AND COMPACTED TO 4" DEPTH.</li><li>PROVIDE GEO-FABRIK WEED BARRIER.</li></ul>
32 31 00 - FENCES AND GATES					
KEY	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
F.1	(FENCE - 32 31 00) PERIMETER FENCE @ WEST PATIO FLAT BAR FRAME W/ 1X1 PRE-CRIMPED WWM HEIGHT: 42" @ RIVERWALK, 72" @ PATIO	WEATHERING STEEL	STANDARD	COMPANY: QUALITY FENCE & WELDING CONTACT: TJ HOWARD PHONE: 210.545.6767 EMAIL: tjhoward@saqualityfence.com	<ul style="list-style-type: none"><li>PROVIDE LANDSCAPE ARCHITECT WITH SAMPLES PRIOR TO ORDERING OR INSTALLATION.</li><li>SAFETY BARRIER TO BE INSTALLED AT AREAS WHERE THERE IS GREATER THAN 30" DROP IN GRADE.</li><li>CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO FABRICATION / INSTALLATION.</li></ul>
F.2	(FENCE - 32 31 00) SAFETY BARRIER @ RESTAURANT TO MATCH ARCHITECTURE RAIL @ RESTAURANT BALCONY HEIGHT: 42"	MATCH ARCH.	MATCH ARCH.	LOCAL SOURCE	<ul style="list-style-type: none"><li>PROVIDE LANDSCAPE ARCHITECT WITH SAMPLES PRIOR TO ORDERING OR INSTALLATION.</li><li>SAFETY BARRIER TO BE INSTALLED AT AREAS WHERE THERE IS GREATER THAN 30" DROP IN GRADE</li><li>CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO FABRICATION / INSTALLATION.</li></ul>
F.3	(GATE - 32 31 00) FLAT BAR FRAME W/ 1X1 PRE-CRIMPED WWM HEIGHT: 72" @ PATIO  KEYPAD ACCESS MECHANISM BY OWNER	WEATHERING STEEL	STANDARD	COMPANY: QUALITY FENCE & WELDING CONTACT: TJ HOWARD PHONE: 210.545.6767 EMAIL: tjhoward@saqualityfence.com	<ul style="list-style-type: none"><li>PROVIDE LANDSCAPE ARCHITECT WITH SAMPLES PRIOR TO ORDERING OR INSTALLATION.</li><li>CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO FABRICATION / INSTALLATION.</li></ul>
32 33 00 - SITE ELEMENTS					
KEY	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
E.1	(XXXX - 00 00 00) ACCENT LUEDERS LIMESTONE SIZE: 18" W X 72" L HEIGHTS: 50% 8", 50% 4"	PEWTER	HONED	COMPANY: MATERIALS MARKETING CONTACT: TERRI PACE PHONE: 210.785.2012 EMAIL: tpace@msstoneandtile.com	<ul style="list-style-type: none"><li>EMBED LUEDERS 2" BELOW GRADE.</li><li>PROVIDE LANDSCAPE ARCHITECT WITH SAMPLES PRIOR TO ORDERING OR INSTALLATION.</li><li>LANDSCAPE ARCHITECT TO APPROVE LAYOUT PRIOR TO FINAL INSTALLATION.</li></ul>
33 46 00 - DRAINAGE					
KEY	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
D.1	AREA DRAINS (A.D.) AD: NDS 5" SQUARE (#913B)	SATIN BRASS	N/A	COMPANY: NDS WEBSTIE: HTTPS://WWW.NDSPRO.COM/	<ul style="list-style-type: none"><li>INSTALL PER MANUFACTURER'S RECOMMENDATIONS.</li><li>OR</li><li>SUPPLY SPECS FOR APPROVED OTHER.</li><li>CONTRACTOR TO PROVIDE SUBMITTALS FOR ALL DRAINAGE SYSTEM PARTS &amp; PRODUCTS REQUIRED TO TIE DRAINAGE INTO OVERALL STORM DRAINAGE SYSTEM BY CIVIL ENGINEER. CONTRACTOR TO PROVIDE FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION</li></ul>
D.2	POOL DECK TRENCH DRAIN MODEL: NDS 3" MINI CHANNEL (#500) WINDS 12" MINI CHANNEL GRATE (#552B) REF DETAIL: 6/LS 2.3	SATIN BRASS (552B)	N/A	COMPANY: NDS WEBSTIE: HTTPS://WWW.NDSPRO.COM/	
D.3	PLANTER AREA DRAINS (P.D.) PD: NDS 6" ATRIUM GRATE (#90S)	BLACK (1290)	N/A	COMPANY: NDS WEBSTIE: HTTPS://WWW.NDSPRO.COM/	
D.4	4" PERFORATED PIPE DRAIN	N/A	STANDARD	COMPANY: NDS WEBSTIE: HTTPS://WWW.NDSPRO.COM/	

GENERAL LEGEND	
ABBREVIATIONS	
SYMBOL	DESCRIPTION
B.C.	BOTTOM OF CURB
B.P.	BOTTOM OF PIPE
B.O.C.	BACK OF CURB
L.O.C.	LIMITS OF CONSTRUCTION
B.W.	BOTTOM OF WALL
C.L.	CENTER LINE
E.J.	EXPANSION JOINT
H.P.	HIGH POINT
F.G.	FINISH GRADE
E.O.P.	EDGE OF PAVEMENT
N.I.C.	NOT IN CONTRACT
O.C.	ON CENTER
O.C.E.W.	ON CENTER EACH WAY
P.A.	PLANTING AREA
ESMT.	EASEMENT
P.O.B.	POINT OF BEGINNING
P.O.T.	POINT OF TANGENCY
R.O.W.	RIGHT OF WAY
T.D.	TOP OF DRAIN
F.H.	FIRE HYDRANT
T.C.	TOP OF CURB
T.F.	TOP OF FOOTING
S.S.	SANITARY SEWER
T.W.	TOP OF WALL
W.D.	WATER DEPTH
W.L.	WATER LEVEL
U.N.O.	UNTIL NOTED OTHERWISE
SYMBOLS & LINE TYPES	
SYMBOL	DESCRIPTION
REF: 	ENLARGEMENT AREA W/ CALLOUT
	DETAIL CALLOUT
	MATERIALS & FINISHES CALLOUT
	SECTION CALLOUT
	ELEVATION CALLOUT
	SITEWORK LABEL
	PLANTING LABEL
	EXISTING TOPOGRAPHY-MINOR
	EXISTING TOPOGRAPHY-MAJOR
	PROPOSED TOPOGRAPHY-MINOR
	PROPOSED TOPOGRAPHY-MAJOR
	PROPOSED SPOT ELEVATION
	PROPOSED DATUM ELEVATION
	PIPE SIZE
	WATER FLOW / SWALE DIRECTION
	ELECTRICAL METER
	JUNCTION BOX
	CONDUIT
	HOME RUN
	SIGN LIGHT
	TREE OR SIGN BULLET UPLIGHT
	POLE LIGHT
	GFI ELECTRICAL OUTLET

## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



## Gensler

1011 South Congress  
Building 1, Suite 200  
Austin, TX 78704  
United States

Tel 512.867.8100  
Fax 512.867.8101



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7700 Torino Dr #101  
San Antonio, TX 78229  
Tel 210.614.1110



Architectural Engineers  
Collaborative  
123 Parland Place  
San Antonio, Texas 78209  
Tel 210.890.4200



MP Studio Landscape  
Architecture  
201 Groveton St  
San Antonio, Texas 78210  
Tel 210.890.4200

Date	Description
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11.30.2021	PROGRESS, PERMIT, AND PRICING CONSTRUCTION DOCUMENTS

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permitting or construction

Seal / Signature

Project Name

146 Navarro Repositioning

PROGRESS, PERMIT, AND PRICING  
CONSTRUCTION DOCUMENTS

Project Number

122.0039.000

Description

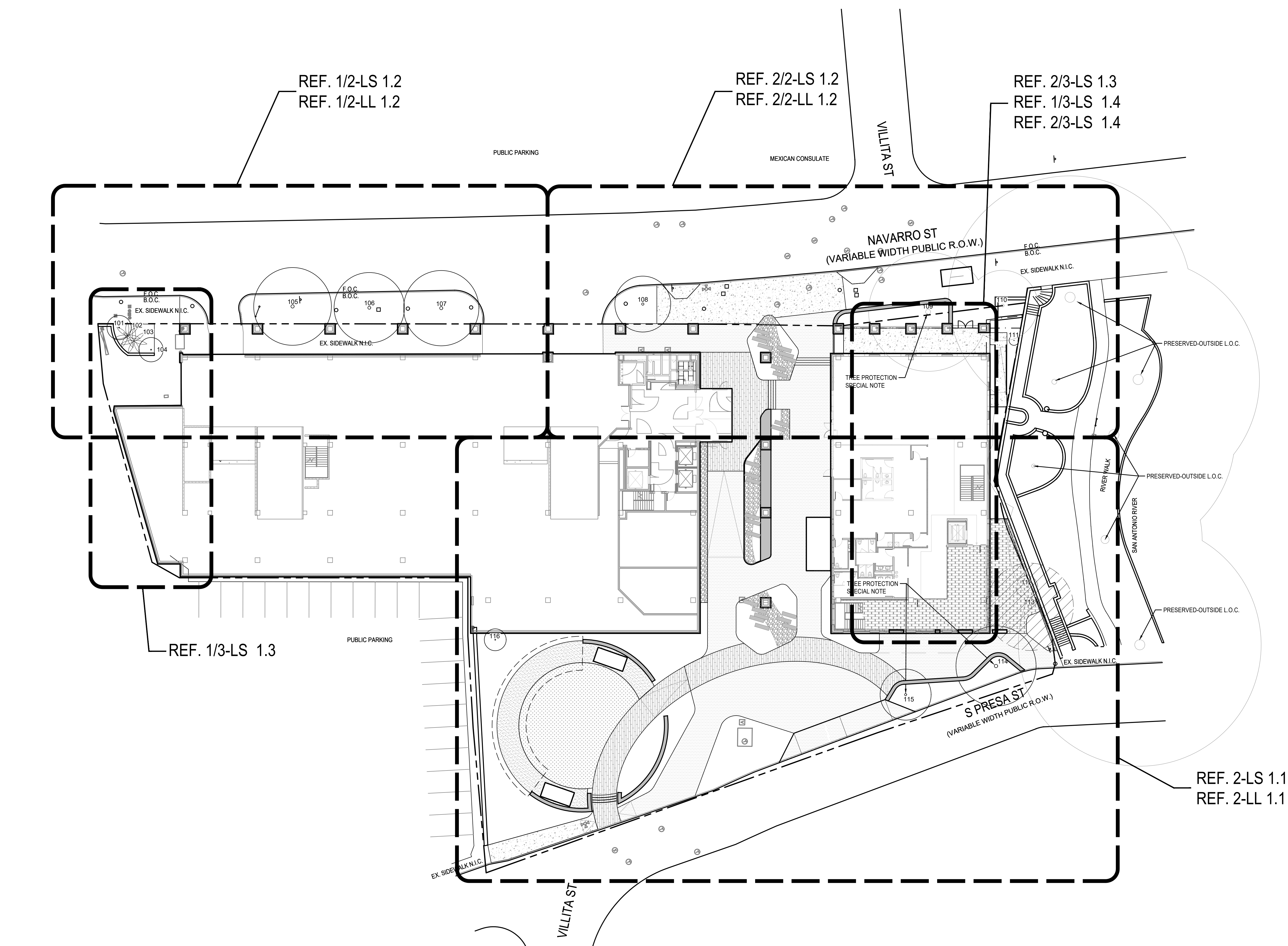
MATERIALS SCHEDULE

Scale

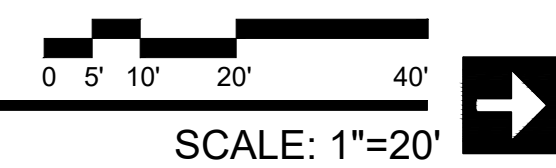
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1 OVERALL REFERENCE  
PLAN



## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205

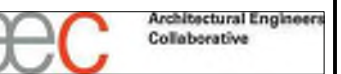


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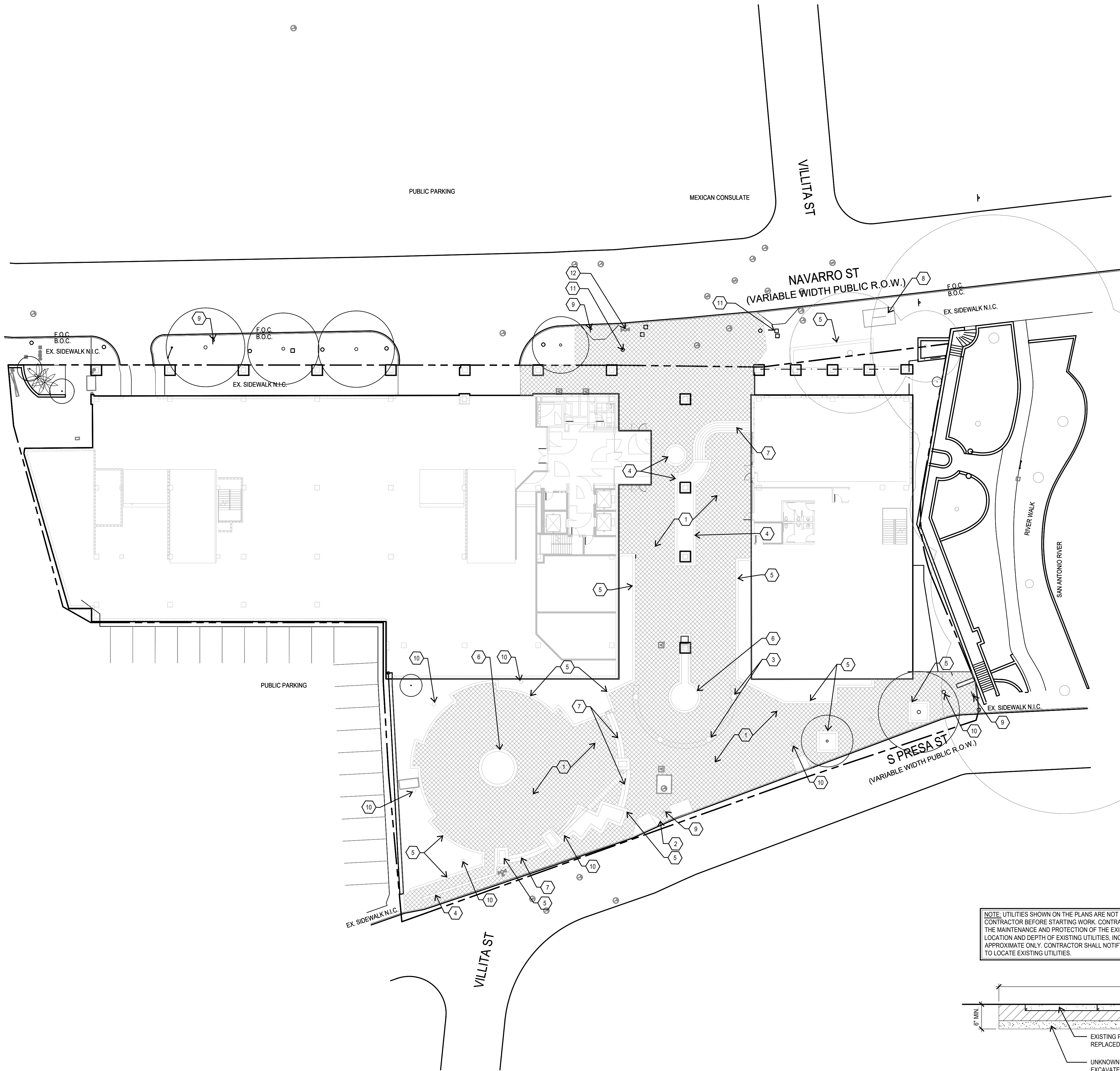
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1 DEMO PLAN



SITE DEMOLITION KEYNOTES

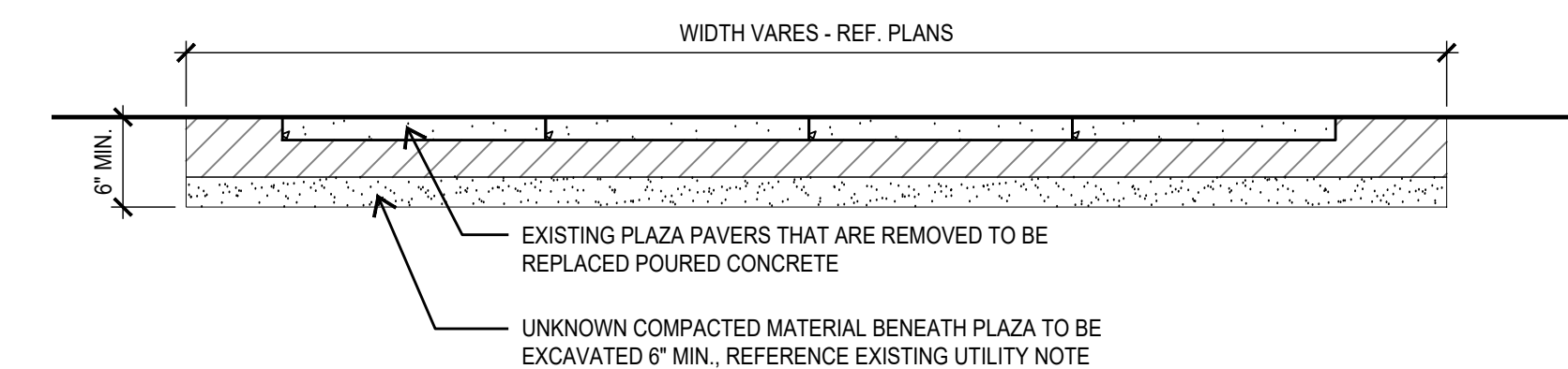
- 1 EXISTING TERRA COTTA PAVERS TO BE REMOVED; REF THIS PAGE DETAIL 2-LD 1.1
- 2 EXISTING CONCRETE CURB/ RAMP TO BE REMOVED
- 3 EXISTING CONCRETE COLONNADE TO BE REMOVED REF. ARCHITECTURE NOTES
- 4 EXISTING MASONRY WALL TO BE REMOVED
- 5 EXISTING MASONRY PLANTER TO BE REMOVED. REFERENCE TREE PRESERVATION SHEET 2-TP 1.1 FOR TREE PROTECTION WHILE REMOVING WALL.
- 6 EXISTING STONE FOUNTAIN TO BE REMOVED
- 7 EXISTING STONE STEPS TO BE REMOVED
- 8 EXISTING BUS SHELTER, COORDINATE REMOVAL WITH VIA METRO
- 9 EXISTING SIGNAGE TO BE REMOVED AND SALVAGED
- 10 EXISTING LIGHT POLES TO BE REMOVED
- 11 EXISTING TRAFFIC LIGHT POLE TO REMAIN/ COORDINATE WITH CPS FOR EMERGENCY ELECTRIC
- 12 EXISTING FIRE HYDRANT/ UTILITY BOX TO REMAIN, REFERENCE CIVIL SHEETS FOR UTILITY LOCATIONS.

SITE DEMOLITION LEGEND

EXISTING TERRA COTTA PAVERS, SEE NOTE #1

NOTE: ARCHEOLOGICAL MONITORING IS REQUIRED FOR EXCAVATION ASSOCIATED WITH THE PROJECT, INCLUDING THOSE FOR NEW UTILITIES OUTSIDE OF LA VILLITA WITHIN PUBLIC PROPERTY. AN ARCHEOLOGIST WILL BE PROVIDED BY COSA-PWD-EMD.

NOTE: UTILITIES SHOWN ON THE PLANS ARE NOT GUARANTEED, BUT SHALL BE INVESTIGATED AND VERIFIED BY THE CONTRACTOR BEFORE STARTING WORK. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO AND FOR THE MAINTENANCE AND PROTECTION OF THE EXISTING UTILITIES EVEN IF THEY ARE NOT SHOWN ON THE PLANS. THE LOCATION AND DEPTH OF EXISTING UTILITIES, INCLUDING SERVICE LATERALS, SHOWN ON THE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS PRIOR TO EXCAVATION IN ORDER TO LOCATE EXISTING UTILITIES.



2 EXISTING PLAZA PAVERS SECTION

SCALE: 1"=1'-0"

**BH PROPERTIES**  
146 Navarro Street; San Antonio, TX 78205



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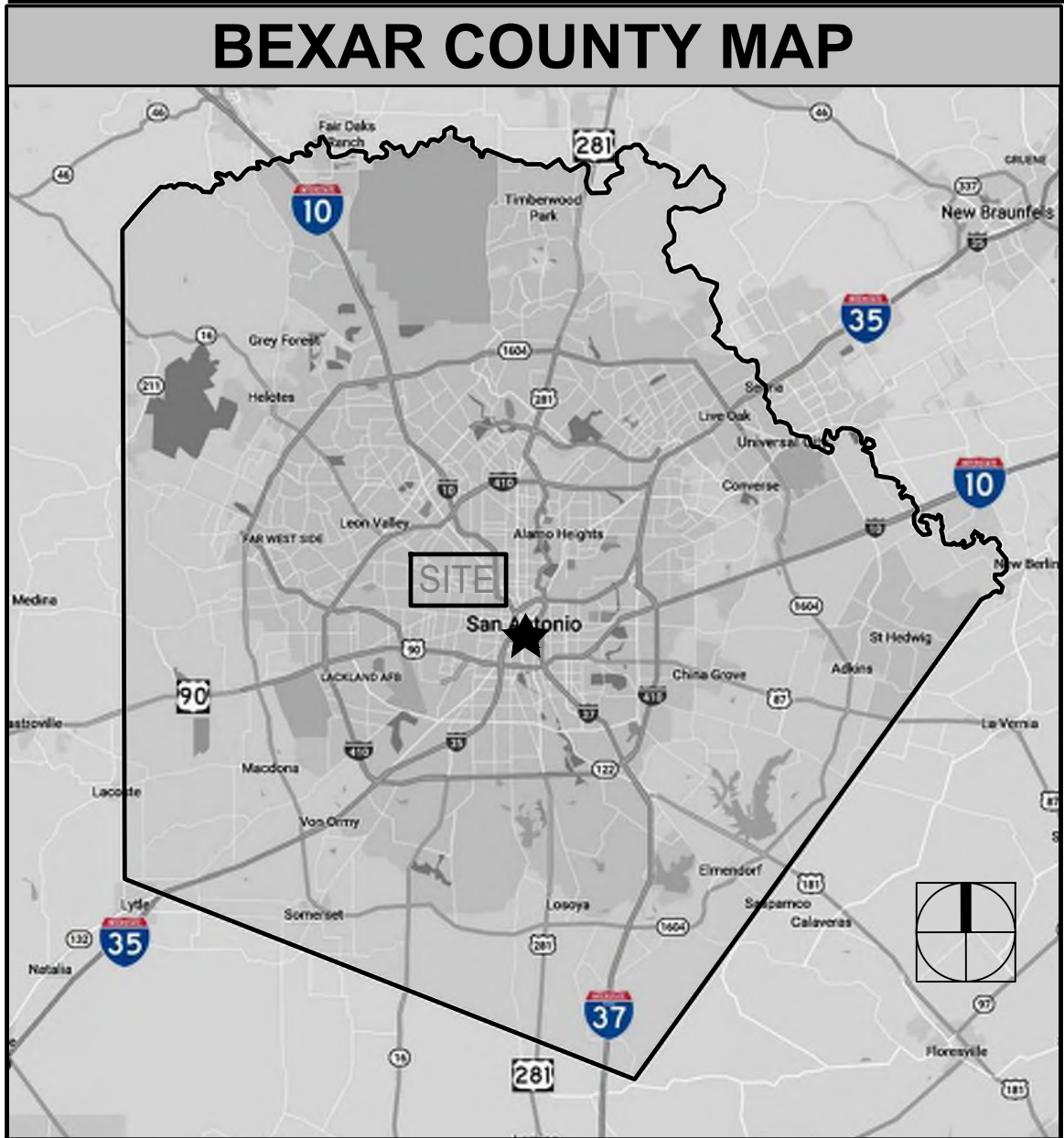
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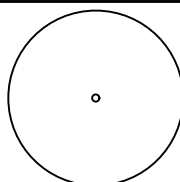
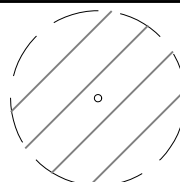
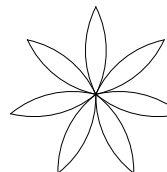
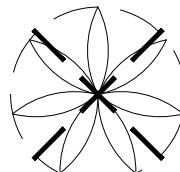
Project Name  
**146 Navarro Repositioning**  
PROGRESS, PERMIT, AND PRICING  
CONSTRUCTION DOCUMENTS  
Project Number  
**122.0039.000**  
Description  
**DEMO PLAN**

Scale

**2-LD 1.1**

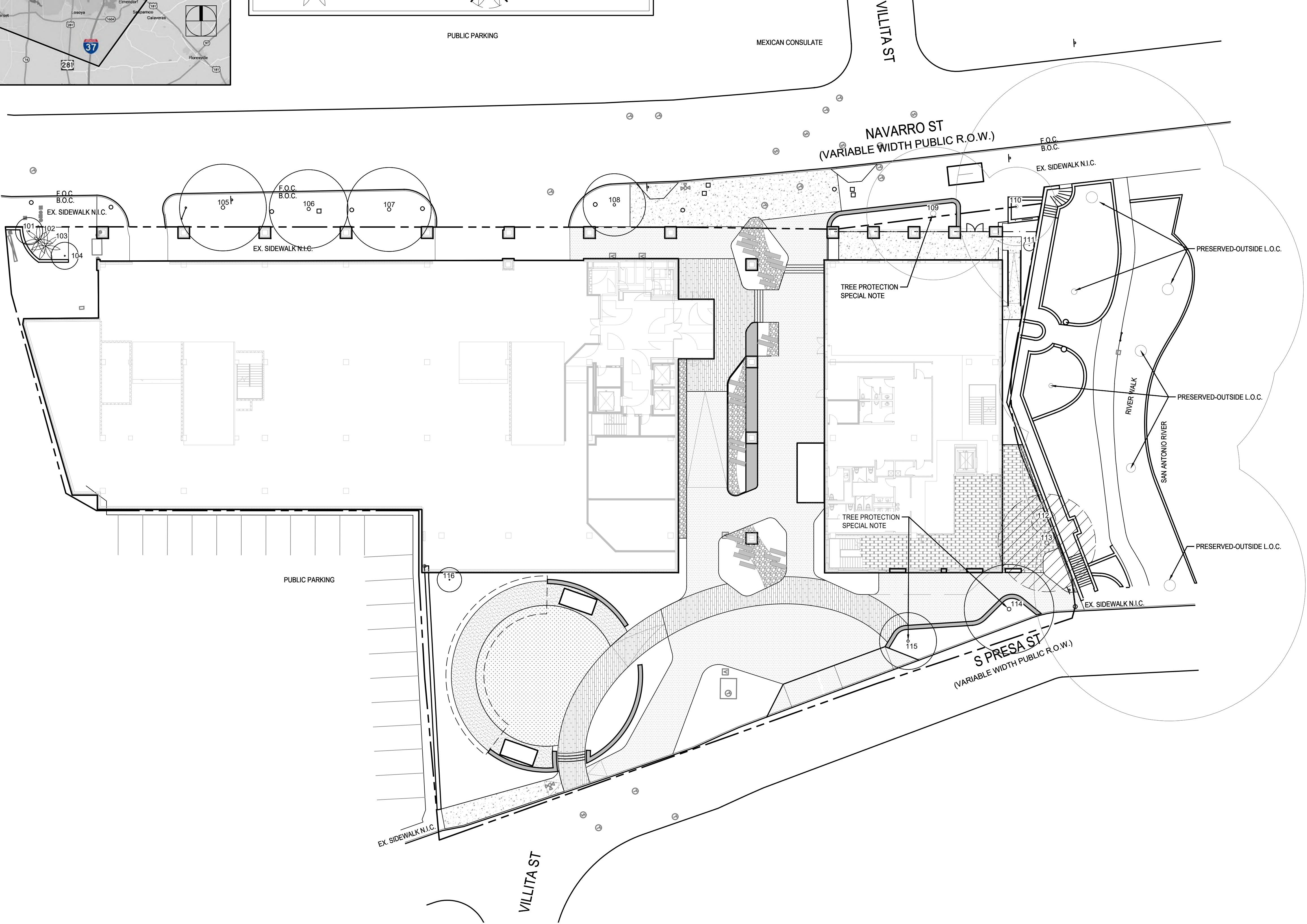




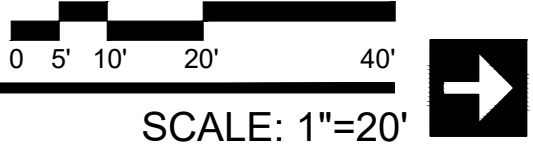
TREE PRESERVATION			
TREE PRESERVATION: (Tree Survey Method)			
TREES SURVEYED			
SIGNIFICANT TREE: 59.5 TOTAL INCHES X 40% REQ. PRESERVED :		23.8 INCH. (40%)	
SIGNIFICANT TREE INCH. PRESERVED:		41.5 INCH. (70%)	
REQUIRED SIGNIFICANT MITIGATION:		0" REQ. MITIGATION	
HERITAGE TREE: 24.5 TOTAL INCHES X 100% REQ. PRESERVED :		24.5 INCH. (100%)	
HERITAGE TREE INCH. PRESERVED:		24.5 INCH. (100%)	
REQUIRED HERITAGE MITIGATION: 0 INCH. X 3		0" REQUIRED MITIGATION	
TOTAL TREE MITIGATION REQUIRED =		0"	
	PRESERVED TREES		REMOVED TREES
	PRESERVED PALM TREES		REMOVED PALM TREES

TREE PRESERVATION - R.O.W.	
TREE PRESERVATION: (Tree Survey Method)	
<b>TREES SURVEYED</b>	
SIGNIFICANT TREE: 57.5 TOTAL INCHES X 40% REQ. PRESERVED :	23 INCH. (40%)
SIGNIFICANT TREE INCH. PRESERVED:	57.5 INCH. (100%)
REQUIRED SIGNIFICANT MITIGATION:	<b>0" REQ. MITIGATION</b>
<b>TOTAL TREE MITIGATION REQUIRED =</b>	<b>0"</b>

**TREE PROTECTION SPECIAL NOTE:**  
EXISTING TREES TO RECIEVE MULTIPLE LEVELS OF PROTECTION AROUND TRUNK & ROOT BASE WITH REMOVAL OF RAISE PLANTER WALL. CONTRACTOR TO COORDINATE THE REMOVAL OF THE EXISTING WALL WITH IMMEDIATE INSTALLATION OF THE NEW RAISED PLANTER WALL TO MINIMIZE RISK TO EXISTING TREES. REFERENCE SPEC SECTION 31 13 00 SELECTIVE TREE AND SHRUB REMOVAL AND TRIMMING.



# 1 TREE PRESERVATION PLAN



**BH PROPERTIES**  
146 Navarro Street; San Antonio, TX 78205



**Gensler**

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San Antonio, Texas 78209  
Tel 210.890.4200



MP Studio Landscape  
Architecture  
201 Grovelton St  
San Antonio, Texas 78210  
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Seal / Signature

Project Name

146 Navarro Repositioning  
PROGRESS, PERMIT, AND PRICING  
CONSTRUCTION DOCUMENTS

Project Number

122.0039.000

Description

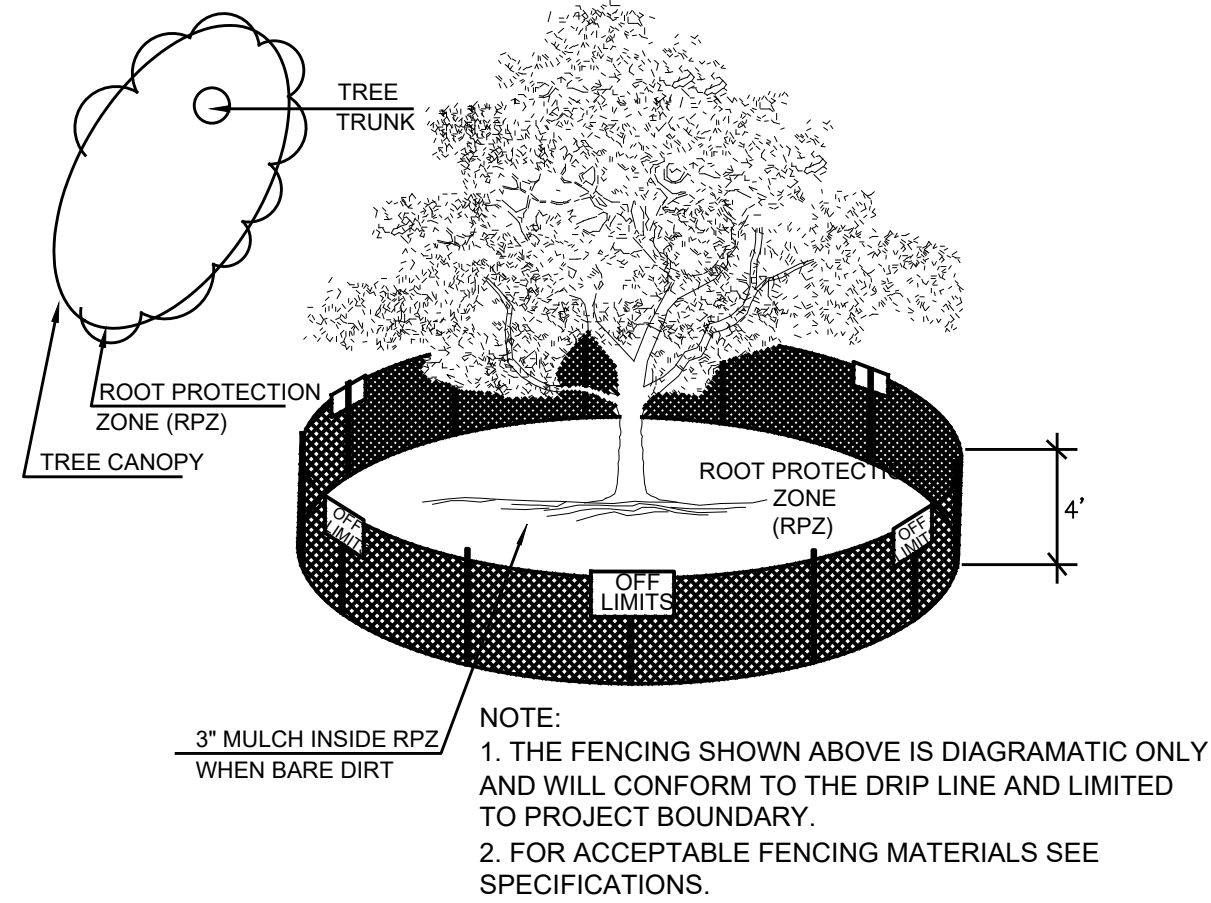
TREE PRESERVATION PLAN

Scale

**2-TP 1.1**

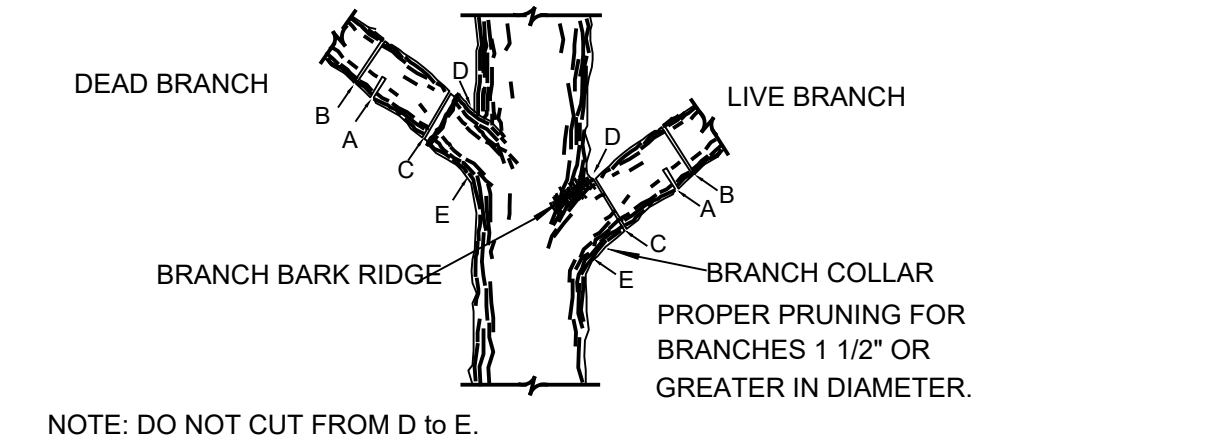
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## 1 EXISTING TREE PROTECTION

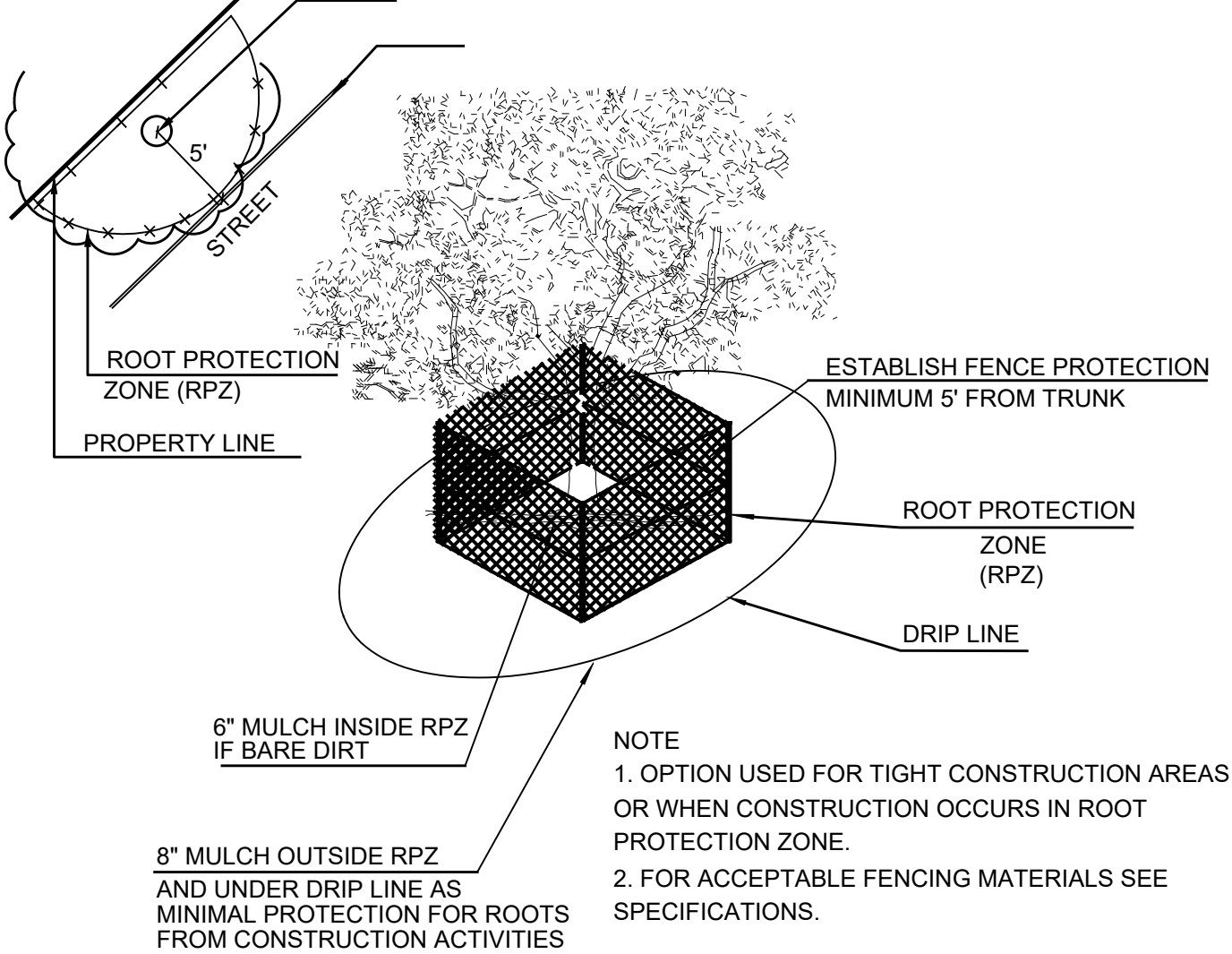
ELEVATION - PLAN - 3D VIEW NOT TO SCALE



- NOTE: DO NOT CUT FROM D to E.
- A. FIRST CUT - TO PREVENT THE BARK FROM BEING PEELED WHEN THE BRANCH FALLS.
  - B. SECOND CUT - TO REDUCE THE WEIGHT OF BRANCH.
  - C. FINAL CUT - ALLOW FOR HEALING COLLAR BUT NO STUBS
  - D. BRANCH RIDGES - INDENT PROPERLY BRANCH RIDGES WHICH ARE SITE FOR DECAY.
- FOR OAKS ONLY: PAINT ALL WOUNDS OR CUTS WITH PRUNING PAINT WITHIN 20 MIN TO PREVENT THE SPREAD OF OAK WILT.

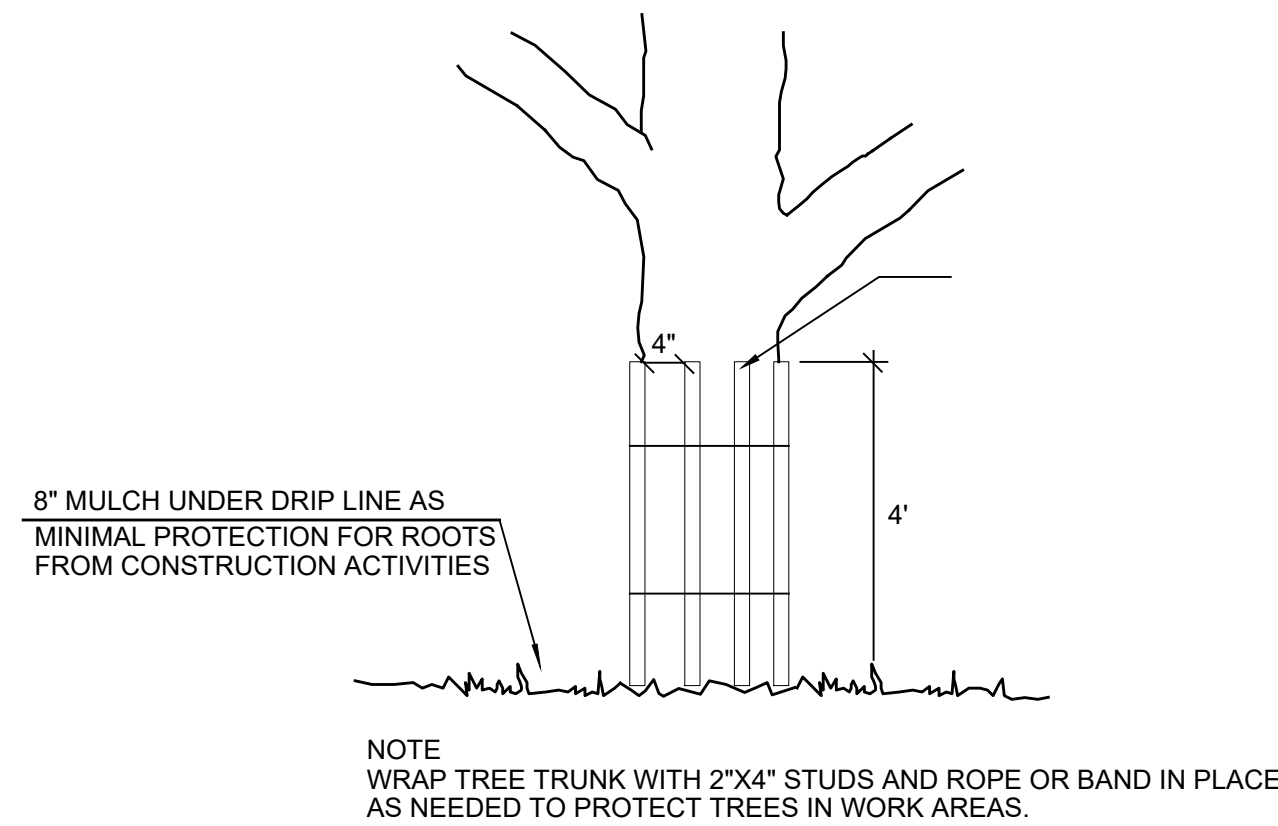
## 2 TREE BRANCH PRUNING

ELEVATION NOT TO SCALE



## 3 LEVEL II A TREE PROTECTION

ELEVATION NOT TO SCALE



## 4 LEVEL II B TREE PROTECTION

ELEVATION NOT TO SCALE

## EXISTING TREE NOTES

1. ALL THE TREES WITH A DIAMETER GREATER THAN 3 INCHES AFFECTED BY CONSTRUCTION SHALL HAVE THE LIMBS AND ROOTS TRIMMED AND PRUNED ACCORDING TO TREE PRUNING, SOIL AMENDING AND FERTILIZATION, UNLESS SPECIFIED TREES SHALL RECEIVE PROTECTION AS SHOWN ON TREE PROTECTION DETAIL ON THIS SHEET.
2. ALL TREES SHALL REMAIN UNLESS NOTED ON THE PLANS.
3. NO SITE PREPARATION WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED BY CITY INSPECTOR.
4. TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION.
5. THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN THREE INCHES IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR.
6. THE ROOT PROTECTION ZONE IS THAT AREA SURROUNDING A TREE, AS MEASURED BY A RADIUS FROM THE TREE TRUNK, IN WHICH NO EQUIPMENT, VEHICLES OR MATERIALS MAY OPERATE OR BE STORED. THE REQUIRED RADIUS LENGTH IS 1 FOOT PER DIAMETER INCH OF THE TREE. FOR EXAMPLE, A 10-INCH DIAMETER TREE WOULD HAVE A 5-FOOT RADIUS ROOT PROTECTION ZONE AROUND THE TREE. ROOTS OR BRANCHES THAT ARE IN CONFLICT WITH THE CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. LIVE OAK WOUNDS SHALL BE PAINTED OVER, WITHIN 20 MINUTES TO PREVENT OAK WILT.
7. ACCESS TO FENCED AREAS WILL BE PERMITTED ONLY WITH THE APPROVAL OF THE ENGINEER OR CITY INSPECTOR.
8. GRADING, IF REQUIRED, SHALL BE LIMITED TO A 3 INCH CUT OR FILL WITHIN THE FENCED ROOT ZONE AREAS.
9. TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS SHALL BE REMOVED BY HAND AS DIRECTED BY THE PROJECT MANAGER OR CITY INSPECTOR.
10. TREES DAMAGED OR LOST DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED TO THE ENGINEER'S SATISFACTION.
11. EXPOSED ROOTS SHALL BE COVERED AT THE END OF EACH DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
12. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST PRIOR TO ITS REMOVAL.

## NAVARRO BLDG. TREE INVENTORY

Tag #	Species	Caliper	Understory Species* 5.0" - 11.5"		Significant Tree 6" - 23.5"		Significant Tree** 10.0" - 23.5"		Heritage 3:1		Heritage 1:1		Additional Inches Preserved for Mitigation ***
			Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	
101	Crape Myrtle	5											
102	Mexican Fan Palm	25											
103	Mexican Fan Palm	22.5											
104	Crape Myrtle	5											
109	Live Oak	24.5							24.5				
110	Live Oak	14.5				14.5							
111	Hackberry	2											
112	Chinquapin Oak	5											
113	Red Oak	18				18							
114	Live Oak	16.5				16.5							
115	Live Oak	10.5				10.5							
116	Texas Mountain Laurel	4.5											
Sub. Tot. Inches=			0	0	18	41.5	0	0	0	24.5	0	0	0
Total inches by category=				0		59.5		0		24.5		0	
Preservation percentage=			#DIV/0!		Significant		70%		Heritage Preservation		100%		0
Mitigation required (Commercial) =			0		Commercial (inches)		-17.7		Heritage Mitigation (inches)		0		
Mitigation required (Residential) =			0		Residential (inches)		-20.675						

## R.O.W. NAVARRO BLDG. TREE INVENTORY

Tag #	Species	Caliper	Understory Species* 5.0" - 11.5"		Significant Tree 6" - 23.5"		Significant Tree** 10.0" - 23.5"		Heritage 3:1		Heritage 1:1		Additional Inches Preserved for Mitigation ***
			Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	
105	Cedar Elm	16				16							
106	Cedar Elm	14.5				14.5							
107	Cedar Elm	15.5				15.5							
108	Cedar Elm	11.5				11.5							
Sub. Tot. Inches=			0	0	0	57.5	0	0	0	0	0	0	0
Total inches by category=				0		57.5		0		0		0	
Preservation percentage=			#DIV/0!		Significant		100%		Heritage Preservation		#DIV/0!		0
Mitigation required (Commercial) =			0		Commercial (inches)		-34.5		Heritage Mitigation (inches)		0		
Mitigation required (Residential) =			0		Residential (inches)		-37.375						

## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



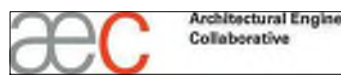
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TREE PRESERVATION DETAILS & LIST

Scale

## TP 2.1



146 Navarro Street; San Antonio, TX 78205



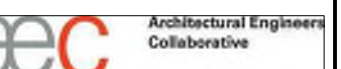
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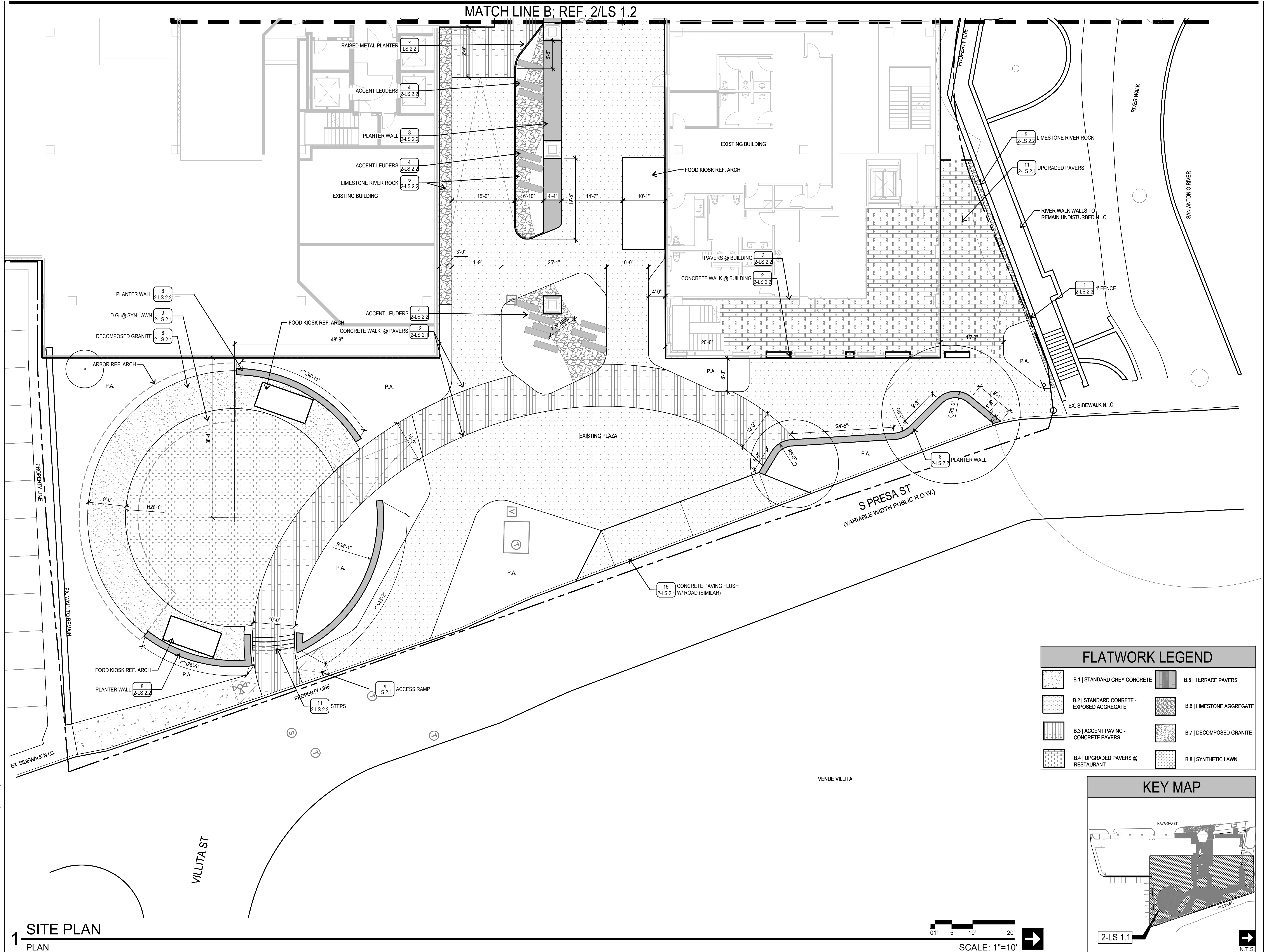
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## SITE PLAN

**Scale**

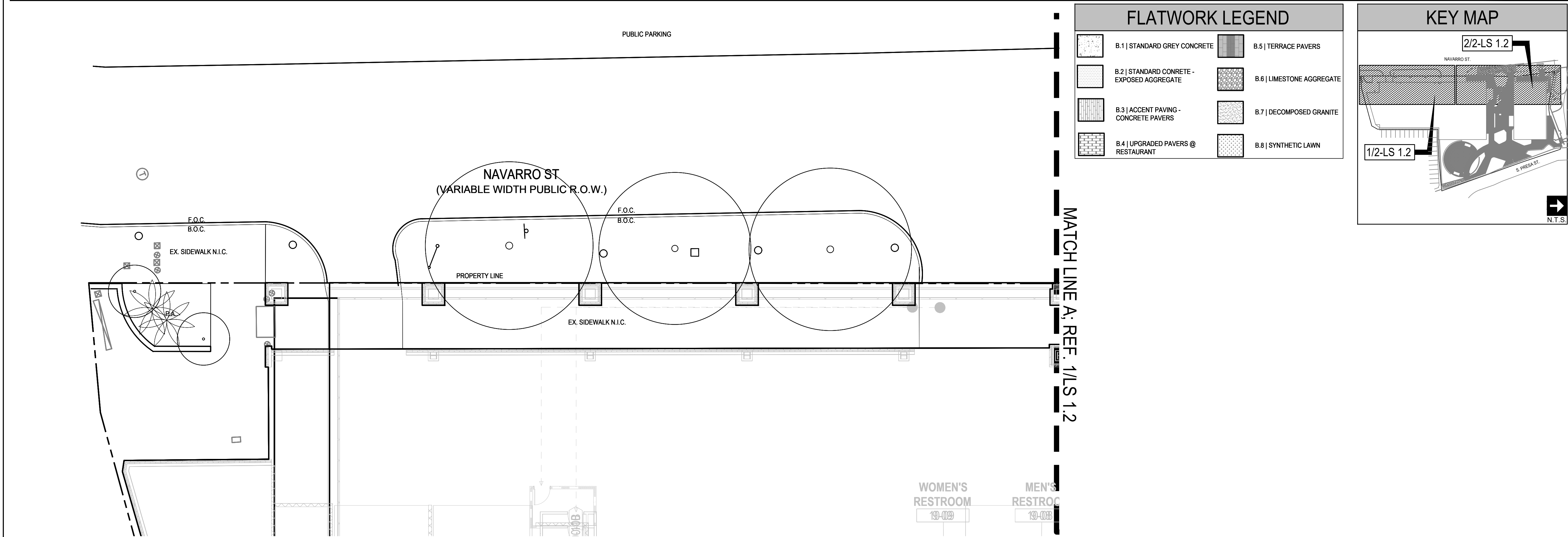
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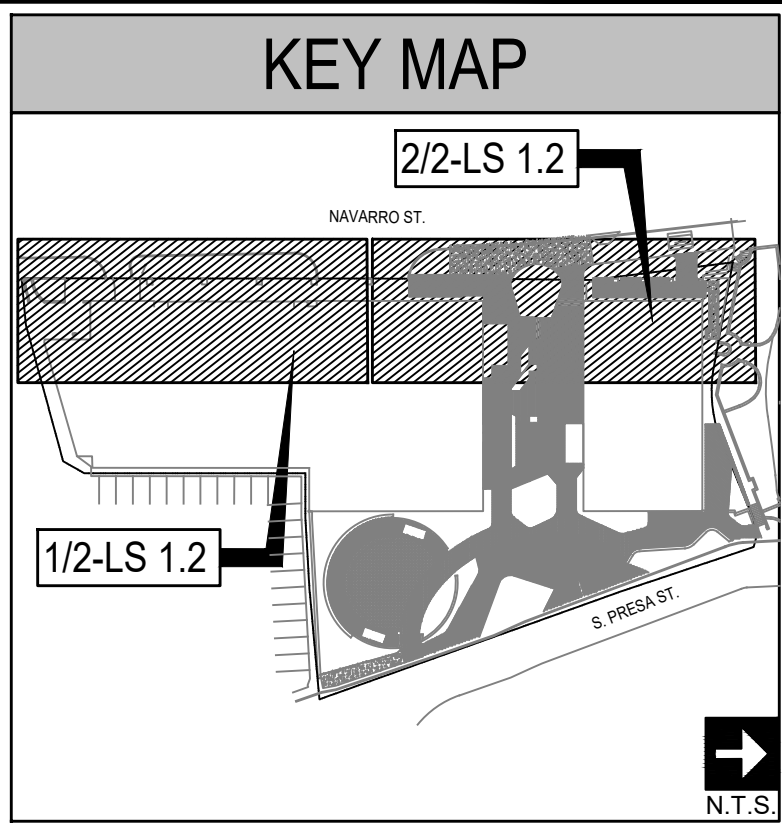




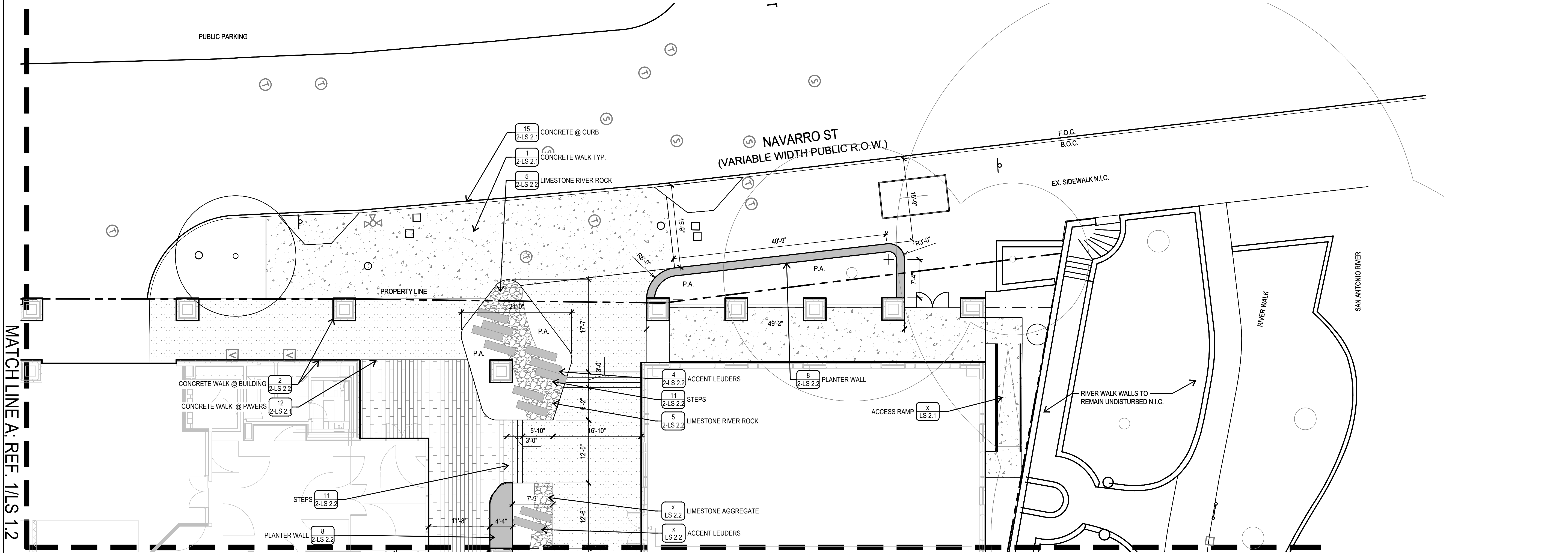
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FLATWORK LEGEND			
B.1   STANDARD GREY CONCRETE	B.5   TERRACE PAVERS	B.6   LIMESTONE AGGREGATE	B.7   DECOMPOSED GRANITE
B.2   STANDARD CONCRETE - EXPOSED AGGREGATE	B.3   ACCENT PAVING - CONCRETE PAVERS	B.4   UPGRADED PAVERS @ RESTAURANT	B.8   SYNTHETIC LAWN



1 SITE PLAN  
PLAN



2 SITE PLAN  
PLAN

## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



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SITE PLAN

Scale

## 2-LS 1.2



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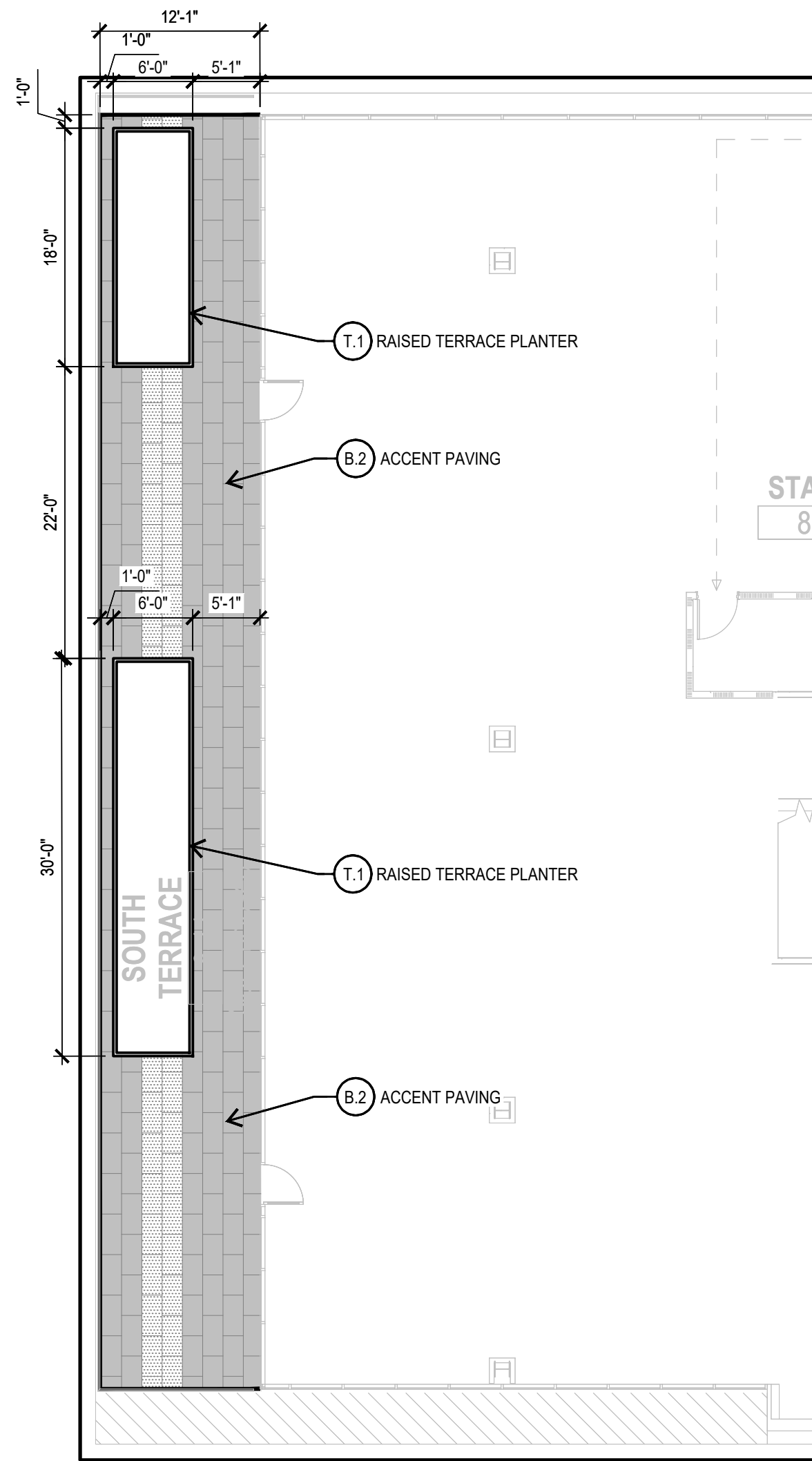
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## 8TH FLOOR SOUTH TERRACE

PLAN



SCALE: 1"=10'



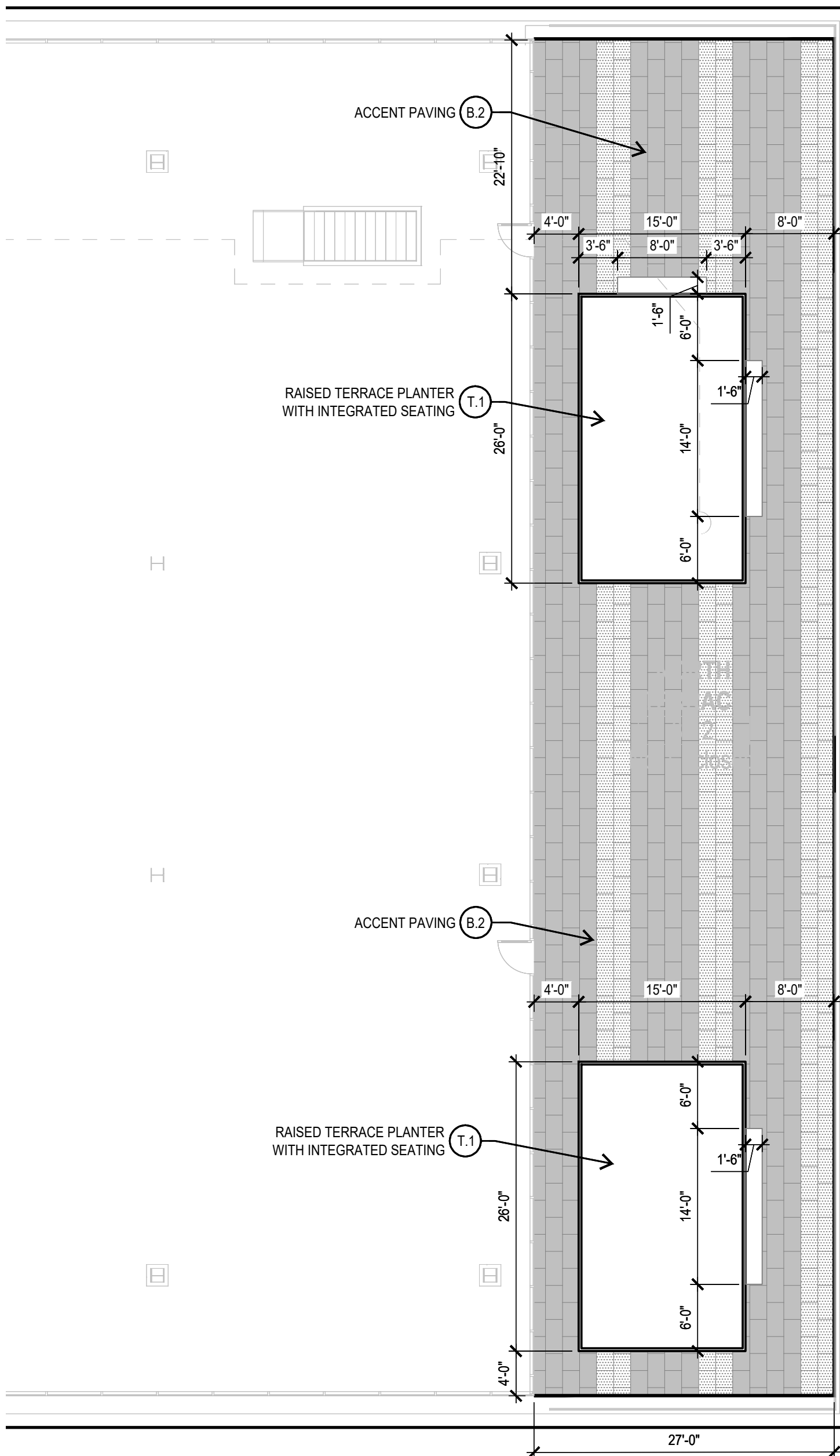
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## 8TH FLOOR NORTH TERRACE

PLAN



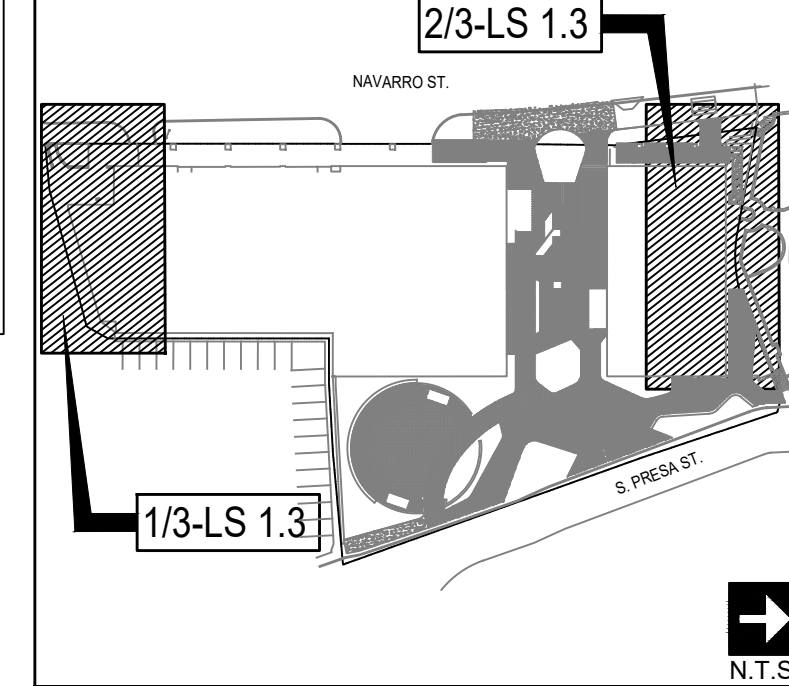
SCALE: 1"=10'



### TERRACE FLATWORK LEGEND

- B.5 | STANDARD ROOF PAVING
- B.5 | ACCENT ROOF PAVING

### KEY MAP



## BH PROPERTIES

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Description

SITE PLAN

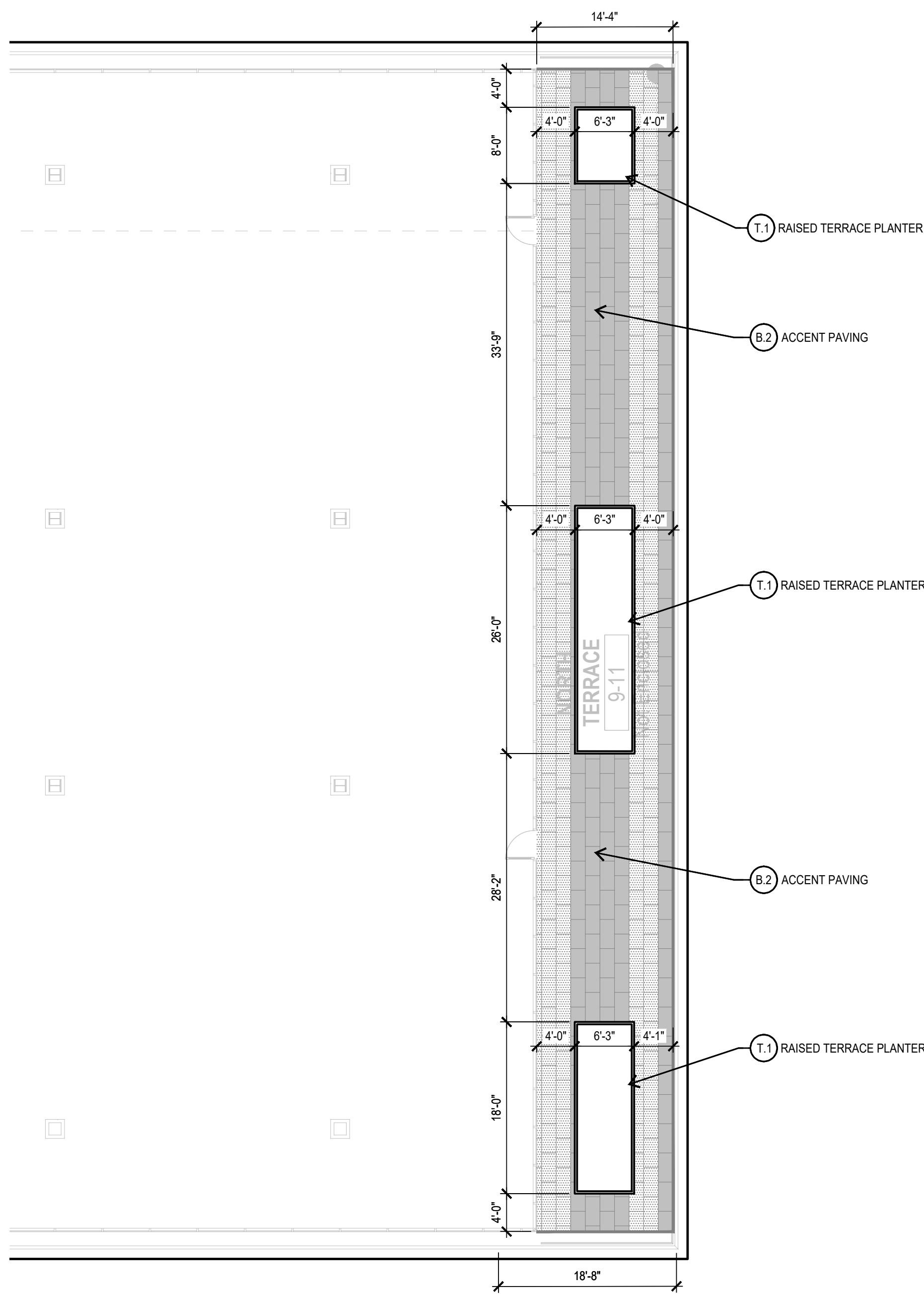
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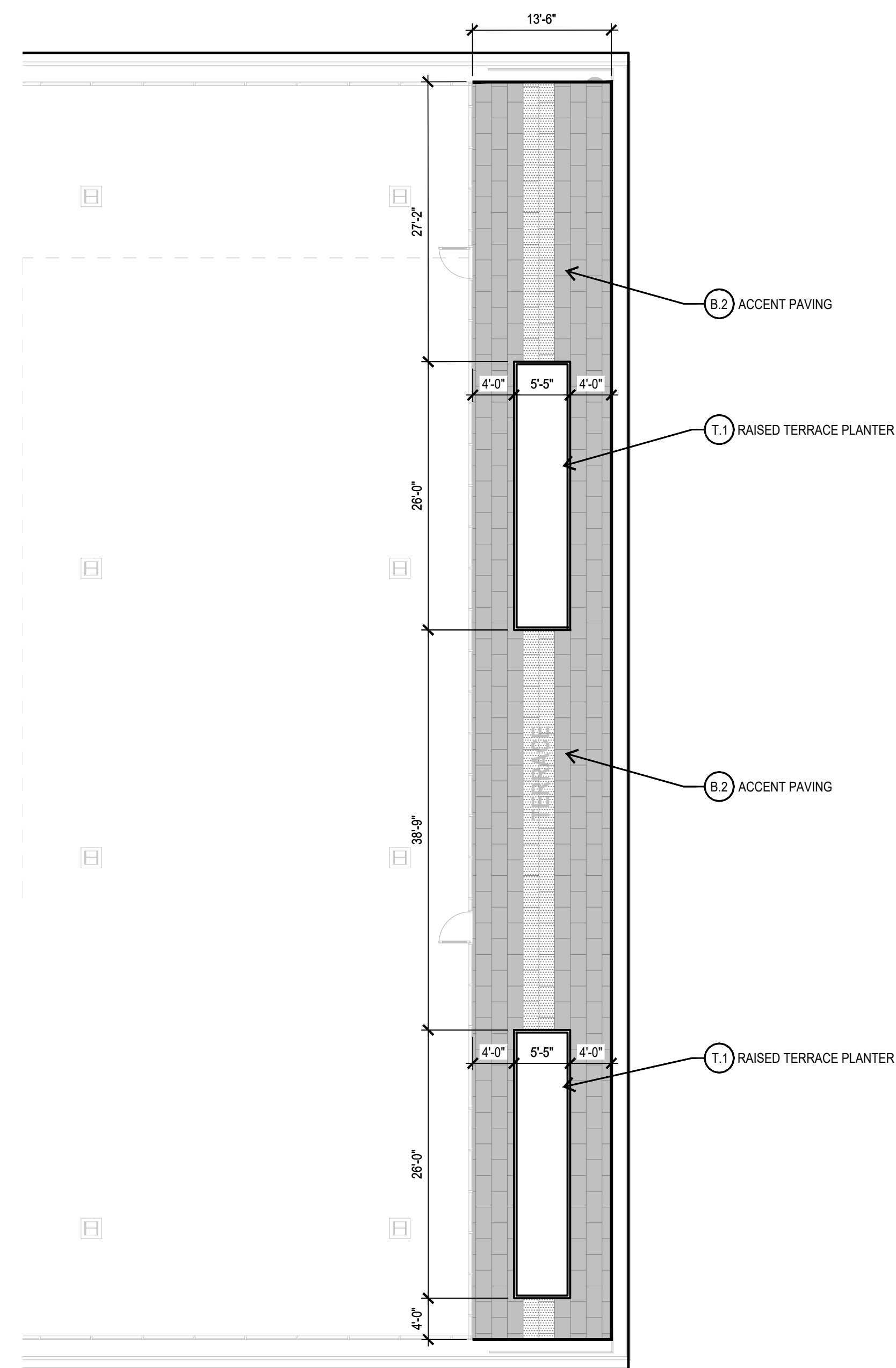
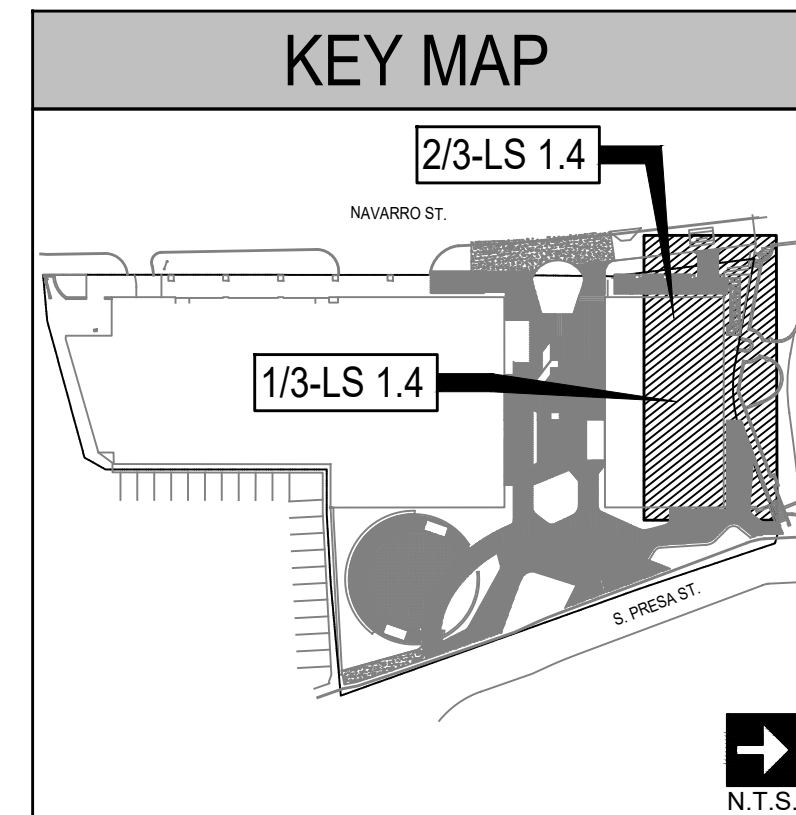
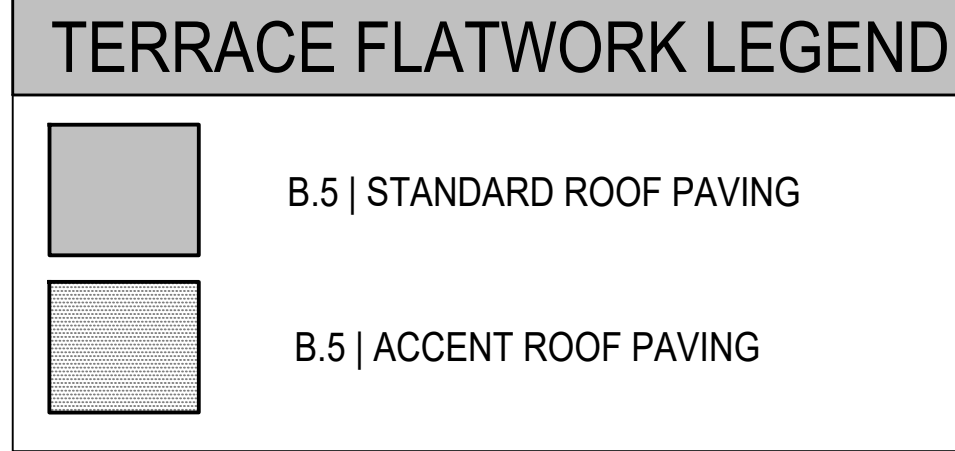
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1 9TH FLOOR TERRACE  
PLAN  
SCALE: 1"=10'



2 10TH FLOOR TERRACE  
PLAN  
SCALE: 1"=10'

## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205

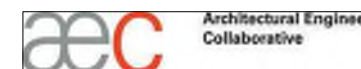


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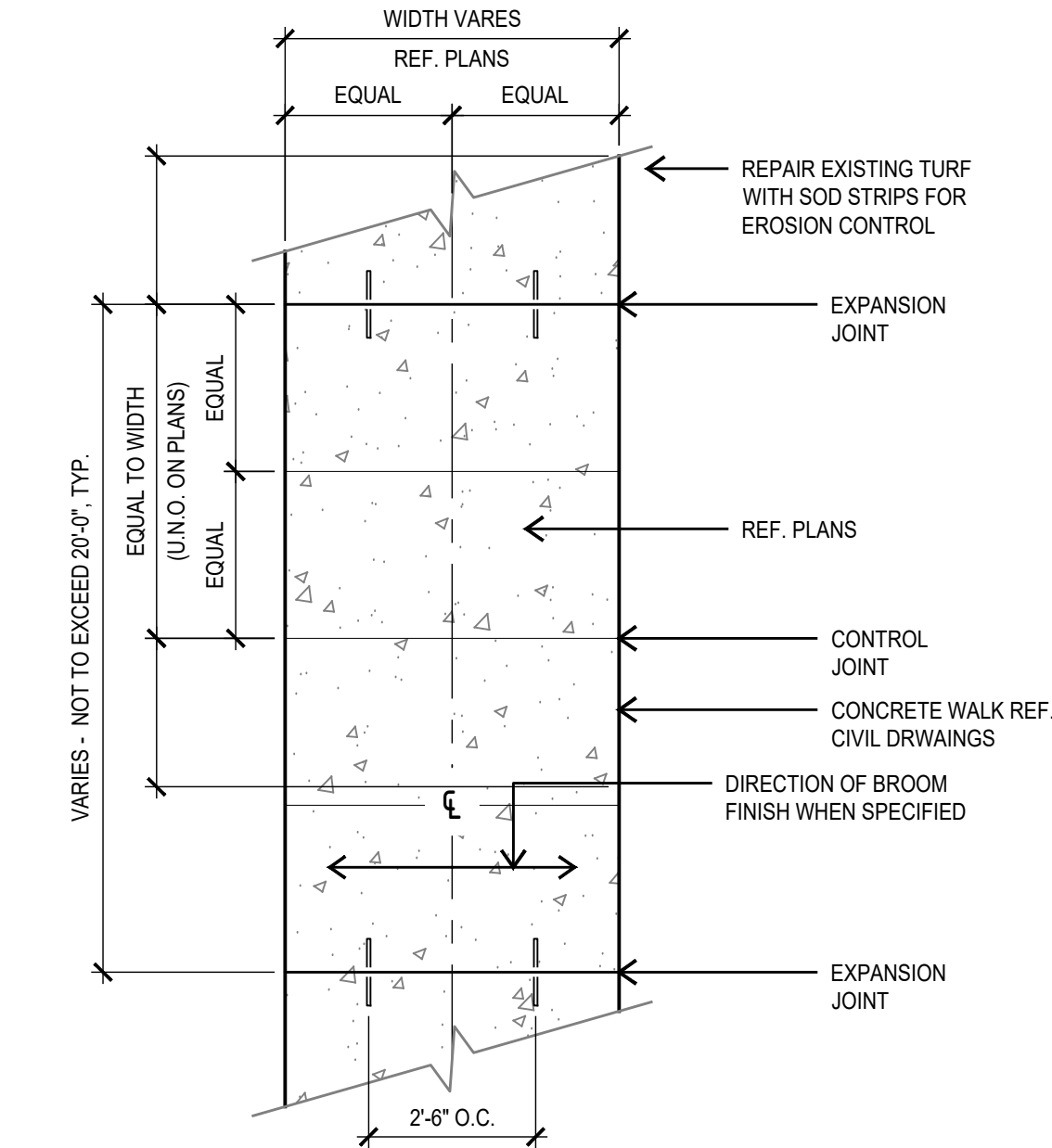
SITE PLAN

Scale

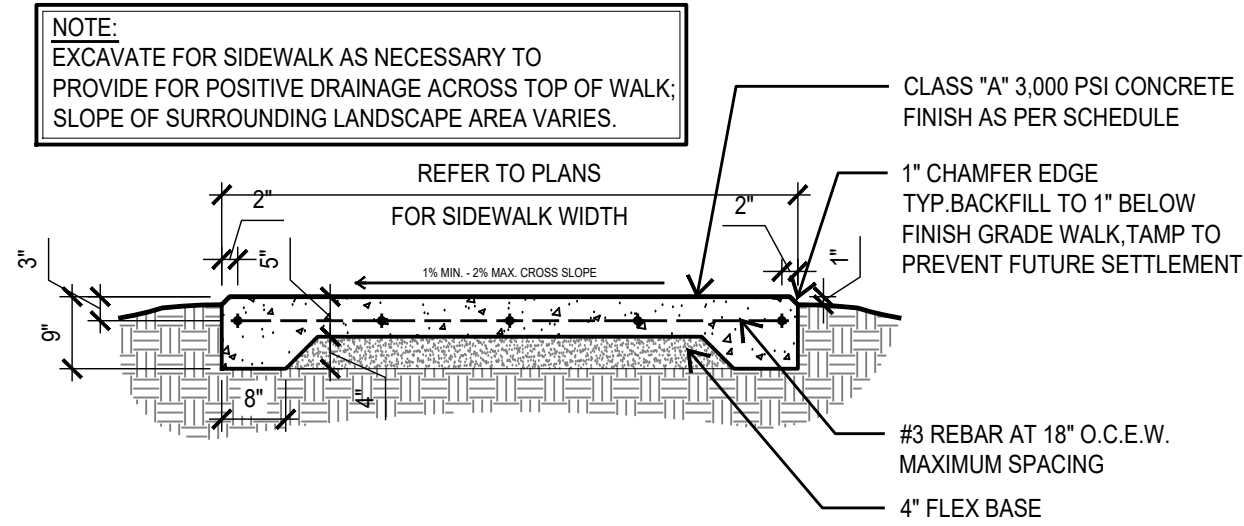
3-LS 1.4

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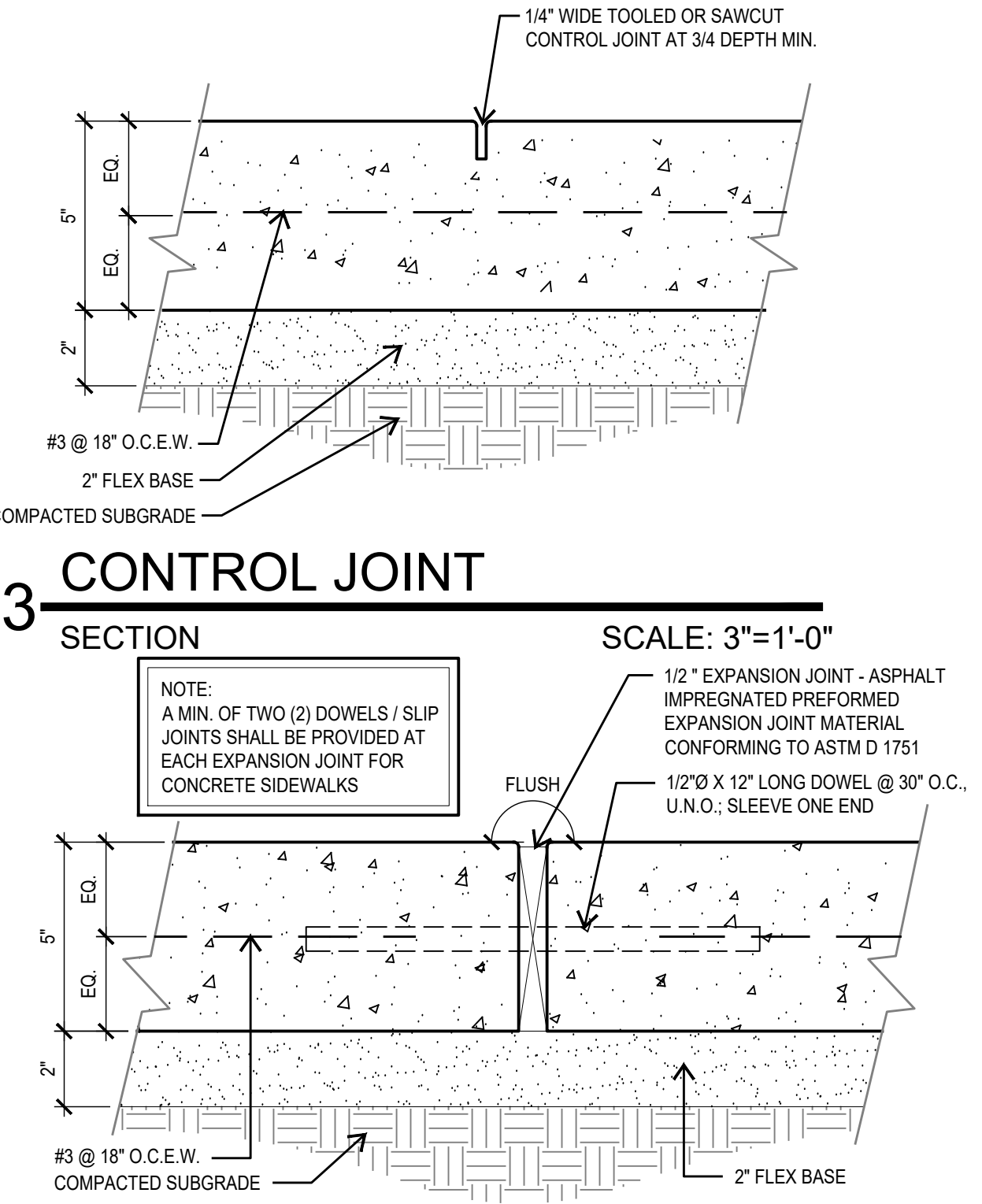




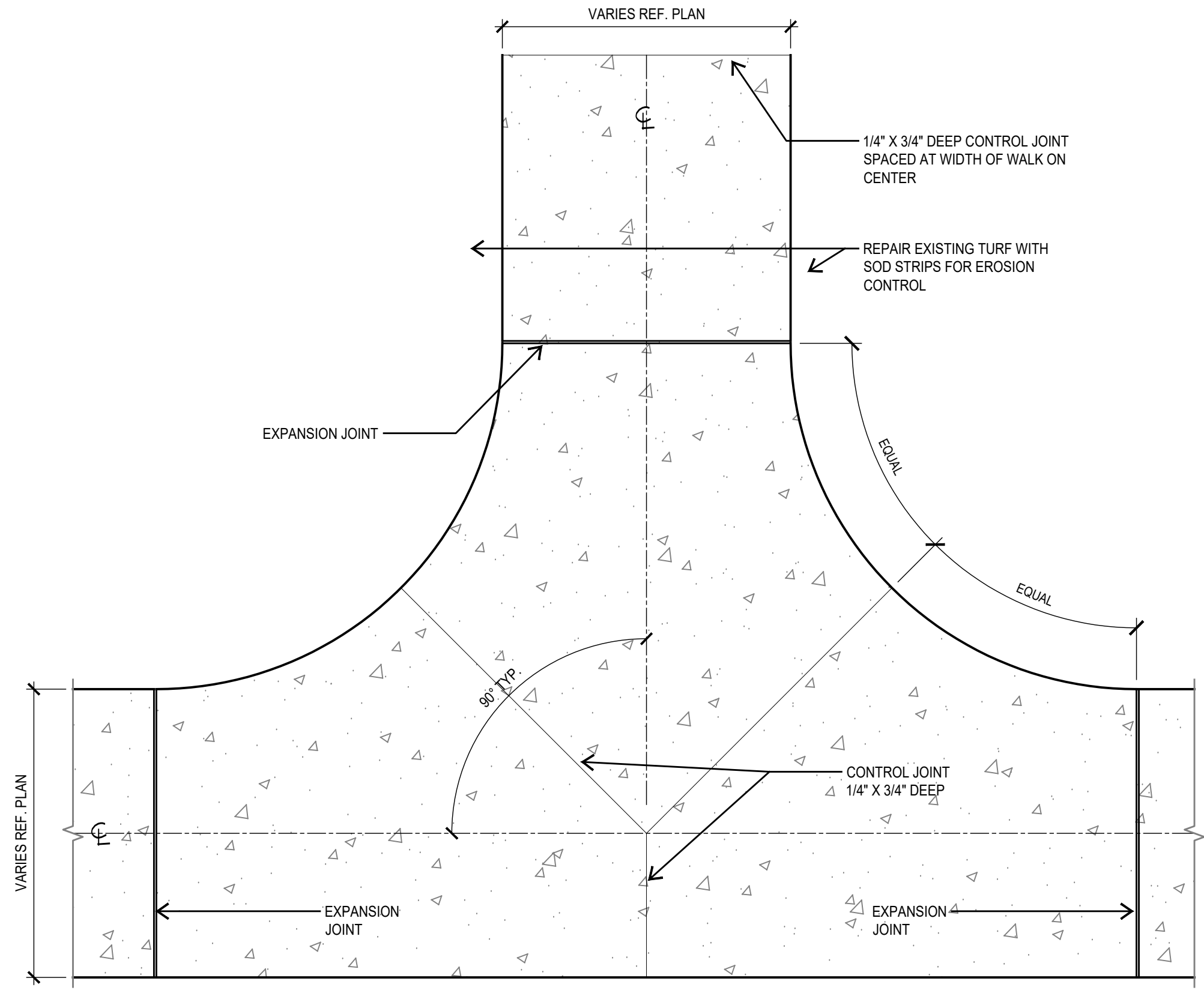
1 SIDEWALK TYP  
PLAN SCALE: 3/8"=1'-0"



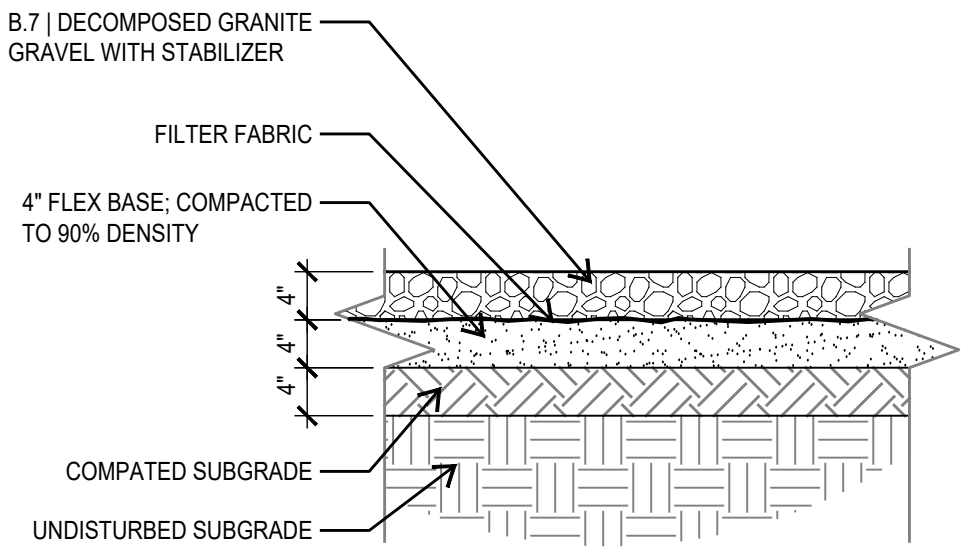
2 SIDEWALK TYP  
SECTION SCALE: 1/2"=1'-0"



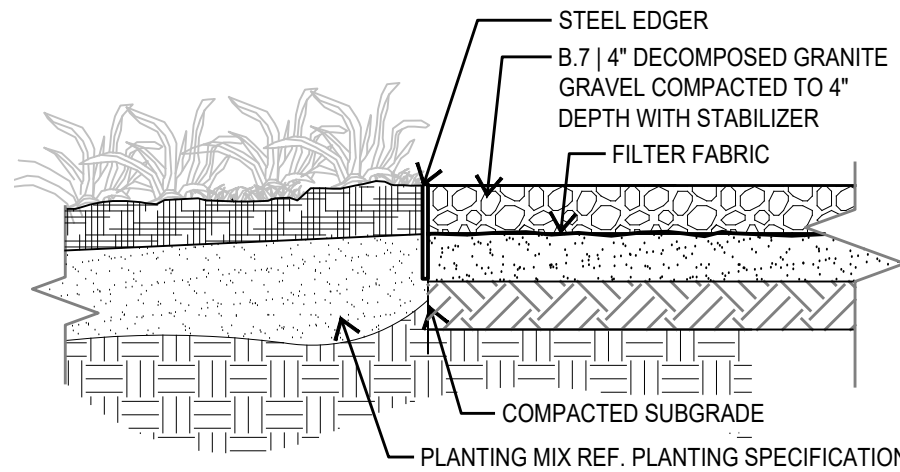
3 CONTROL JOINT  
SECTION SCALE: 3"=1'-0"



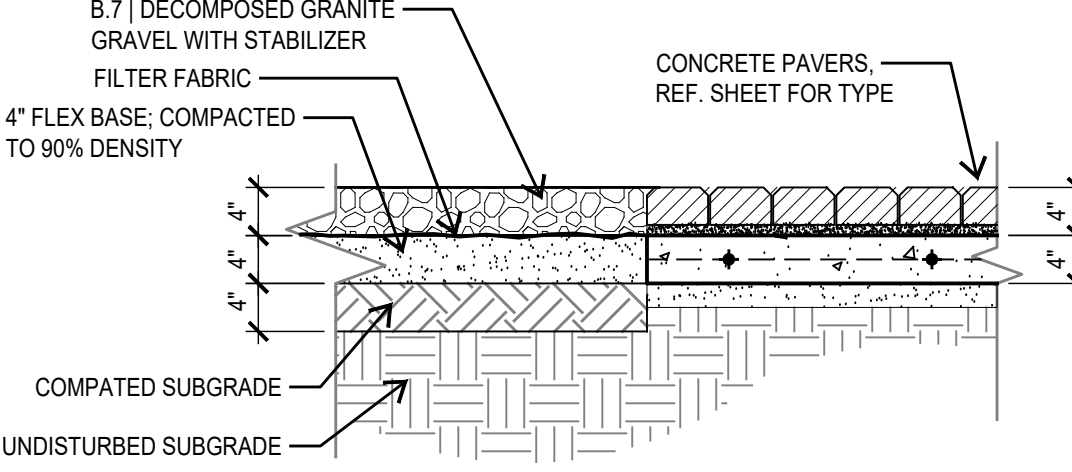
4 EXPANSION JOINT  
PLAN SCALE: 1/2"=1'-0"



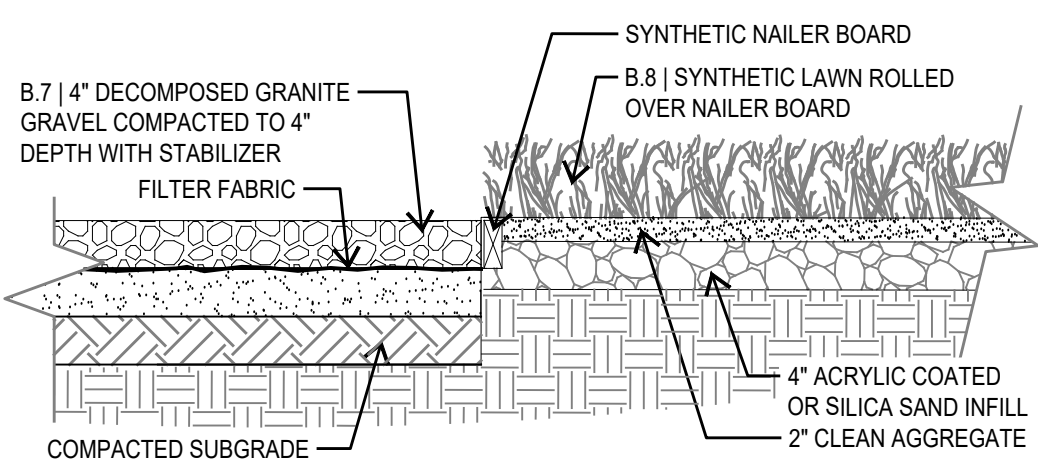
6 DECOMPOSED GRANITE (DG)  
SECTION SCALE: 3/4"=1'-0"



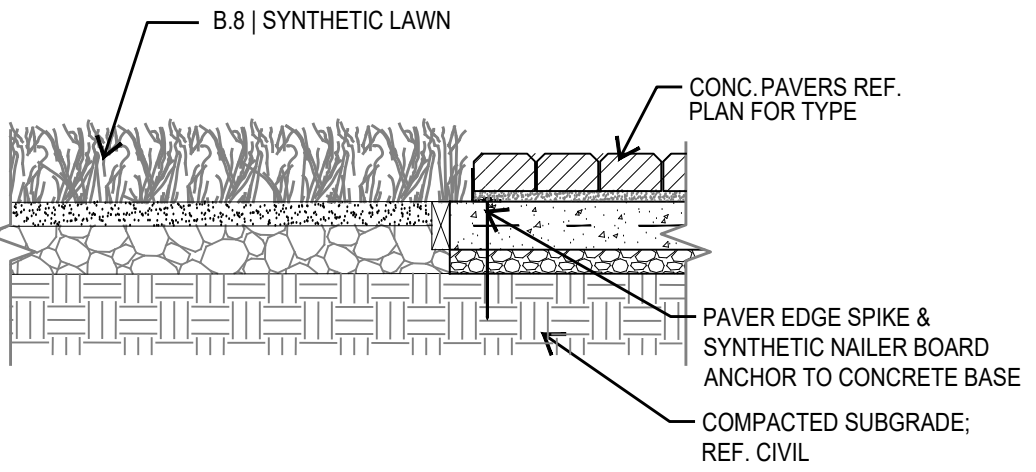
7 DG @ PLANTING  
SECTION SCALE: 3/4"=1'-0"



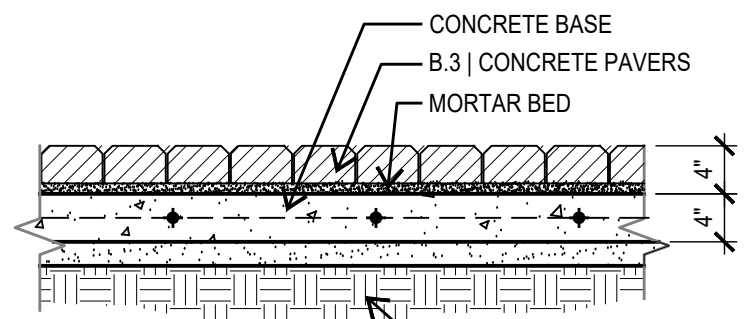
8 DG @ PAVERS  
SECTION SCALE: 3/4"=1'-0"



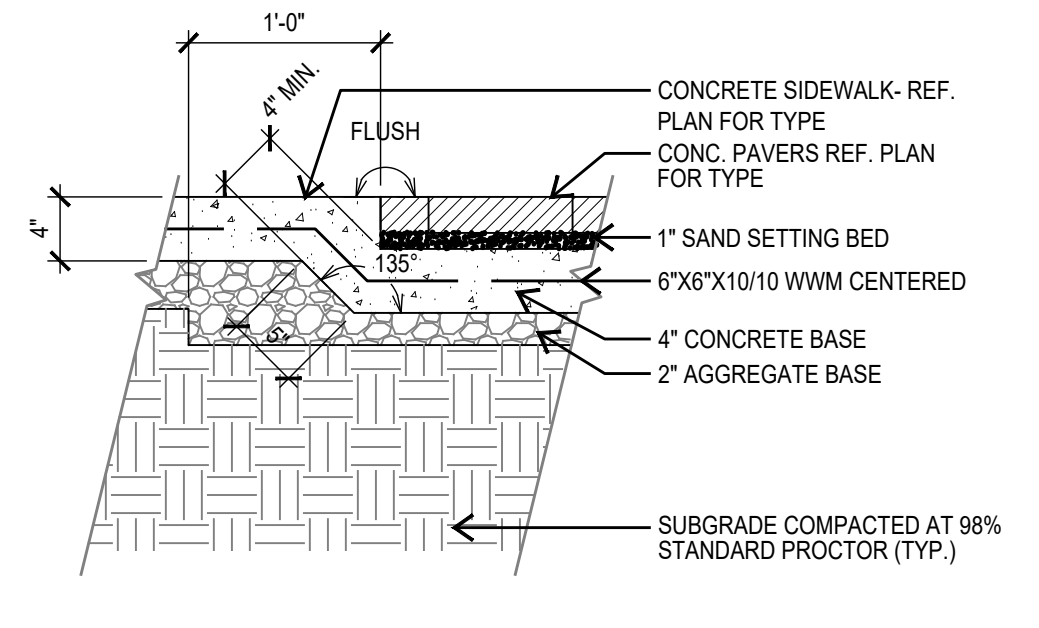
9 DG @ SYN. LAWN  
SECTION SCALE: 3/4"=1'-0"



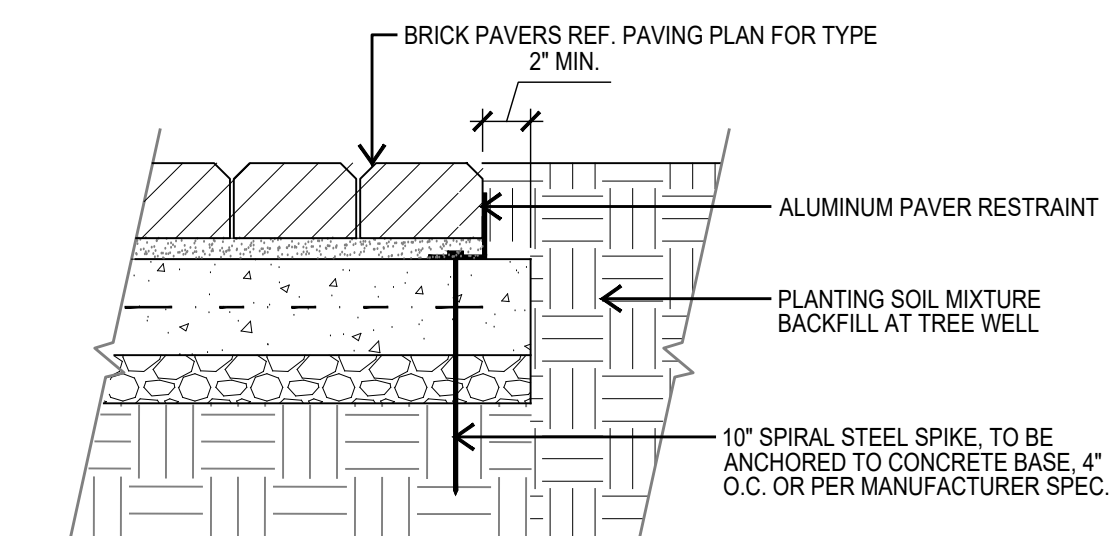
10 PAVERS @ SYN. LAWN  
SECTION SCALE: 3/4"=1'-0"



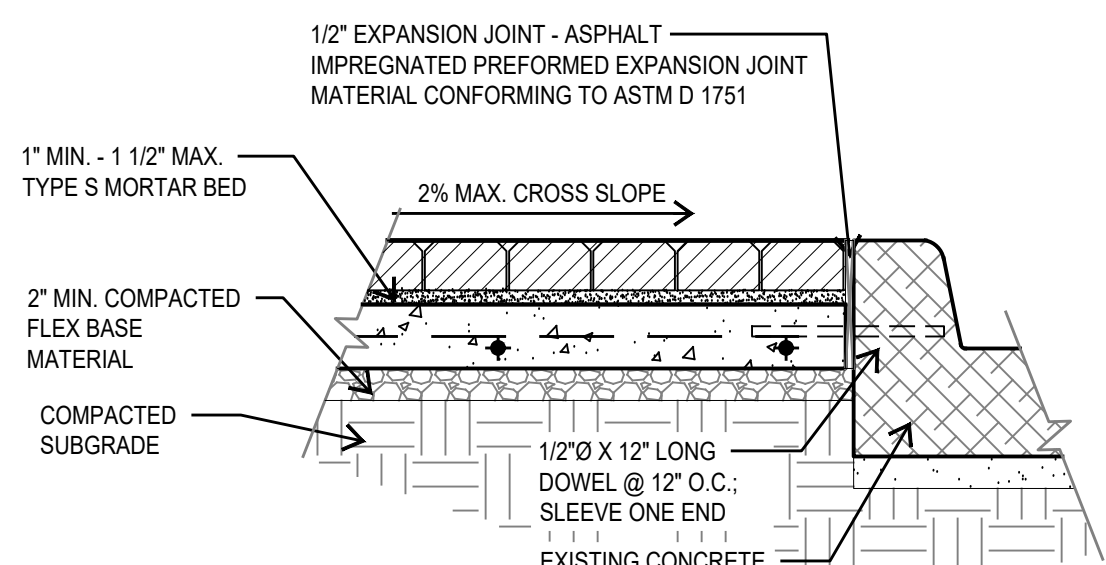
11 PAVERS  
SECTION SCALE: 3/4"=1'-0"



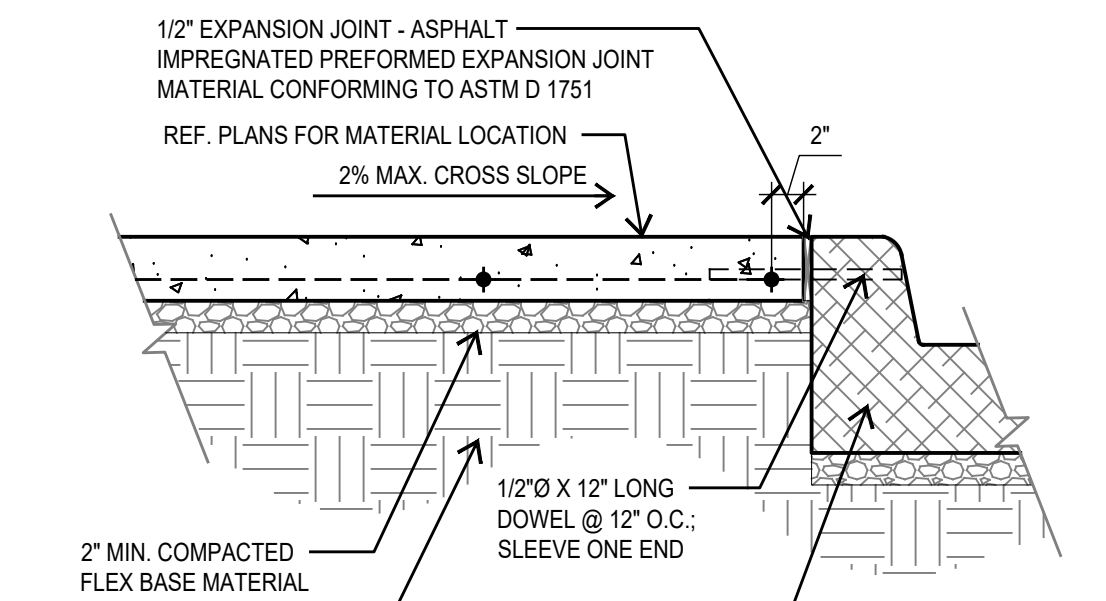
12 CONCRETE TO PAVERS  
SECTION SCALE: 1"=1'-0"



13 PAVER EDGE RESTRAINT  
SECTION SCALE: 1-1/2"=1'-0"



14 PAVERS @ EX. CURB  
SECTION SCALE: 1"=1'-0"



15 CONCRETE @ EX. CURB  
SECTION SCALE: 1"=1'-0"

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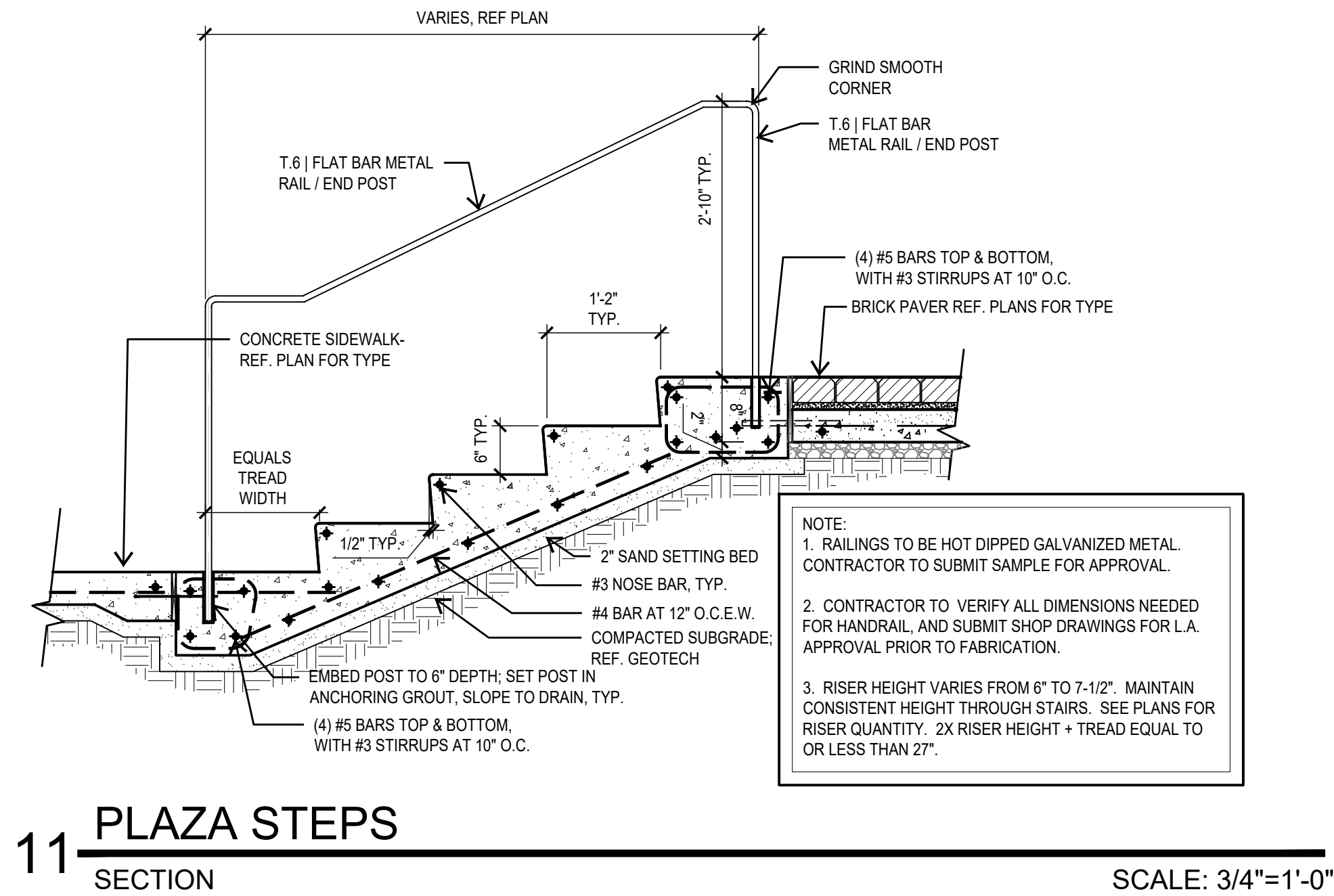
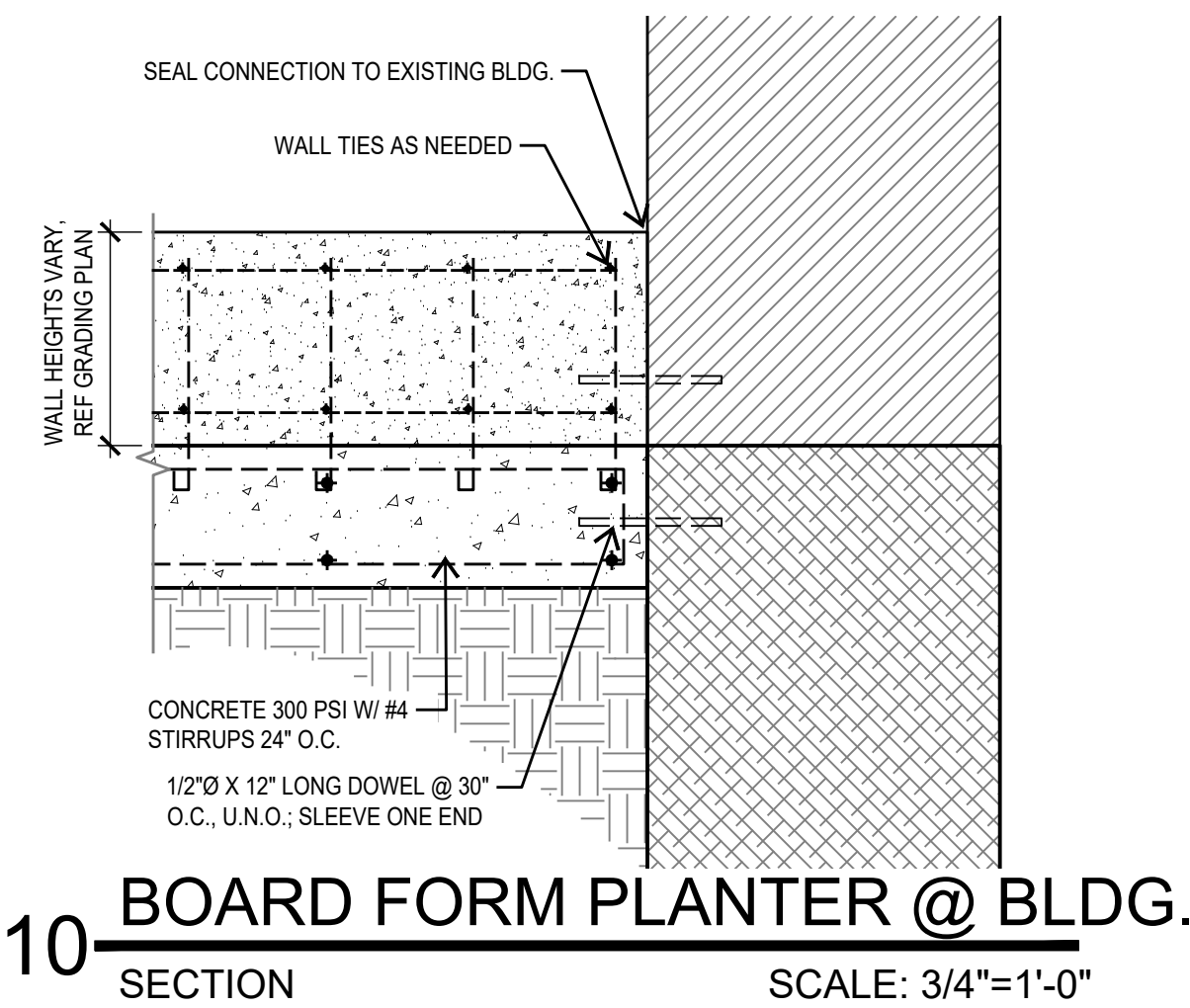
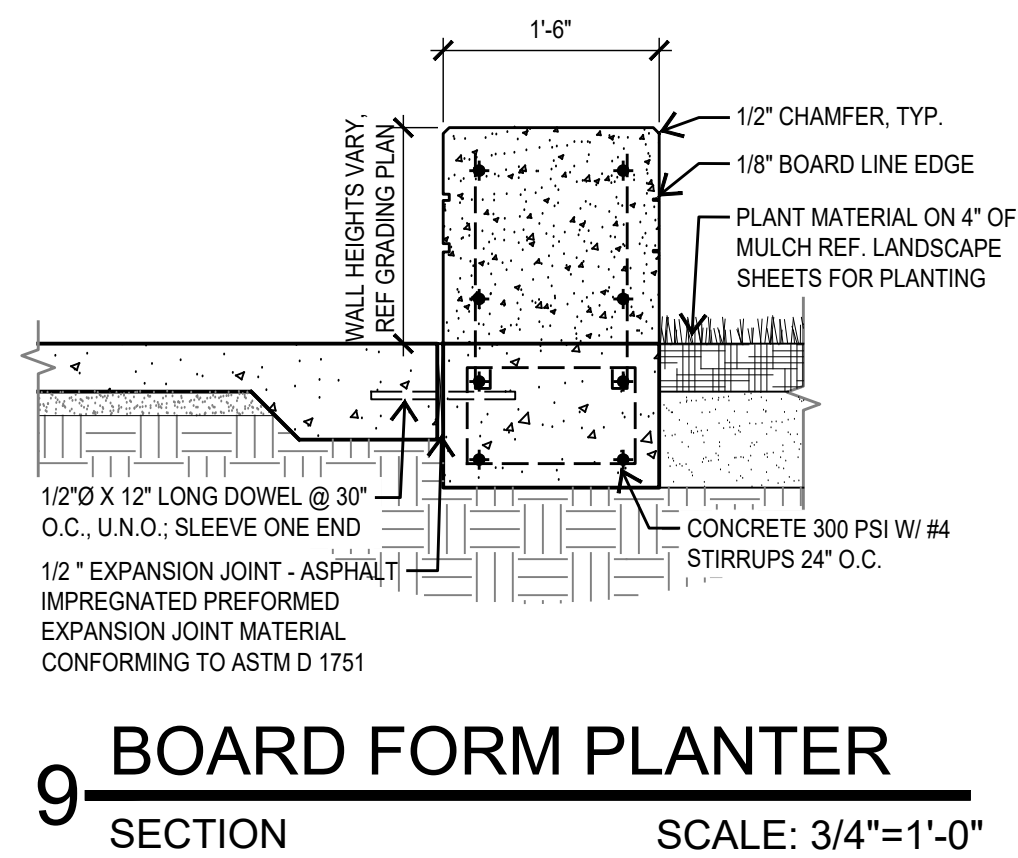
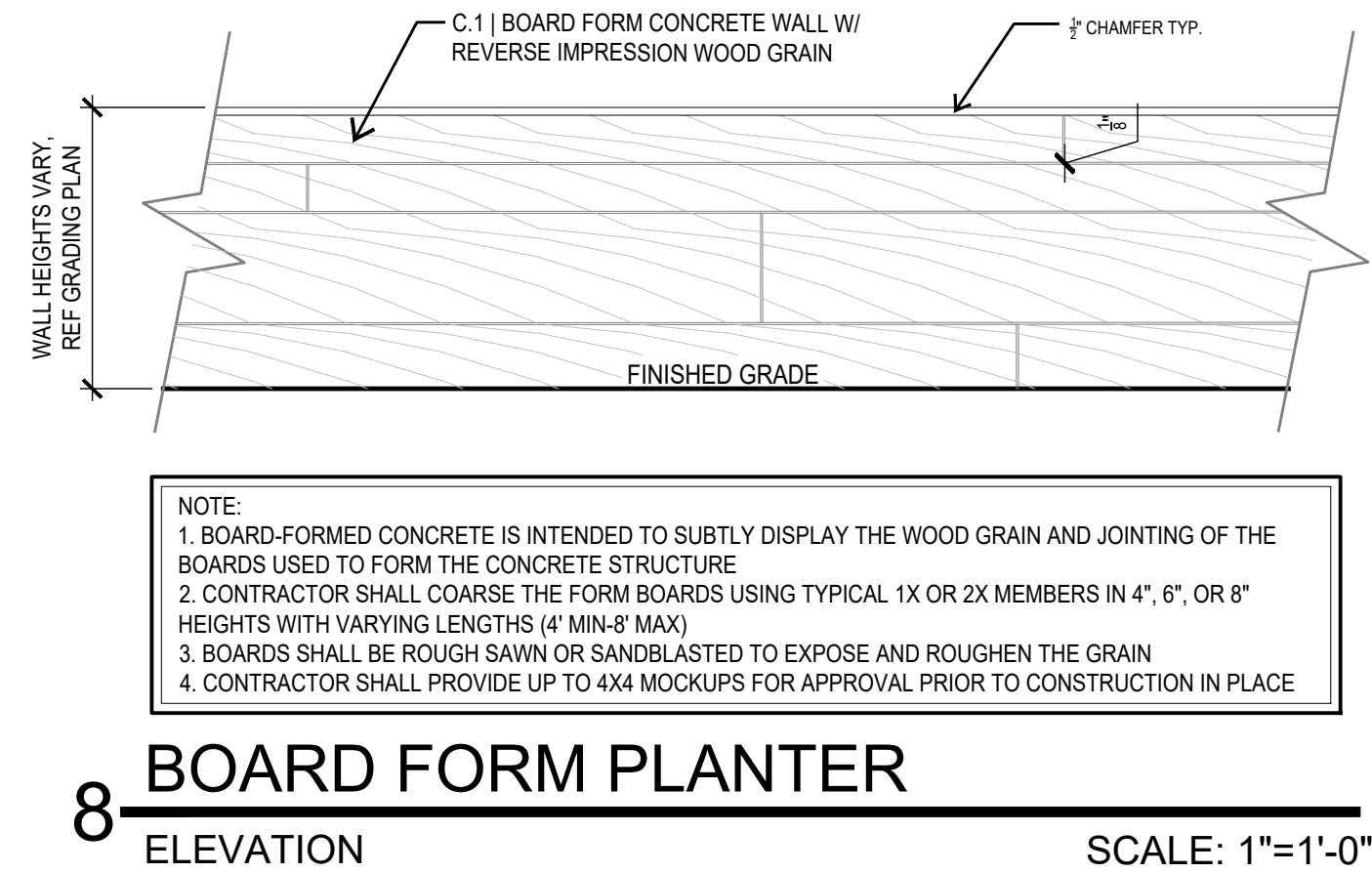
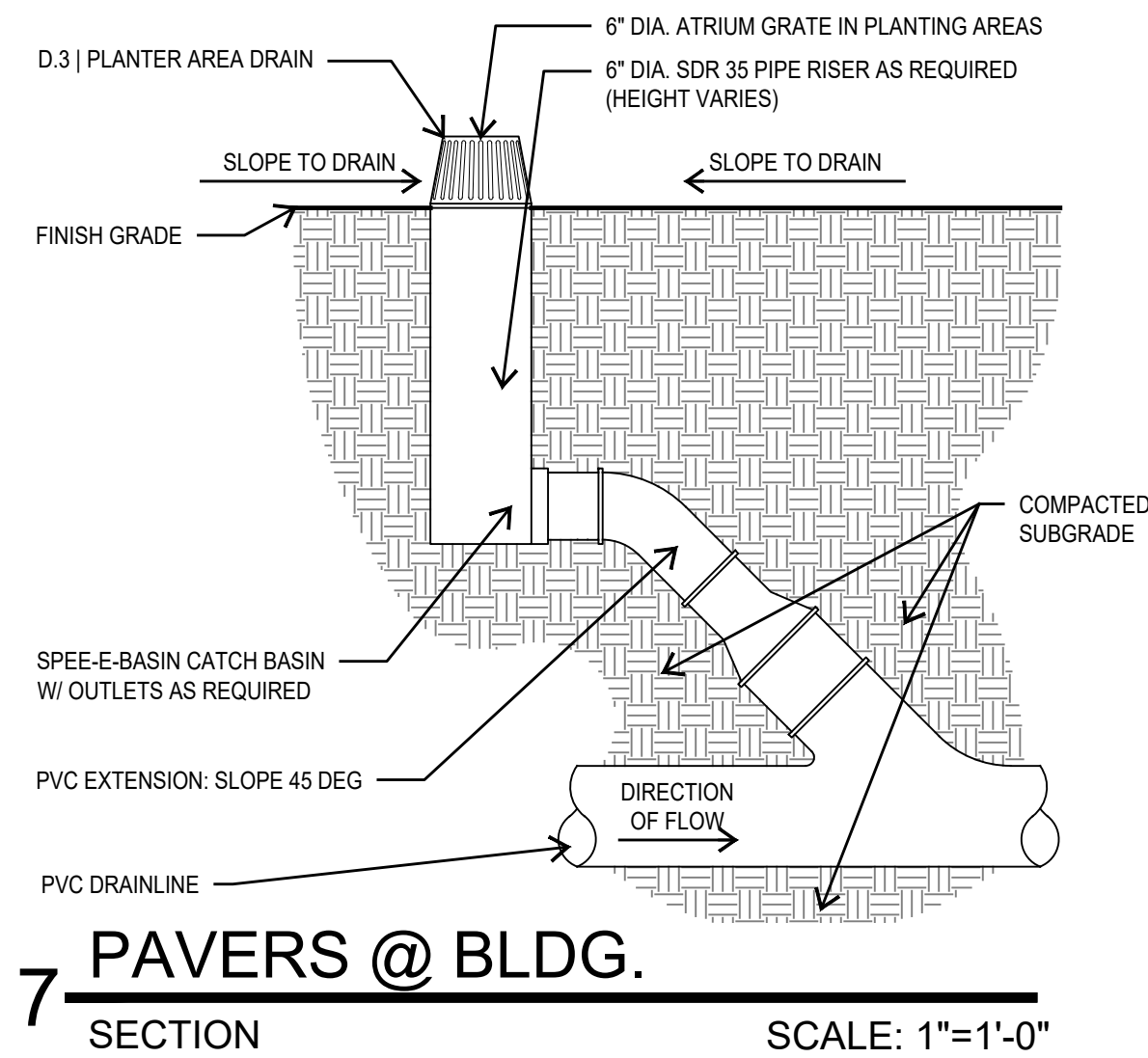
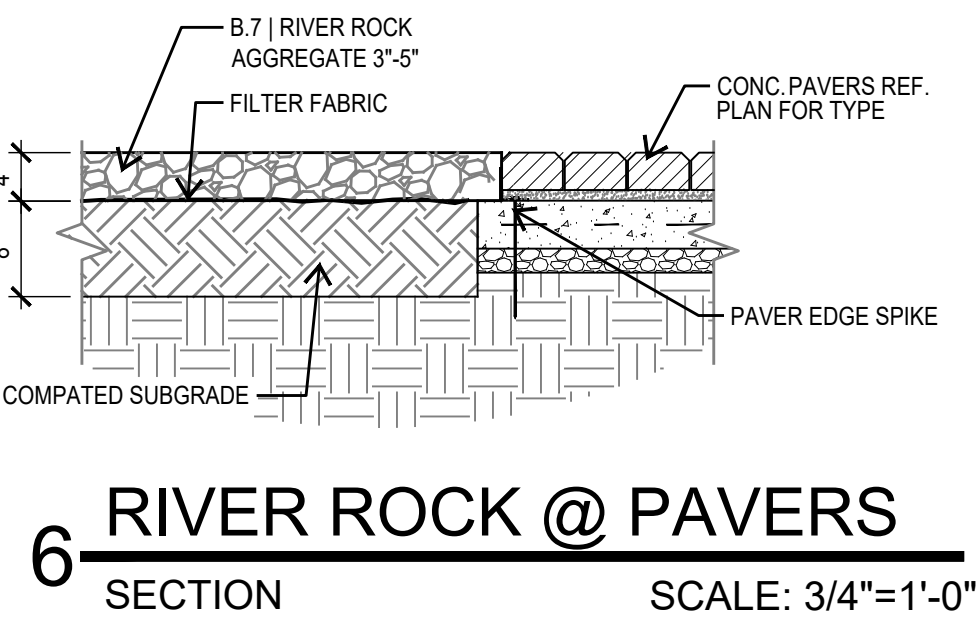
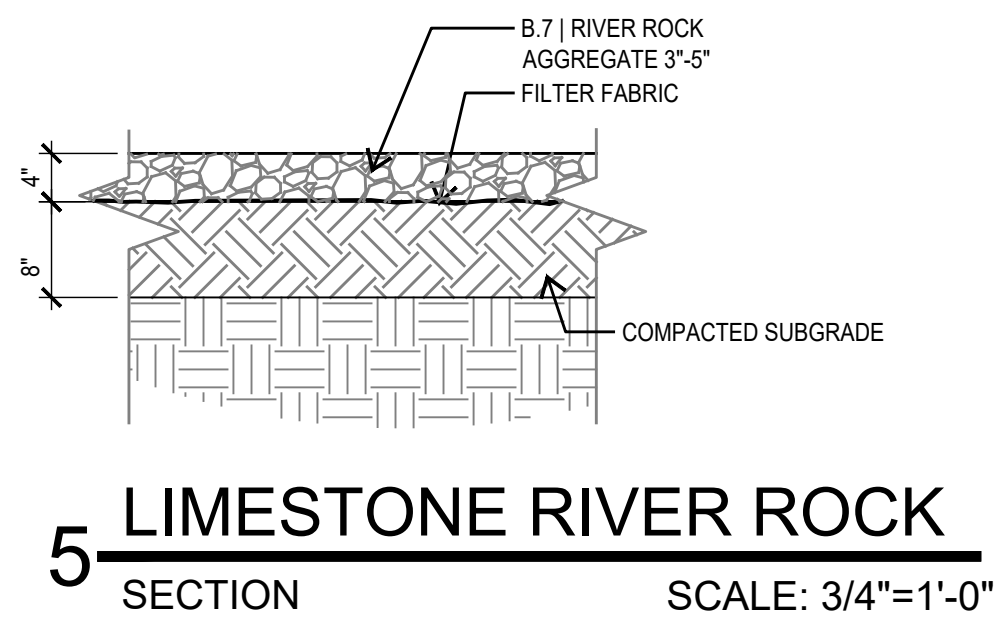
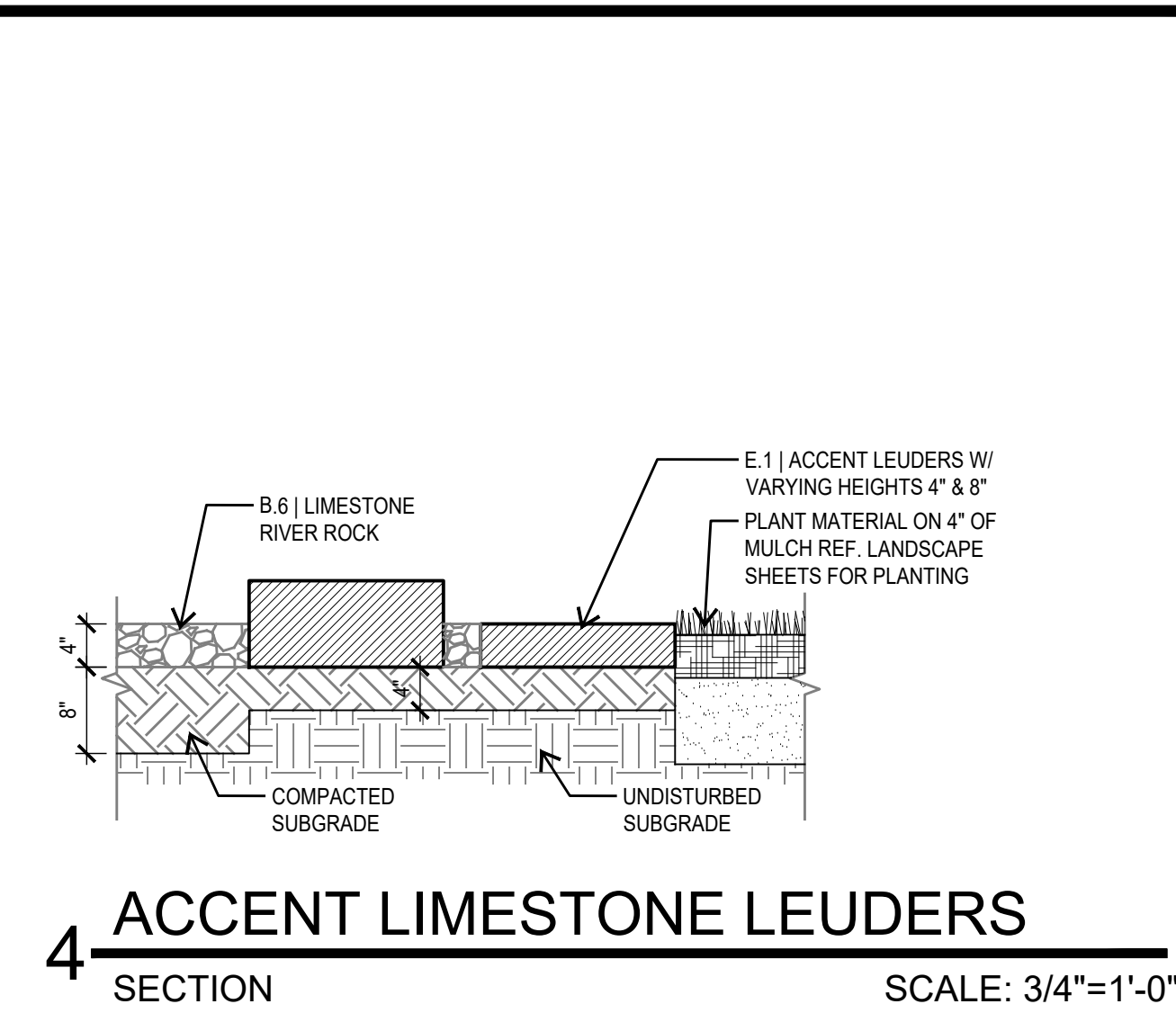
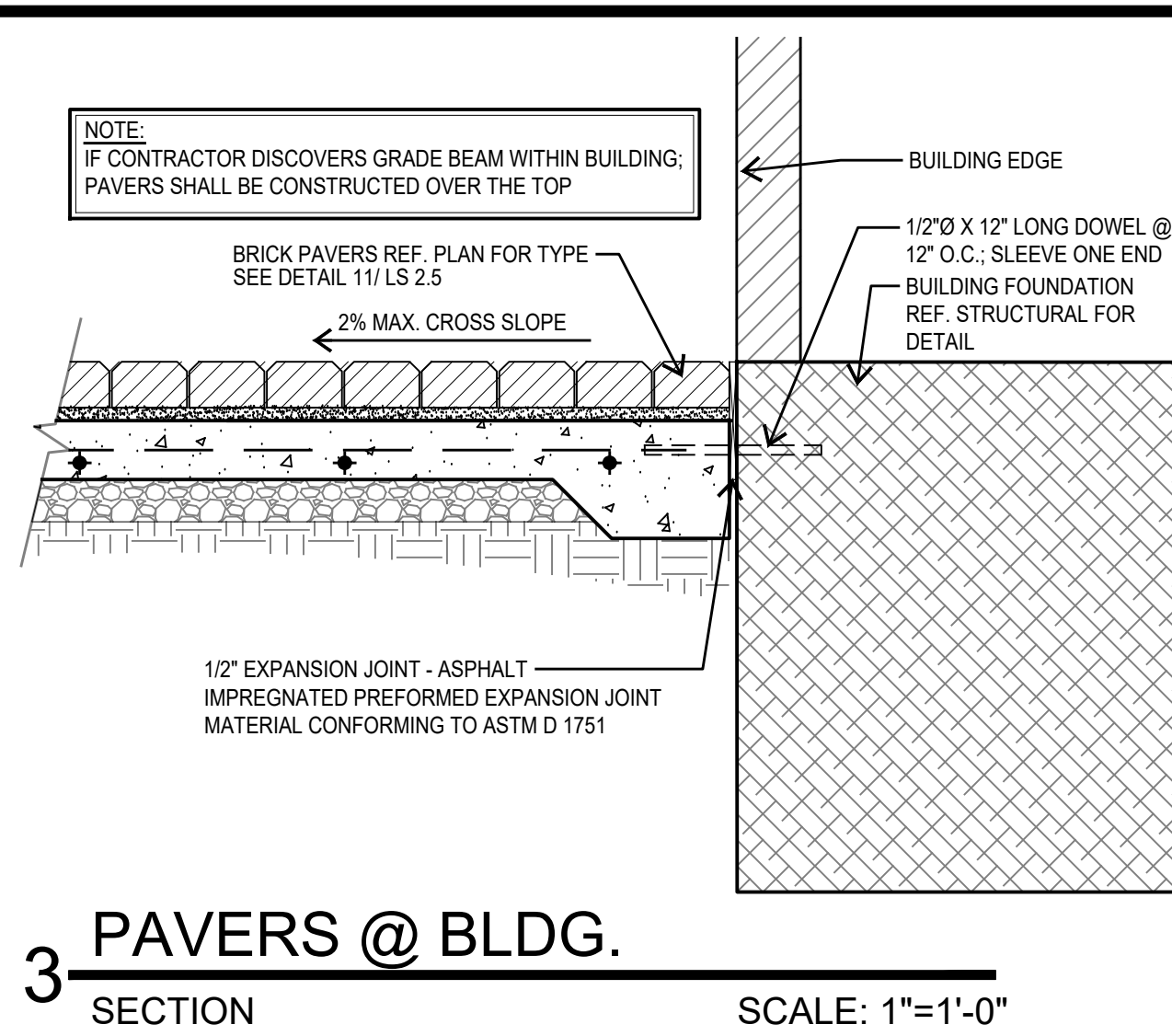
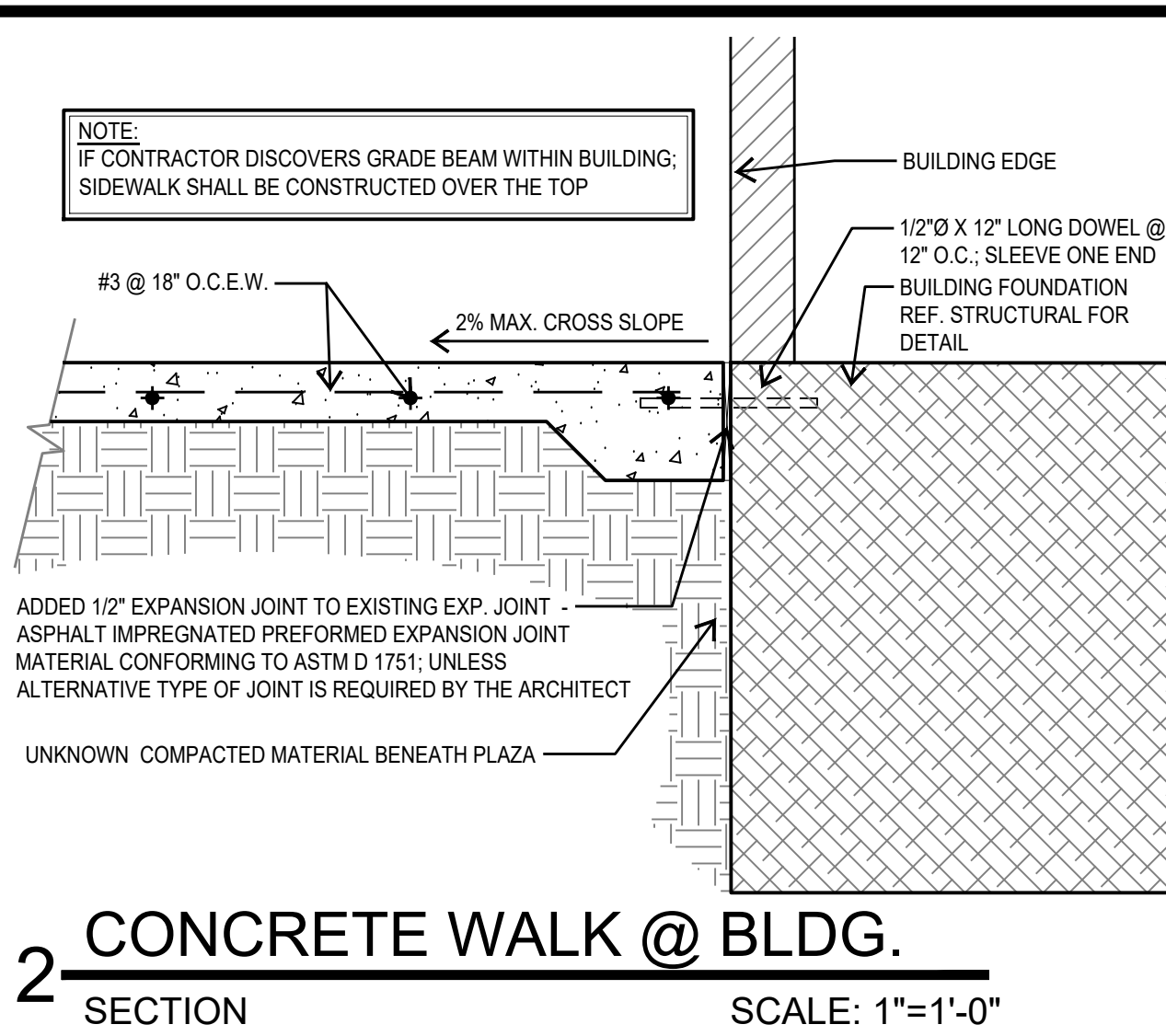
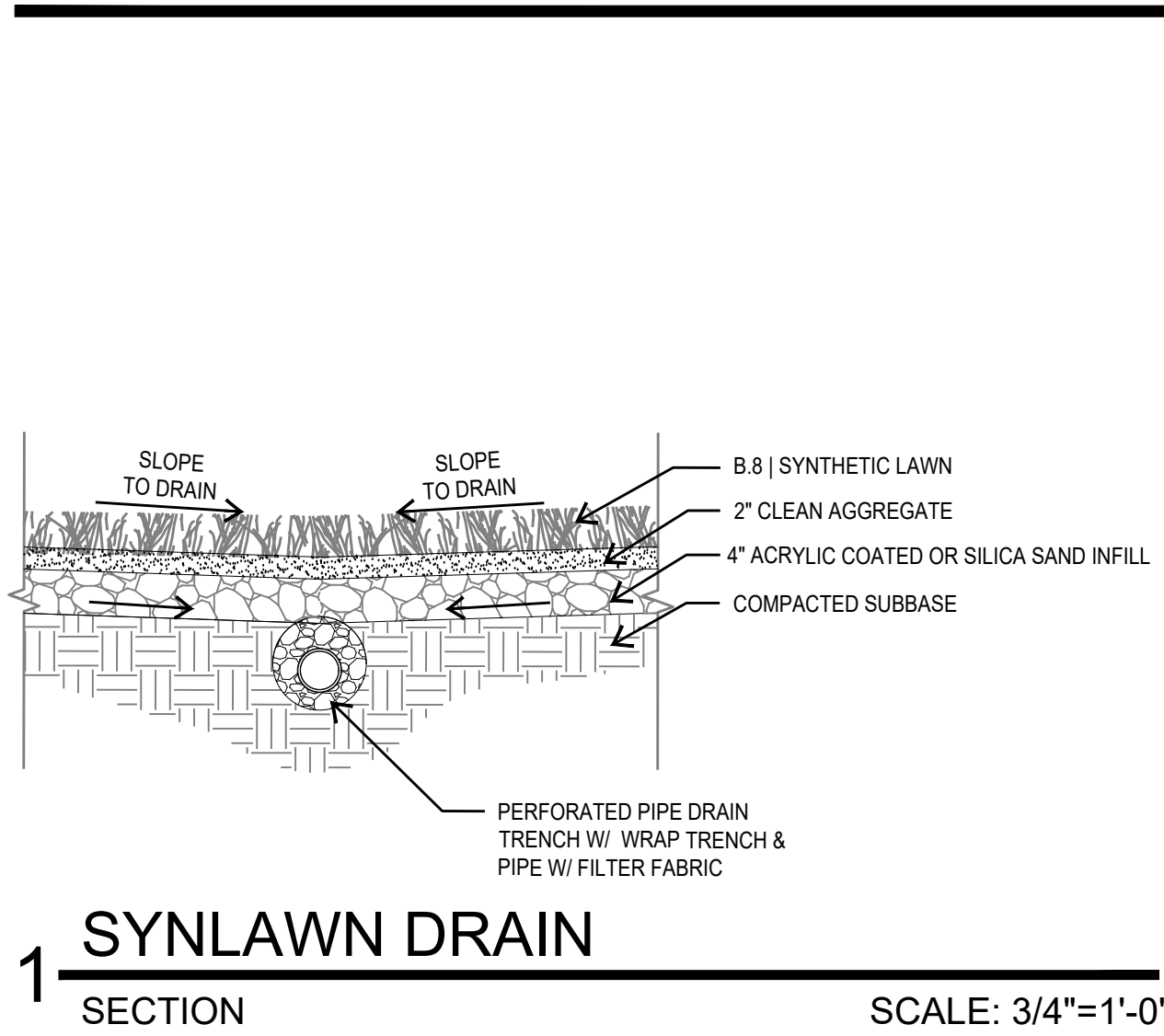
SITE DETAILS

Scale

## 2-LS 2.1

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146 Navarro Repositioning  
PROGRESS, PERMIT, AND PRICING  
CONSTRUCTION DOCUMENTS

Project Number  
122.0039.000

Description  
SITE DETAILS

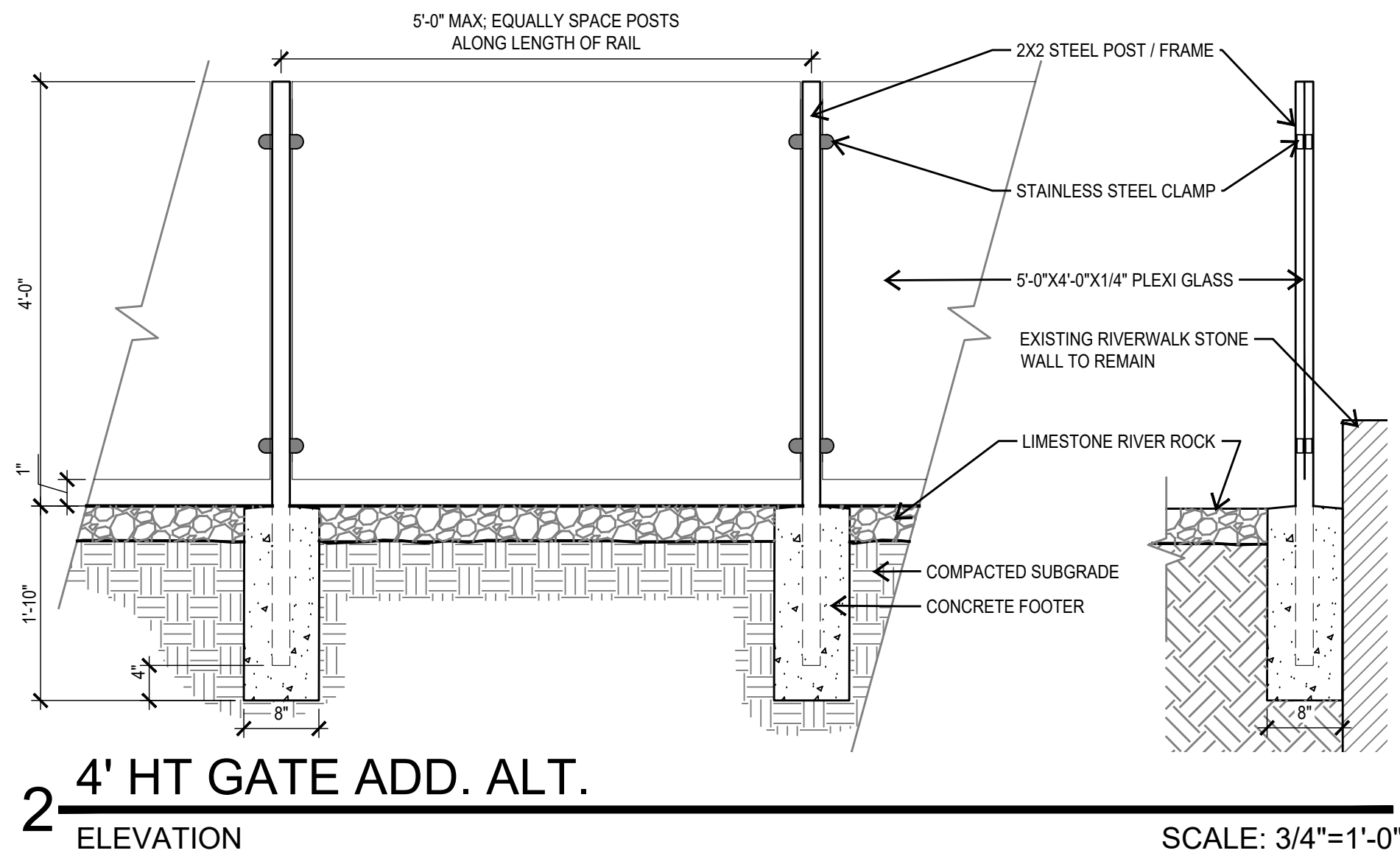
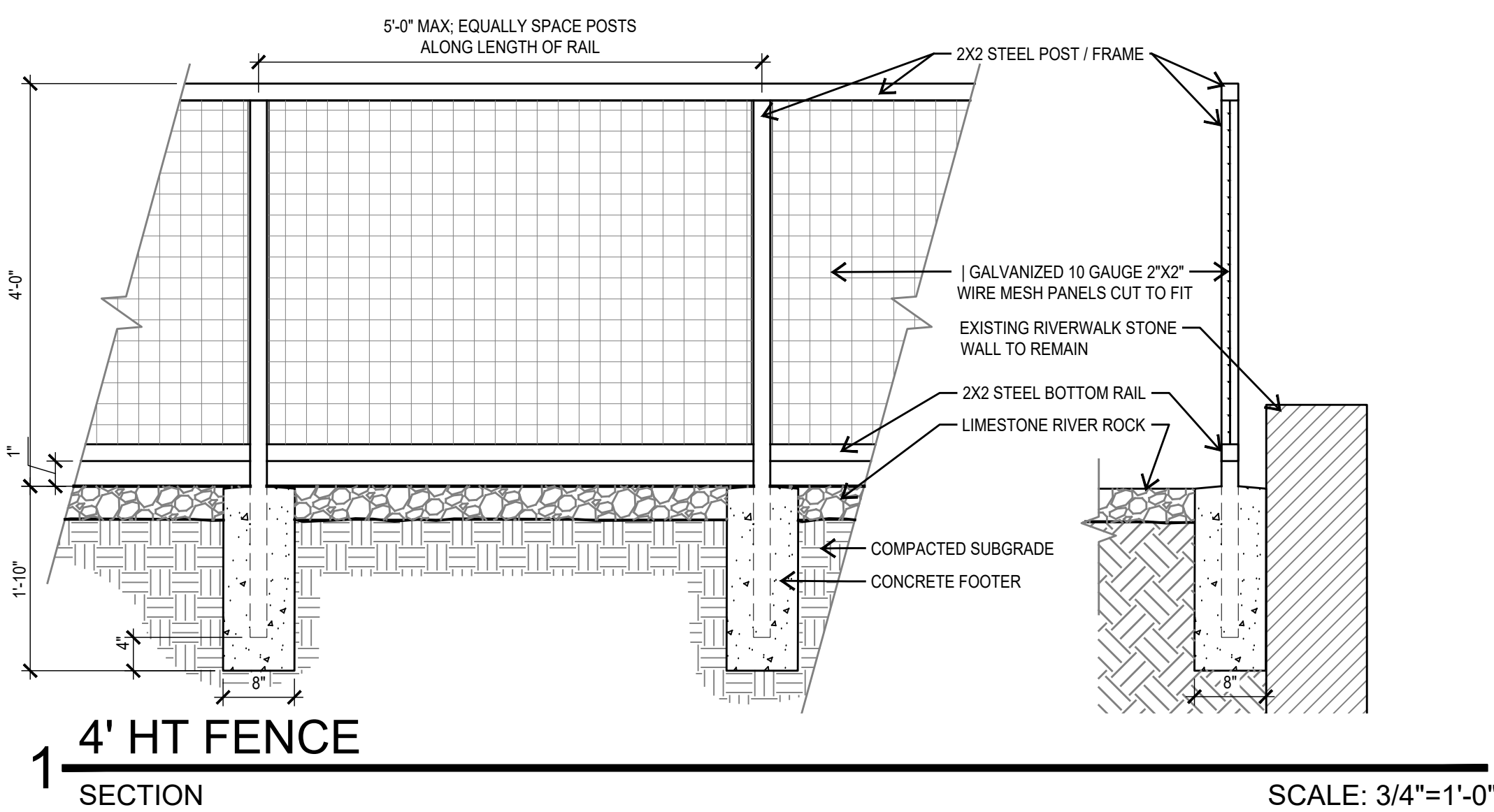
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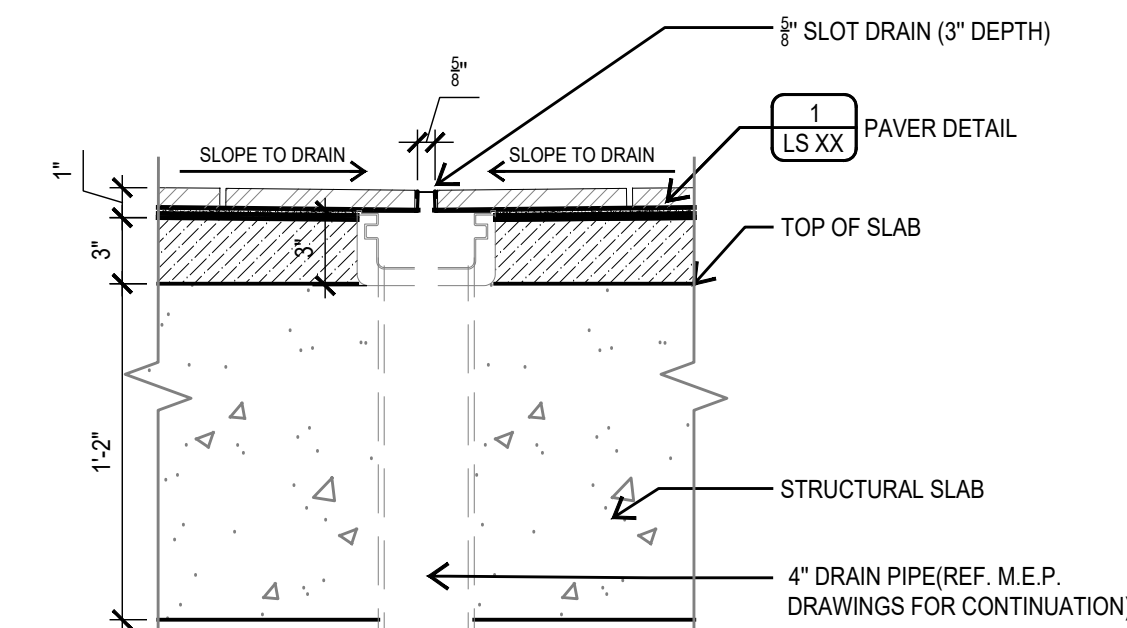
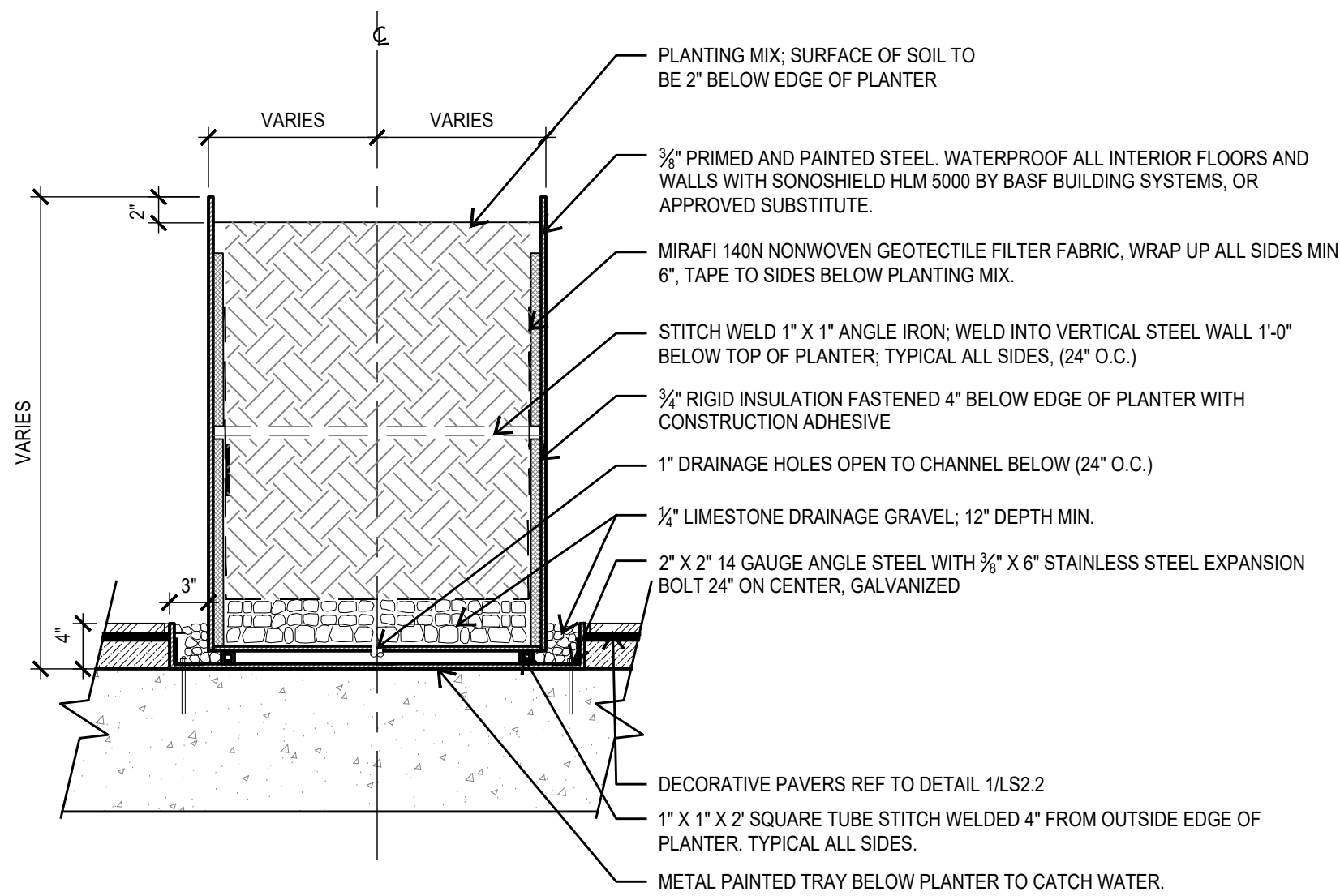
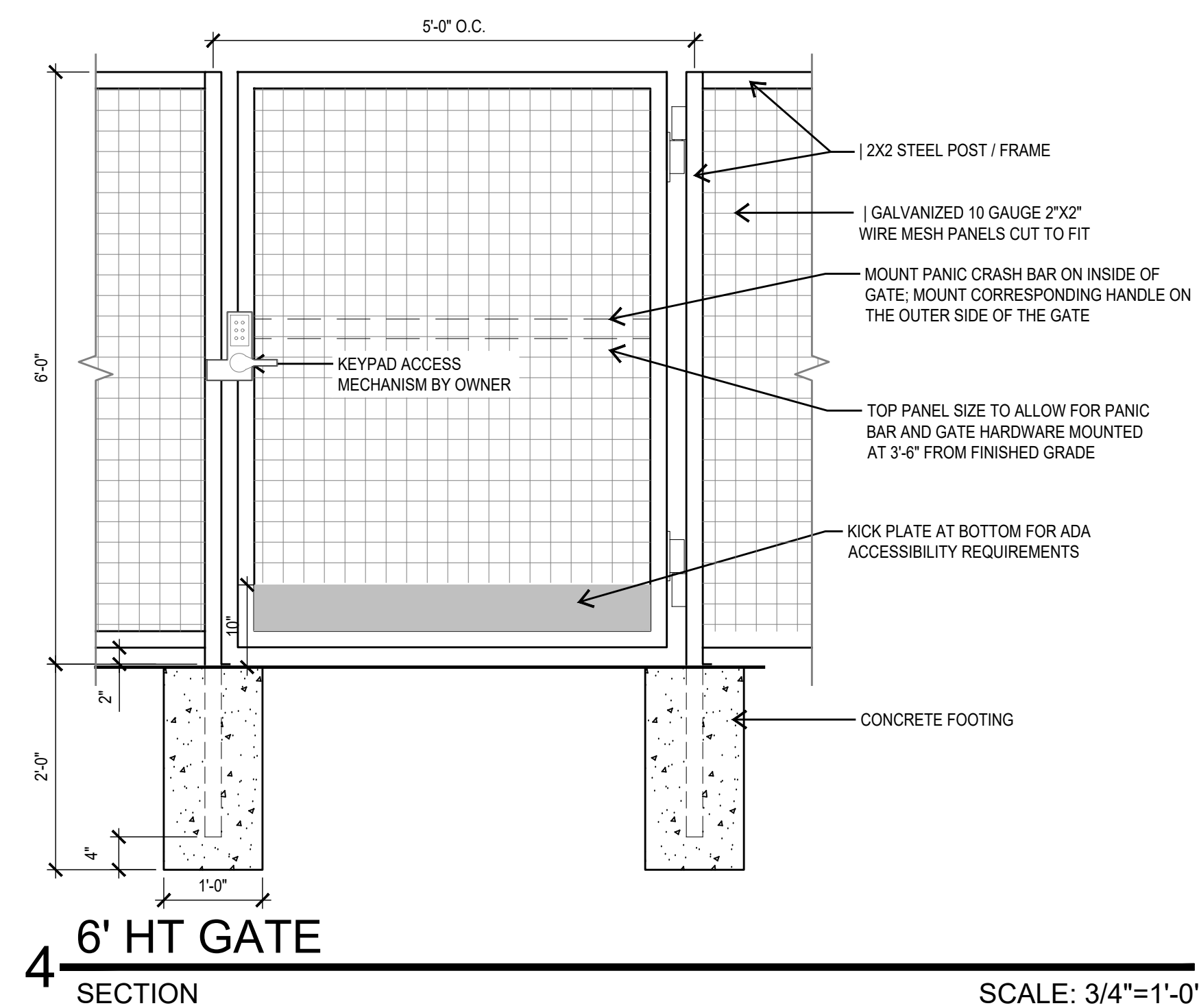
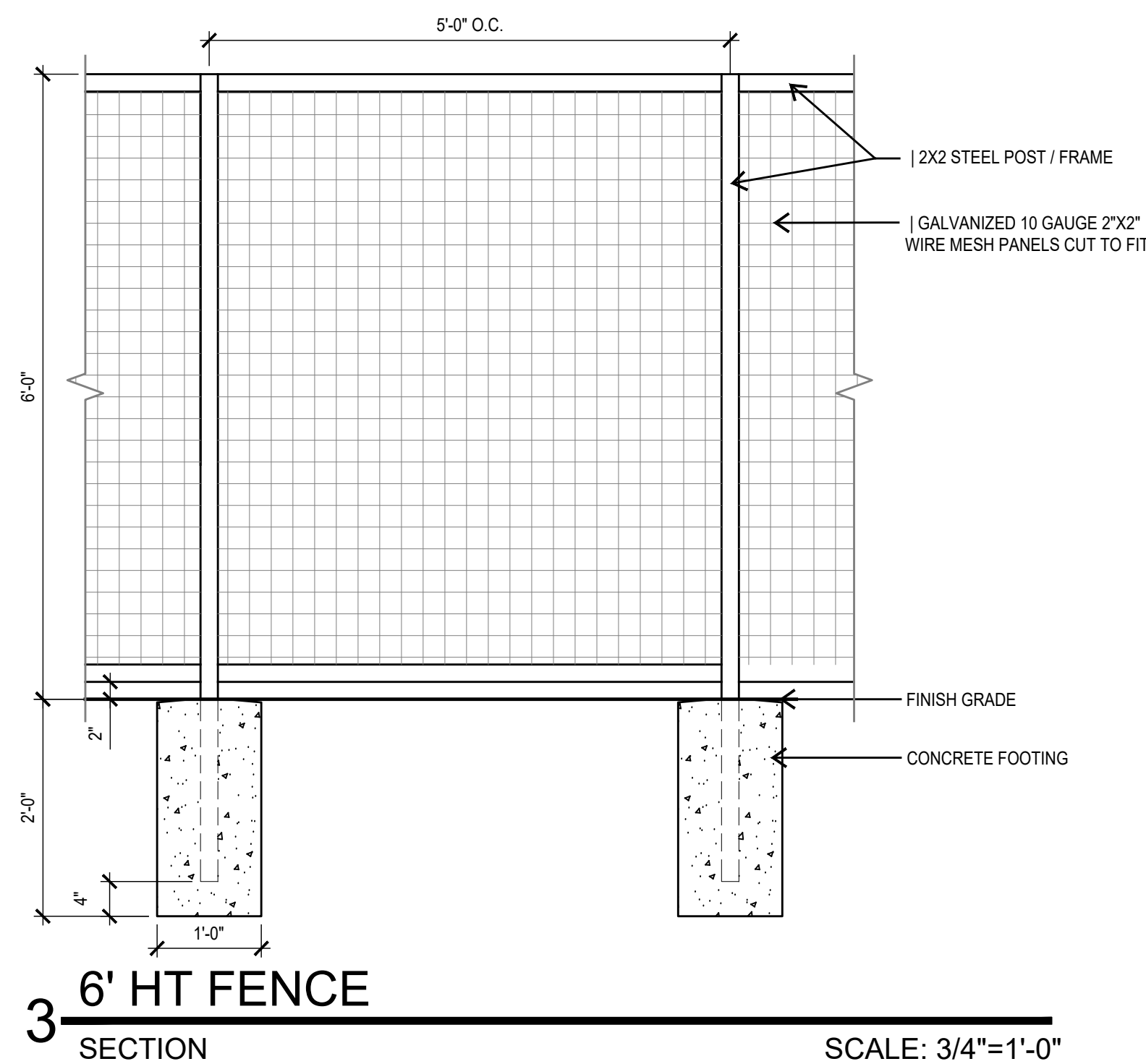
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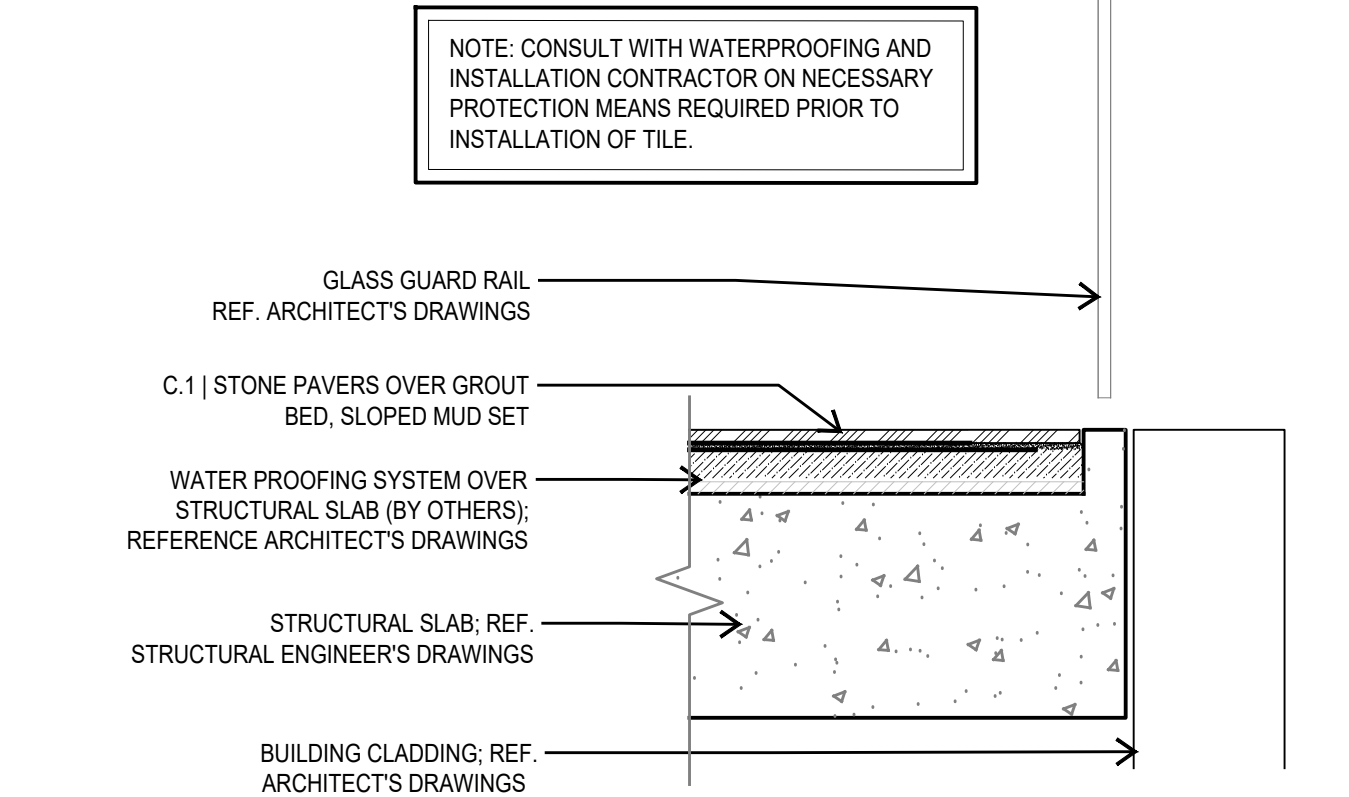
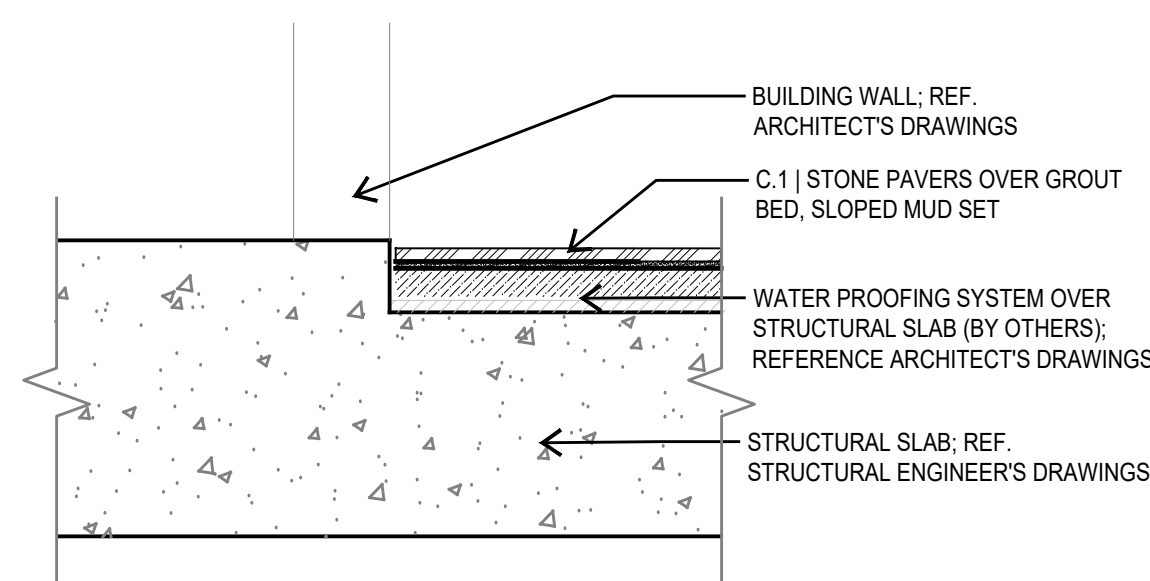
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NOTE: CONSULT WITH WATERPROOFING AND INSTALLATION CONTRACTOR ON NECESSARY PROTECTION MEANS REQUIRED PRIOR TO INSTALLATION OF TILE.



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PROGRESS, PERMIT, AND PRICING  
CONSTRUCTION DOCUMENTS

Project Number

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Description

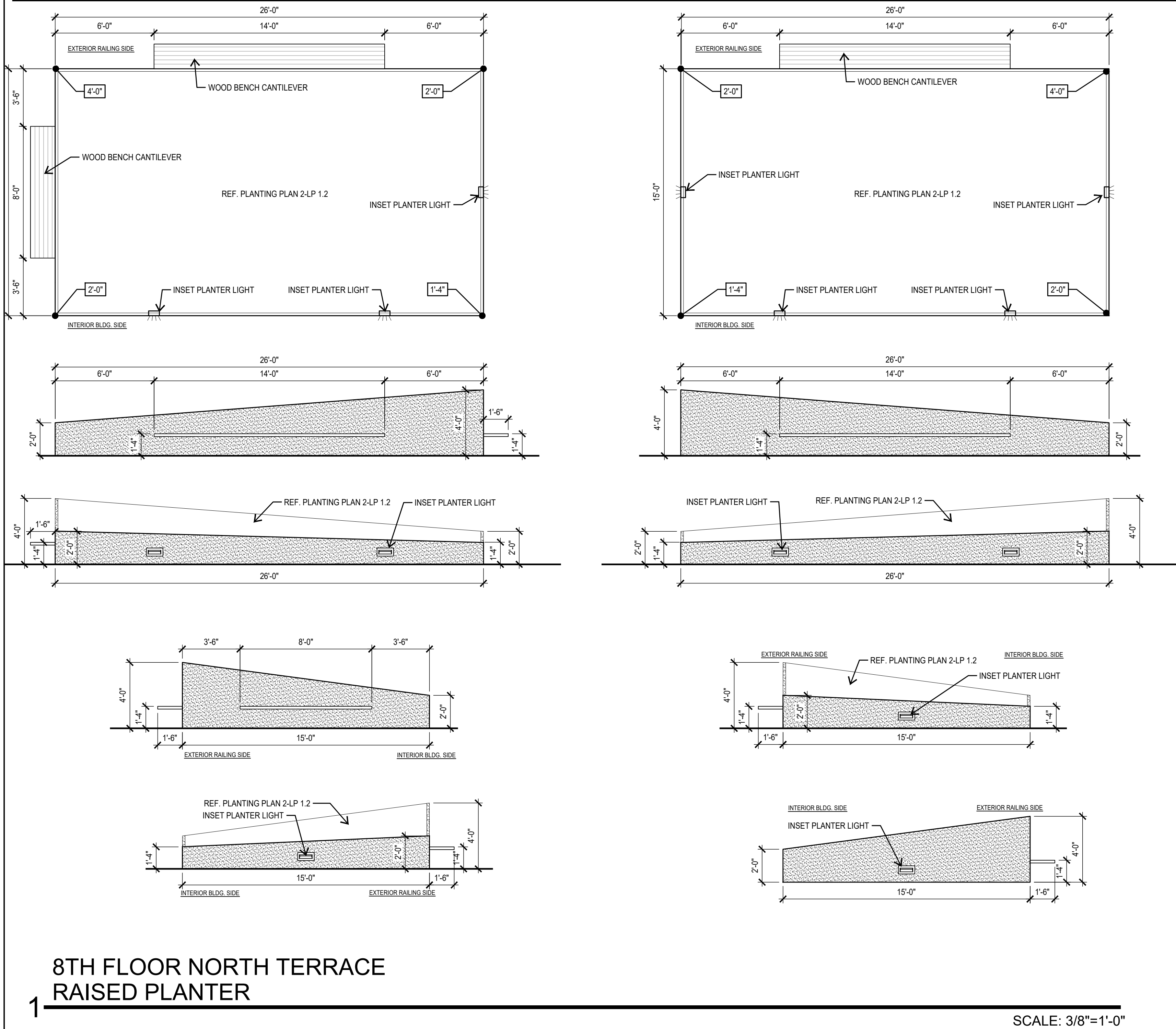
SITE DETAILS

Scale

## 2-LS 2.3

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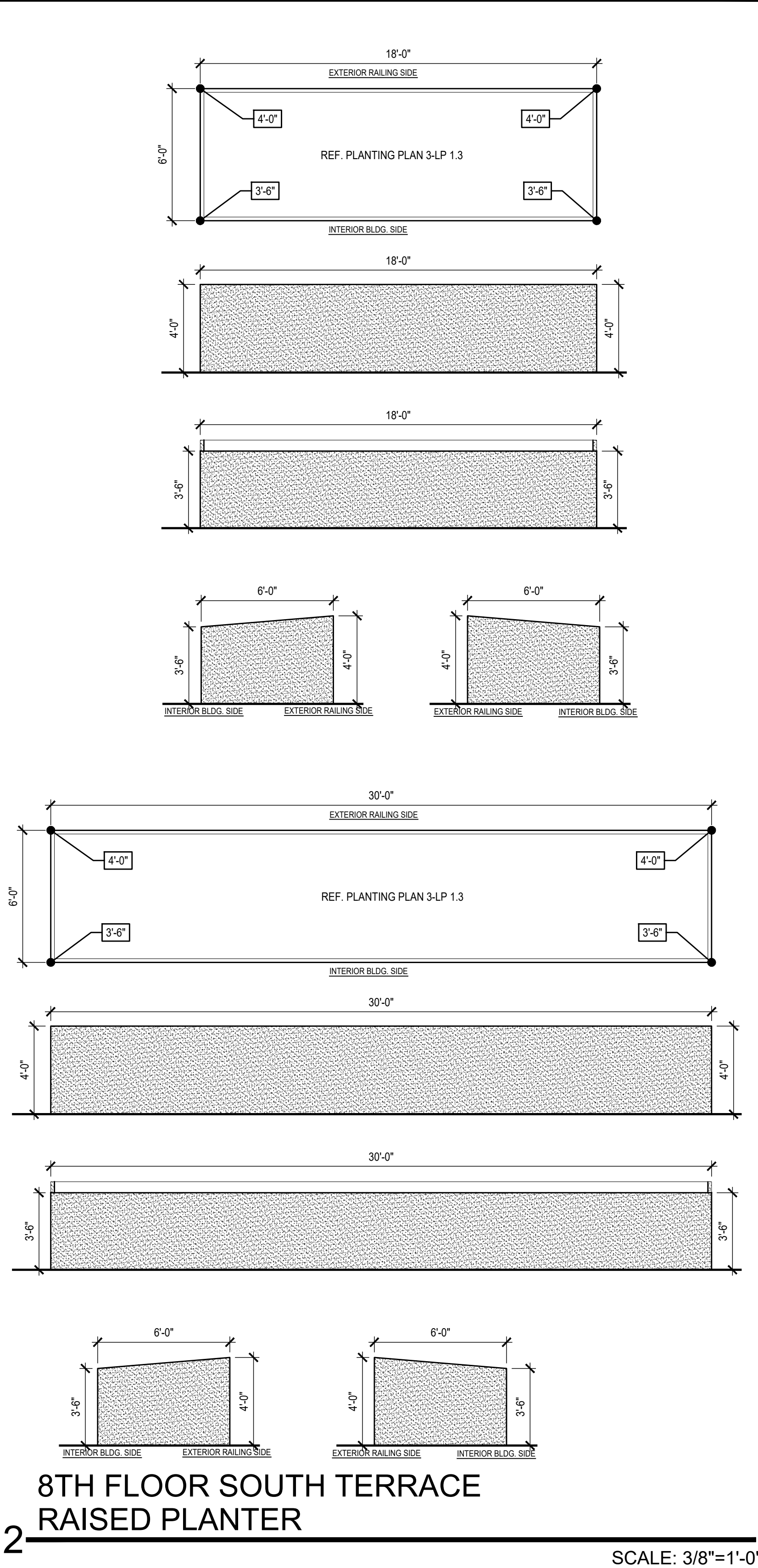




## 8TH FLOOR NORTH TERRACE RAISED PLANTER

1

SCALE: 3/8"=1'-0"



## 8TH FLOOR SOUTH TERRACE RAISED PLANTER

2

SCALE: 3/8"=1'-0"

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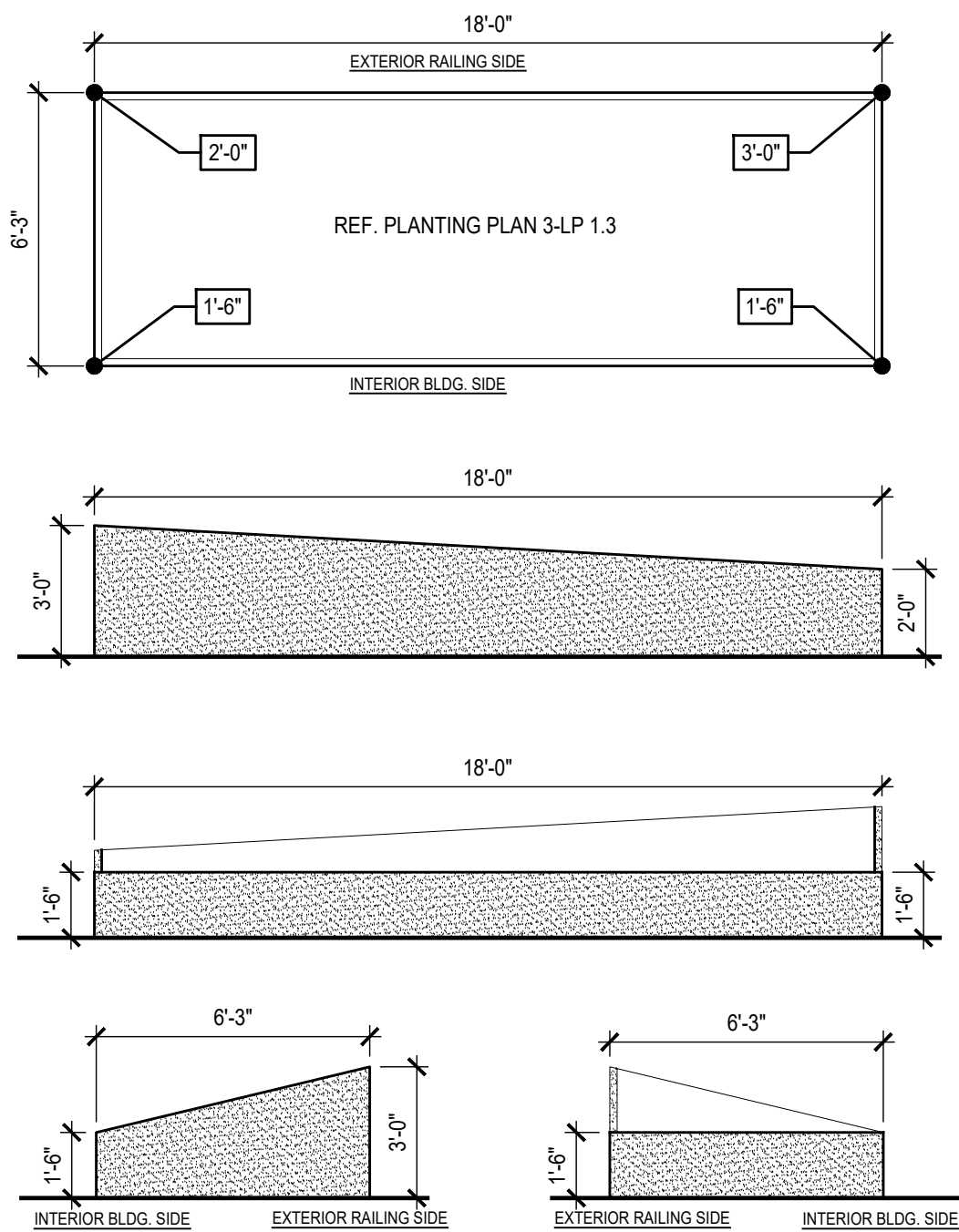
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SITE DETAILS

Scale

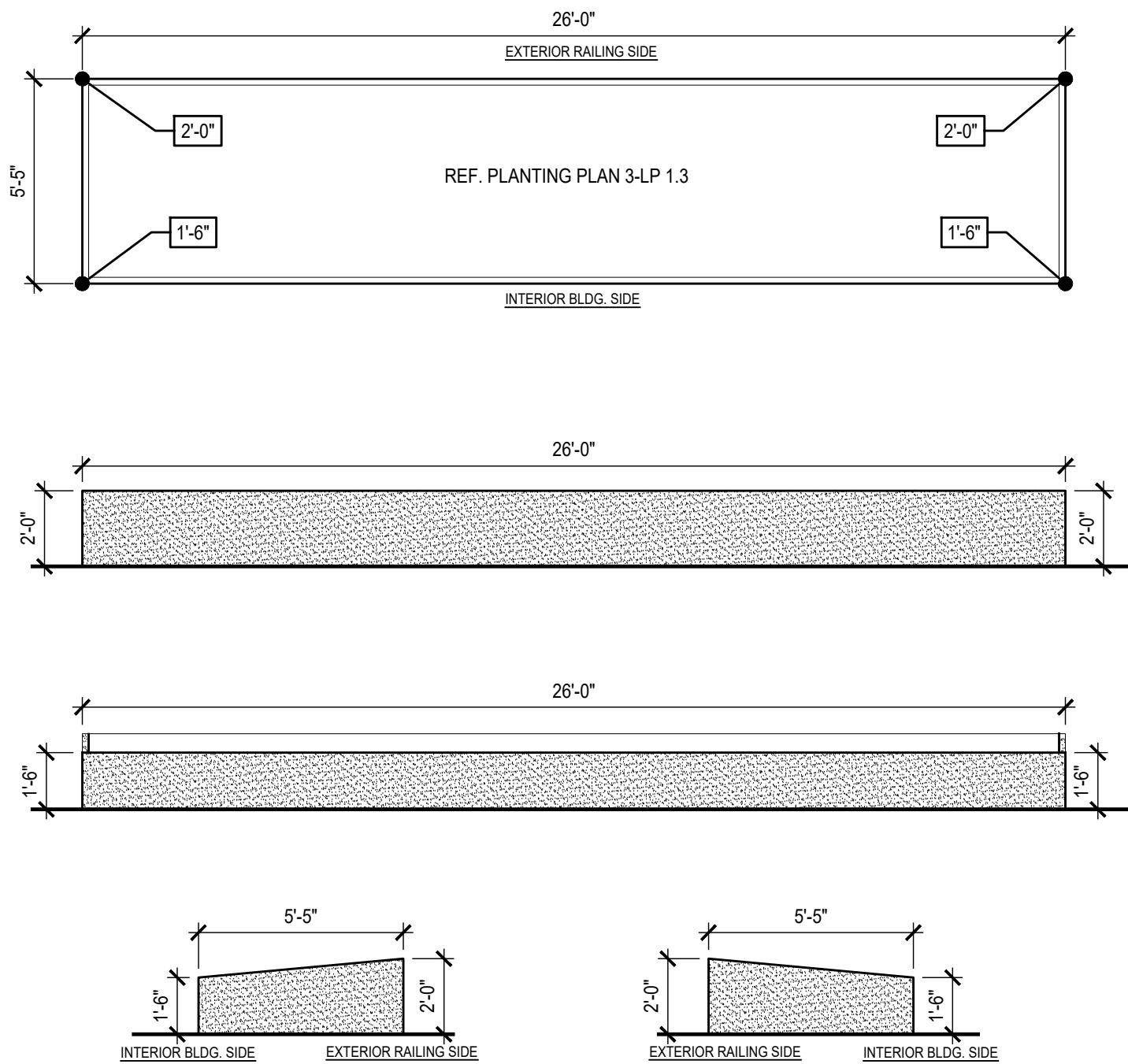
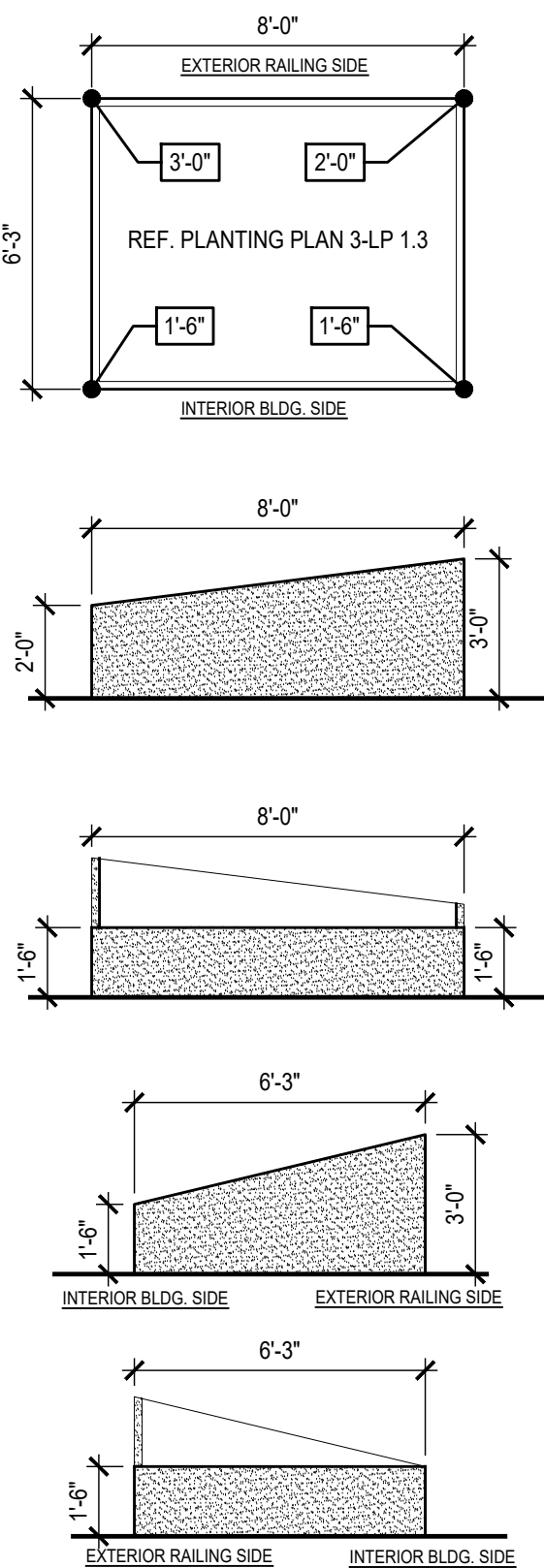
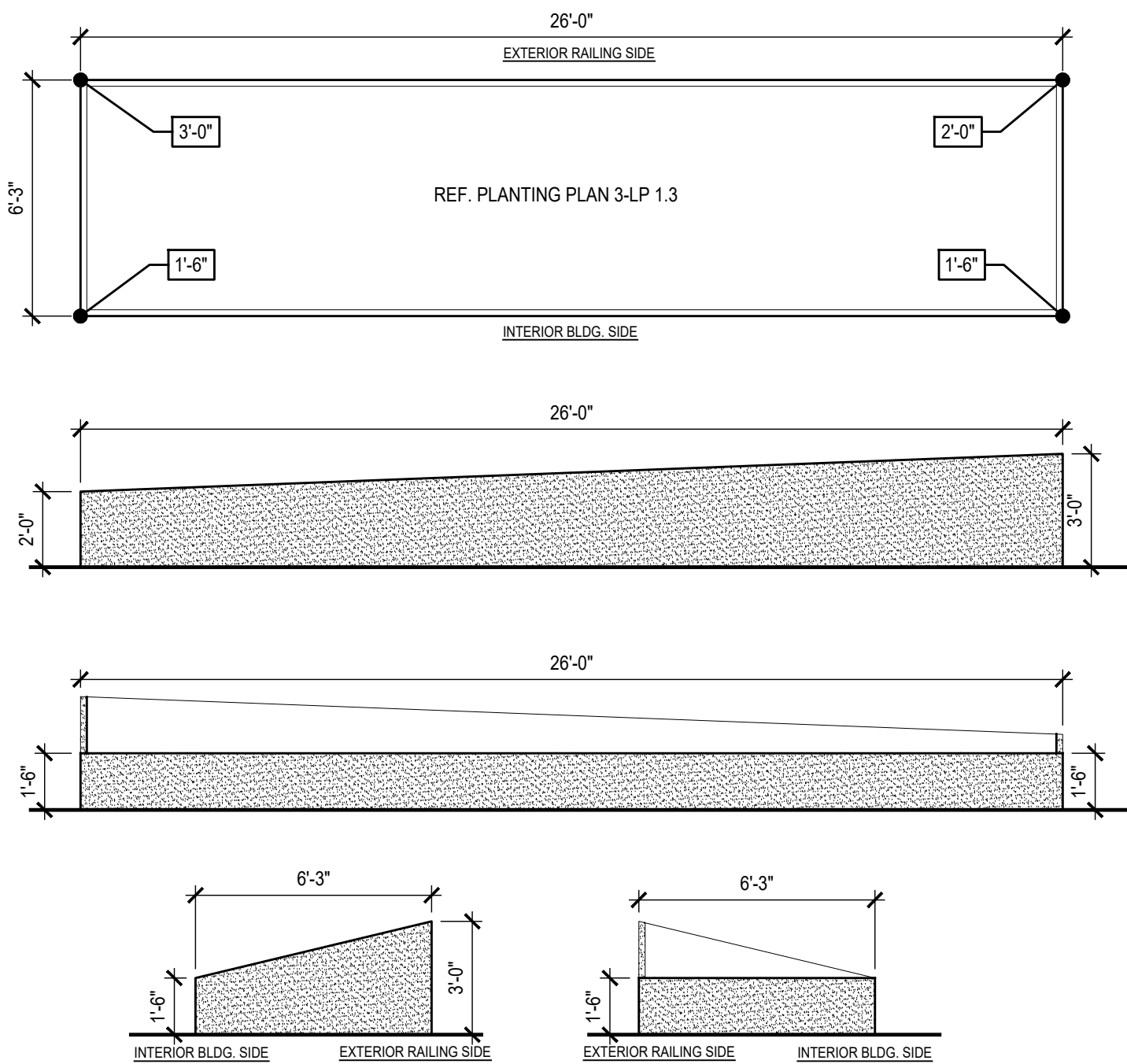
## 2-LS 2.4





1 9TH FLOOR NORTH TERRACE  
RAISED PLANTER

SCALE: 1/4"=1'-0"



2 10TH FLOOR NORTH TERRACE  
RAISED PLANTER

SCALE: 1/4"=1'-0"

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CONSTRUCTION DOCUMENTS

Project Number

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Description

SITE DETAILS

Scale

## 2-LS 2.5



TREE CANOPY ORDINANCE	
<b>MANDATORY CRITERIA:</b>	
1. FINAL TREE CANOPY. SITES MUST PROVIDE A MINIMUM FINAL TREE CANOPY COVER AS AT A MINIMUM 15% TREE CANOPY COVERAGE AS SITE FALLS WITHIN THE CRAG.	
<b>TREE CANOPY REQ.</b> = 57,531 SF AREA X 15% =	<b>8,630 SF REQUIRED</b>
EXISTING TREES: (4) LIVE OAK - 875 SF @ 100%	3,500 SF
PROPOSED TREES: (6) TREE - 1200 SF @ 90%	6,480 SF
(10) TREE - 1200 SF @ 90%	2,475 SF
<b>TOTAL TREE CANOPY COVERAGE</b>	<b>12,455 SF (21%)</b>

1. FINAL TREE CANOPY. SITES MUST PROVIDE A MINIMUM FINAL TREE CANOPY COVER AS AT A MINIMUM 15% TREE CANOPY COVERAGE AS SITE FALLS WITHIN THE CRAG.

TOTAL TREE CANOPY COVERAGE

2,475 SF

**12,455 SF (21%)**

# LANDSCAPE ORDINANCE

---

**1. TREE PRESERVATION:** A MAXIMUM OF FORTY (40) POINTS SHALL BE AWARDED FOR THE PRESERVATION OF EXISTING HEALTHY TREES. FULL CREDIT IN ACCORDANCE WITH THE CRITERIA LISTED BELOW SHALL BE EARNED FOR THE PRESERVATION OF TREES WITHIN THE STREET YARD UP TO THIRTY (30) POINTS. HALF CREDIT MAY BE EARNED FOR PRESERVING TREES WITHIN THE STREET YARD ABOVE THIRTY (30) POINTS. HALF CREDIT MAY ALSO BE EARNED FOR PRESERVING TREES OUTSIDE THE STREET YARD UP TO A MAXIMUM OF FIFTEEN (15) POINTS. THESE POINTS SHALL BE INCLUDED WITHIN THE MAXIMUM FORTY (40) POINTS PERMITTED BY THIS ELECTIVE. POINTS SHALL BE TABULATED FOR EACH TREE RETAINED IN ACCORDANCE WITH THE FOLLOWING CRITERIA: (REF. TP SHEETS FOR TREE LOCATIONS)

- **STREET YARD TREES (FULL CREDIT)**
  - 3 PTS = 101 - 5" CRAPE MYRTLE; 104 - 5" CRAPE MYRTLE; 116 - 4.5" TX. MT. LAUREL = **9 POINTS**
  - 4 PTS = 115 - 10.5" LIVE OAK = **4 POINTS**
  - 6 PTS = 110 - 14.5" LIVE OAK; 114 - 16.5" LIVE OAK = **12 POINTS**

**~ 25 LANDSCAPE POINTS**

**2. UNDERSTORY PRESERVATION: STREET TREES:** FIFTEEN (15) ADDITIONAL POINTS CAN BE EARNED FOR PRESERVATION OF EXISTING VEGETATION ADJACENT TO PARKING LOTS OR BY PLANTING NEW VEGETATION UTILIZING A MIXTURE OF CANOPY TREES WITH UNDERSTORY TREES (SMALL SPECIES) AND LARGE TO SMALL SHRUBS WITH GROUND PLANE PERENNIALS. MINIMUM AREA OF UNDERSTORY PRESERVATION SHALL BE TEN (10) FEET BY TWENTY (20) FEET.

**~ 15 LANDSCAPE POINTS**

**40 LANDSCAPE POINTS TOTAL**

**40 LANDSCAPE POINTS TOTAL**

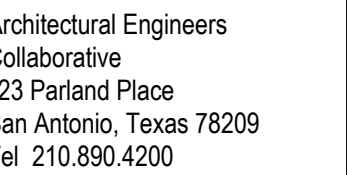
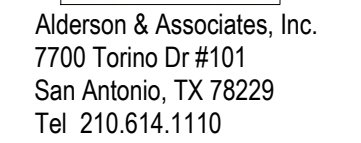
#### 40 LANDSCAPE POINTS TO

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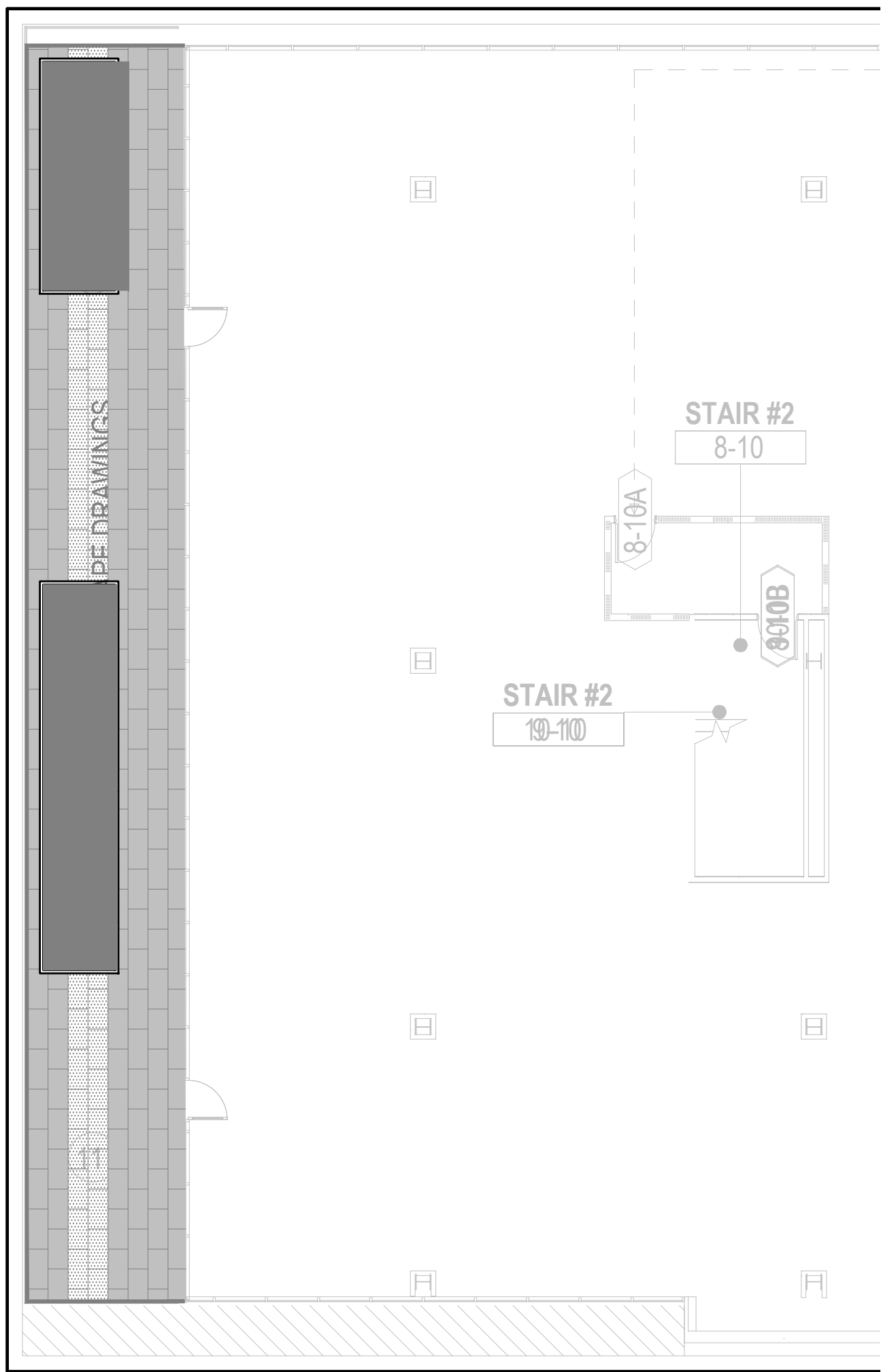
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Scale

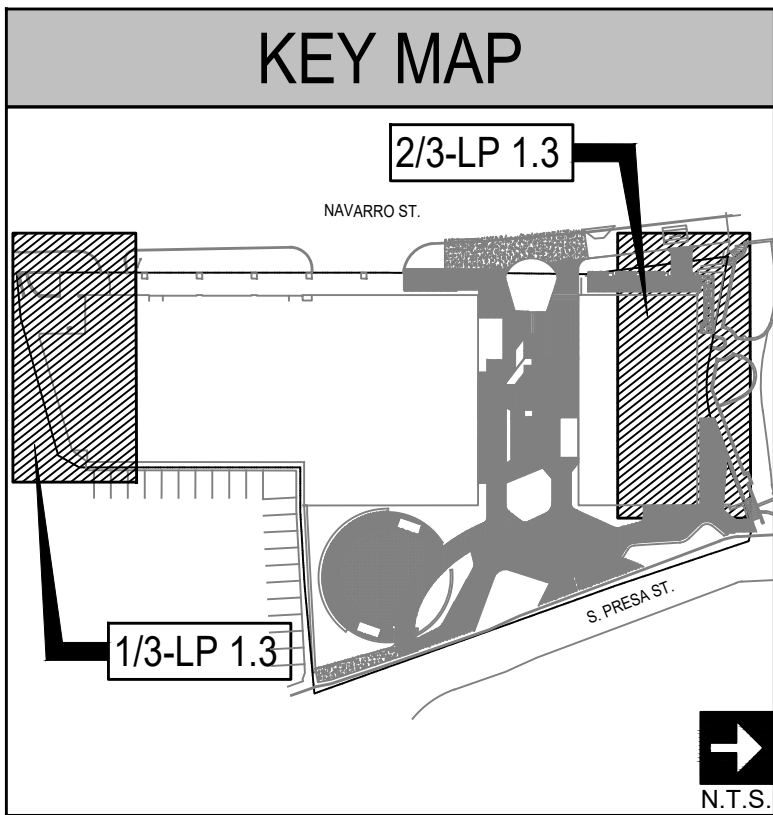
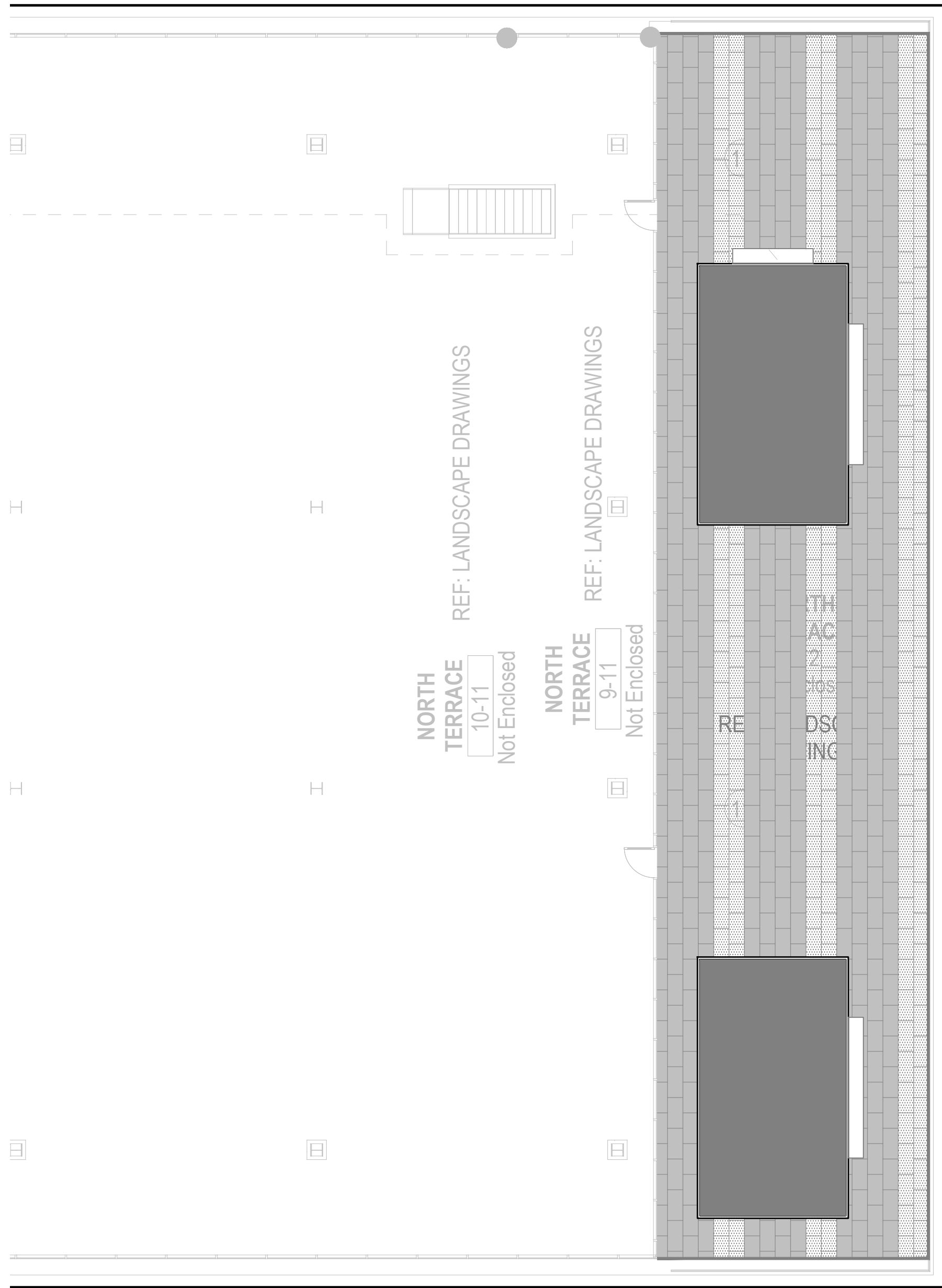
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1 8TH FLOOR SOUTH TERRACE  
PLAN  
SCALE: 1"=10'



2 8TH FLOOR NORTH TERRACE  
PLAN  
SCALE: 1"=10'



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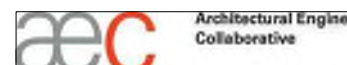
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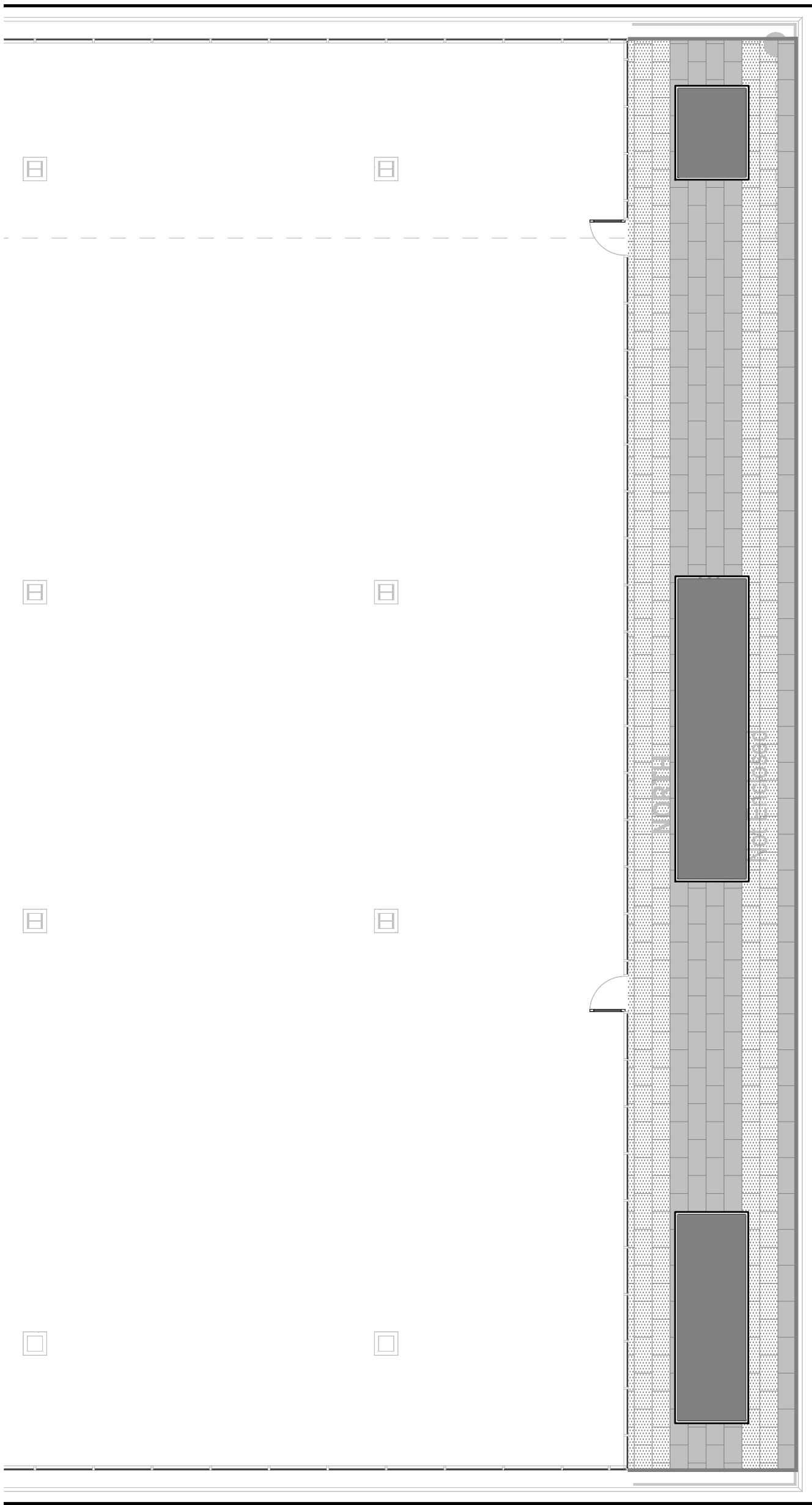
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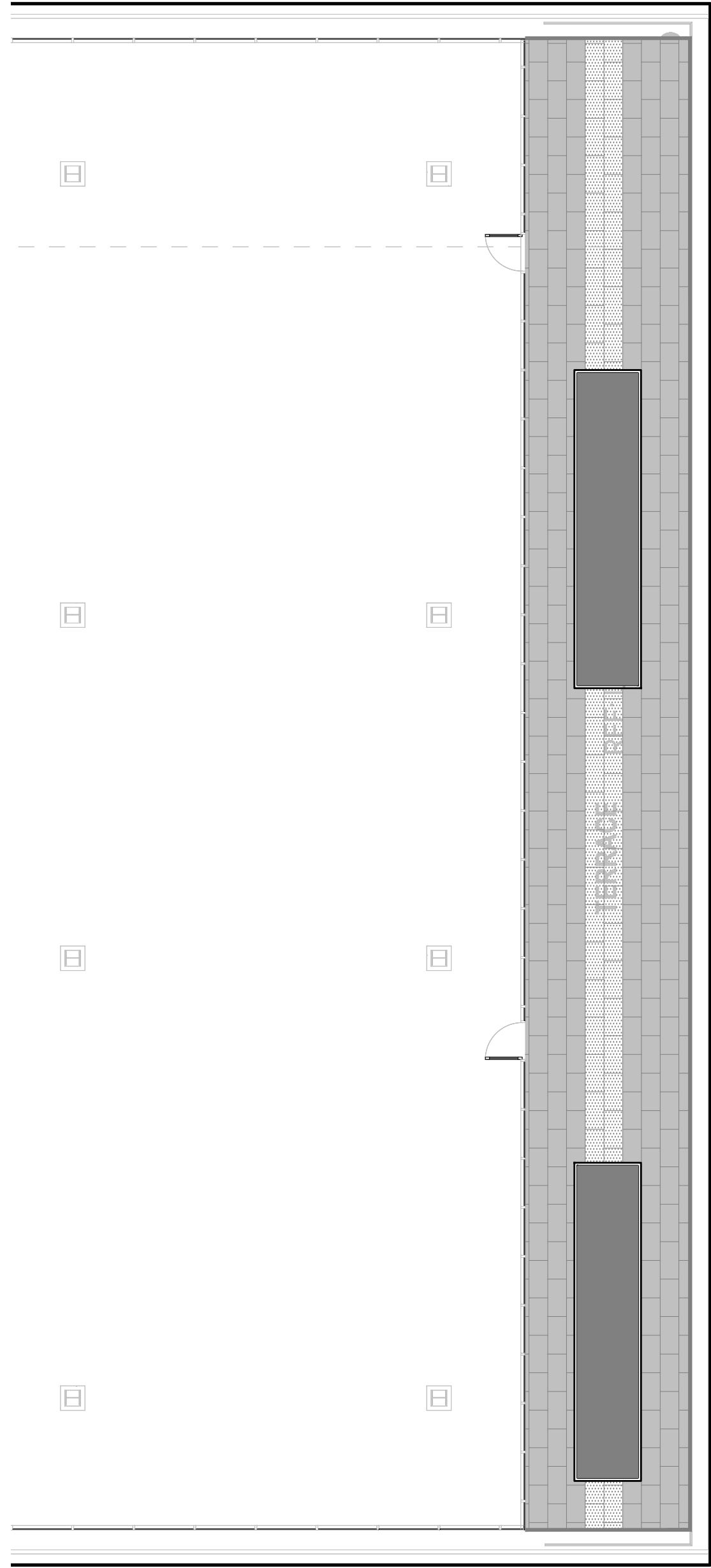
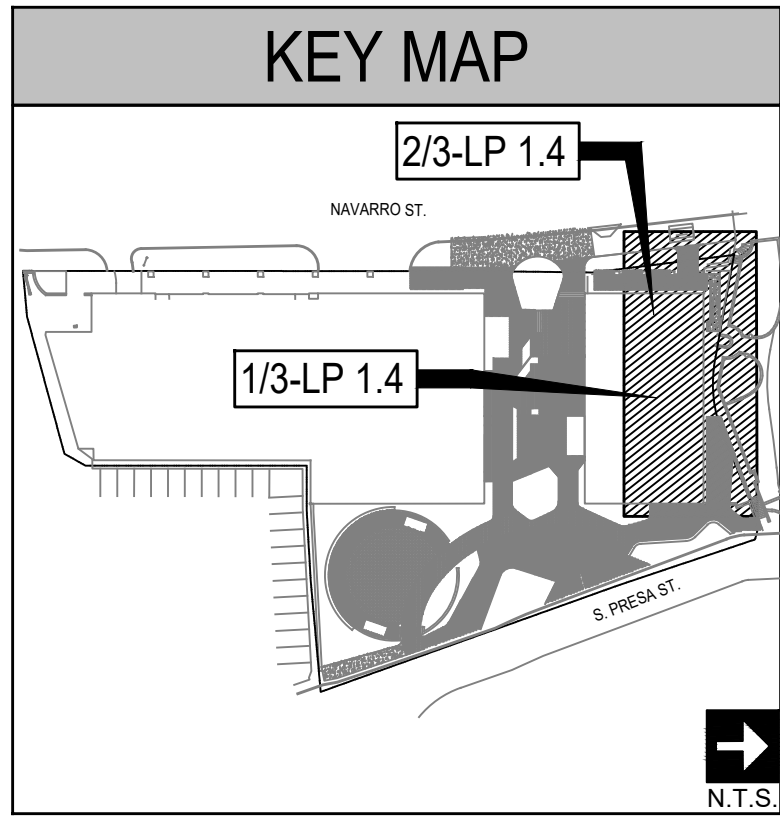
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1 9TH FLOOR TERRACE  
PLAN  
SCALE: 1"=10'



2 10TH FLOOR TERRACE  
PLAN  
SCALE: 1"=10'

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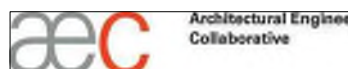
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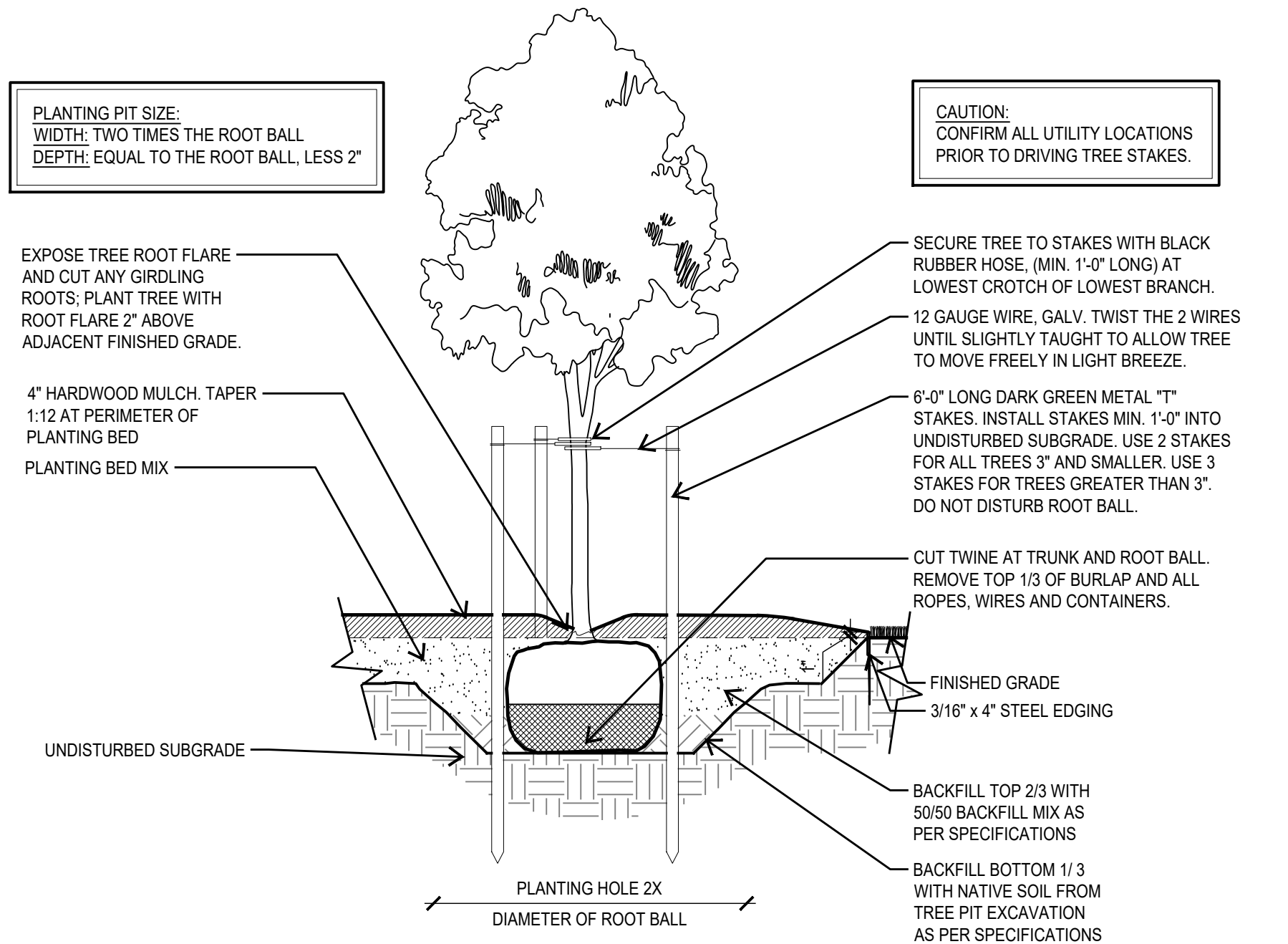
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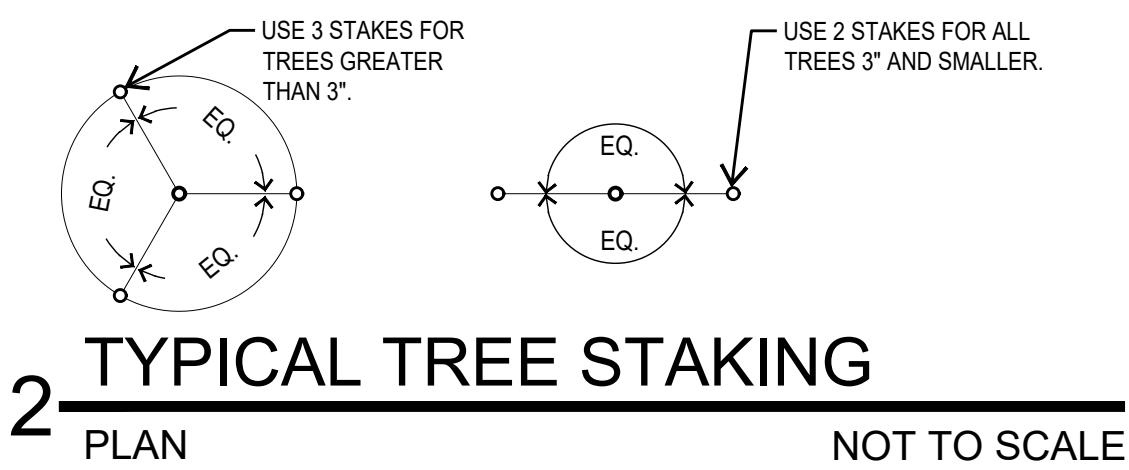
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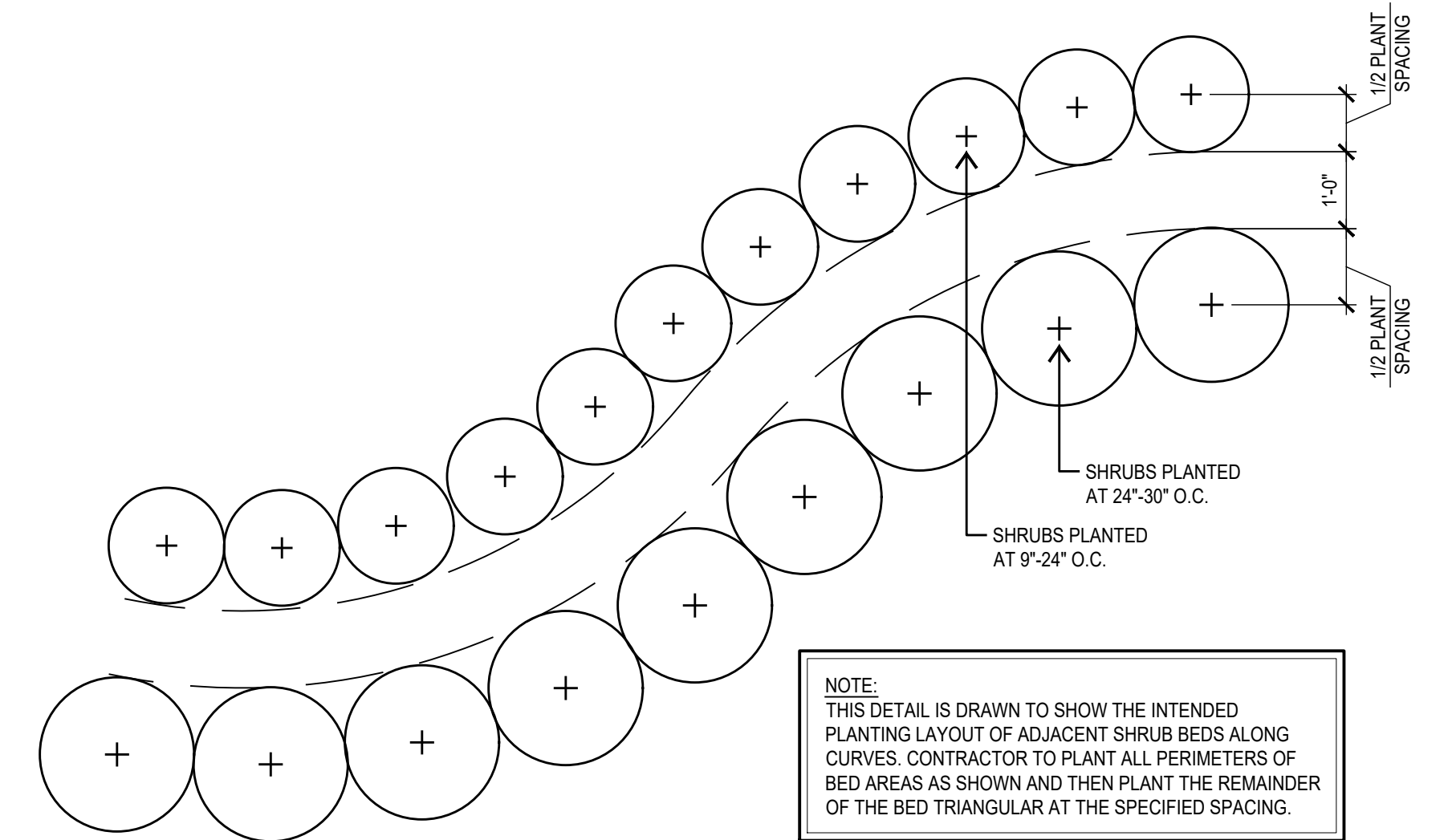




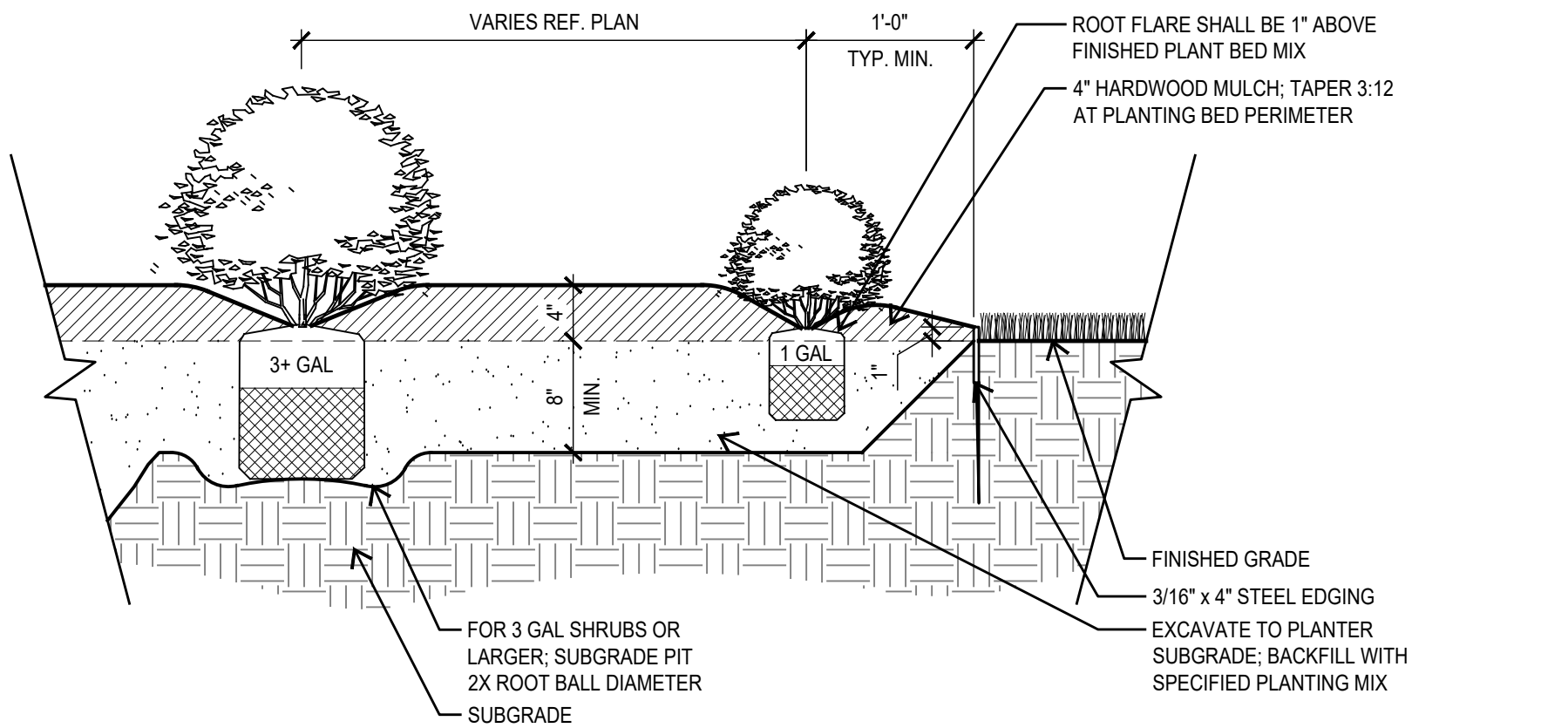
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SECTION NOT TO SCALE



2 TYPICAL TREE STAKING  
PLAN NOT TO SCALE



3 TYPICAL SHRUB SPACING  
PLAN NOT TO SCALE



4 TYPICAL SHRUB PLANTING  
SECTION NOT TO SCALE

## PLANT LIST STREET & RIVER LEVEL

### TREES

CALLOUT	QUANTITY	COMMON NAME BOTANICAL NAME	SIZE	REMARKS
PM	x	MEXICAN SYCAMORE PLATANUS MEXICANA	4" CAL.; MIN 8' HT.; MIN 3" SPRD.	SINGLE TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
OE	x	M - OLIVE OLEA EUROPAEA	2.5" CAL.; MIN 4' HT.; MIN 2" SPRD.	DARK GREEN; FULL; PLANT 72" O.C.

### SHRUBS

CALLOUT	QUANTITY	COMMON NAME BOTANICAL NAME	SIZE	REMARKS
ADM	x	FOXTAIL FERN ASPARAGUS AETHIOPICUS	5 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 36" O.C.
AM	x	SOAP ALOE ALOE MACULATA	3 GAL.; 12" HT. 12" SPRD.	DARK GREEN; FULL; PLANT 36" O.C.
AZ	x	VARIEGATED SHELL GINGER ALPINIA ZERUMBET	5 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 42" O.C.
BI	x	BICOLOR IRIS DIETES BICOLOR	3 GAL.; 12" HT. 12" SPRD.	DARK GREEN; FULL; PLANT 36" O.C.
CI	x	CANNA LILY CANNA INDICA	5 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 42" O.C.
EG	x	GREGGS MISTFLOWER CONOCLINIUM GREGGII	5 GAL.; 18" HT. 18" SPRD.	DARK GREEN; FULL; PLANT 36" O.C.
EH	x	HORSETAIL REED EQUISETUM HYEMALE	3 GAL MIN.; 8" HT. 8" SPRD.	DARK GREEN; FULL; PLANT 24" O.C.
EP	x	SAN PEDRO CACTUS ECHINOPSIS PACHANOI	5 GAL.; 36" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 60" O.C.
LT	x	LEOPARD PLANT FARFUGIUM JAPONICUM	3 GAL.; 18" HT. 18" SPRD.	DARK GREEN; FULL; PLANT 36" O.C.
MAD	x	TURKS CAP MALVALVISCUS ARBOREUS VAR. DRUMMONDII	5 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 60" O.C.
MM	x	MACHO MOCHA MANGAVE MANGAVE 'MACHO MOCHA'	5 GAL.; 18" HT. 18" SPRD.	DARK GREEN; FULL; PLANT 42" O.C.
MSR	x	SIAM RUBY BANANA MUSA 'SIAM RUBY'	5 GAL MIN.; 36" HT. 36" SPRD.	DARK GREEN; FULL; PLANT 60" O.C.
PAJ	x	PASSION VINE PASSIFLORA INCARNATA	3 GAL MIN.; 8" HT. 8" SPRD.	DARK GREEN; FULL STAKED
PQ	x	VIRGINIA CREEPER PARTHENOCISSUS QUINQUEFOLIA	3 GAL MIN.; 8" HT. 8" SPRD.	DARK GREEN; FULL STAKED
SM	x	SEDUM SEDUM TERNATUM	3 GAL.; 6" HT. 12" SPRD.	DARK GREEN; FULL; PLANT 18" O.C.
SP	x	PURPLE HEART TRADESCANTIA PALLIDA	3 GAL.; 6" HT. 12" SPRD.	DARK GREEN; FULL; PLANT 18" O.C.
TJ	x	CONFEDERATE JESSAMINE TRACHELOSPERMUM JASMINOIDES	3 GAL MIN.; 8" HT. 8" SPRD.	DARK GREEN; FULL STAKED
XP	x	PHILODENDRON PHILODENDRON BIPINNATIFIDUM	3 GAL MIN.; 8" HT. 8" SPRD.	DARK GREEN; FULL; PLANT 42" O.C.

## PLANT LIST 4TH FLOOR

### SHRUBS

CALLOUT	QUANTITY	COMMON NAME BOTANICAL NAME	SIZE	REMARKS
ADM	x	FOXTAIL FERN ASPARAGUS AETHIOPICUS	5 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 36" O.C.
BI	x	BICOLOR IRIS DIETES BICOLOR	3 GAL.; 12" HT. 12" SPRD.	DARK GREEN; FULL; PLANT 36" O.C.
CI	x	CANNA LILY CANNA INDICA	5 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 42" O.C.
LT	x	LEOPARD PLANT FARFUGIUM JAPONICUM	3 GAL.; 18" HT. 18" SPRD.	DARK GREEN; FULL; PLANT 36" O.C.
MAD	x	TURKS CAP MALVALVISCUS ARBOREUS VAR. DRUMMONDII	5 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 60" O.C.
MSR	x	SIAM RUBY BANANA MUSA 'SIAM RUBY'	5 GAL MIN.; 36" HT. 36" SPRD.	DARK GREEN; FULL; PLANT 60" O.C.
PQ	x	VIRGINIA CREEPER PARTHENOCISSUS QUINQUEFOLIA	3 GAL MIN.; 8" HT. 8" SPRD.	DARK GREEN; FULL STAKED
SL	x	WOOLY STEMODIA STEMODIA LANATA	3 GAL.; 12" HT. 18" SPRD.	DARK GREEN; FULL; PLANT 24" O.C.
SM	x	SEDUM SEDUM TERNATUM	3 GAL.; 6" HT. 12" SPRD.	DARK GREEN; FULL; PLANT 18" O.C.
SP	x	PURPLE HEART TRADESCANTIA PALLIDA	3 GAL.; 6" HT. 12" SPRD.	DARK GREEN; FULL; PLANT 18" O.C.
XP	x	PHILODENDRON PHILODENDRON BIPINNATIFIDUM	3 GAL MIN.; 8" HT. 8" SPRD.	DARK GREEN; FULL; PLANT 42" O.C.
MH	x	AGARITA MAHONIA TRIFOLIOLATA	3 GAL MIN.; 8" HT. 8" SPRD.	DARK GREEN; FULL; PLANT 36" O.C.
EH	x	HORSETAIL REED EQUISETUM HYEMALE	3 GAL MIN.; 8" HT. 8" SPRD.	DARK GREEN; FULL; PLANT 24" O.C.
PF	x	FIG IVY FICUS PUMILA	3 GAL MIN.; 8" HT. 8" SPRD.	DARK GREEN; FULL STAKED

## BH PROPERTIES

146 Navarro Street; San Antonio, TX 78205



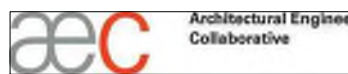
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### REVIEW SET

FOR REVIEW ONLY  
Not for regulatory approval,  
permitting or construction

Seal / Signature

Project Name

146 Navarro Repositioning  
PROGRESS, PERMIT, AND PRICING  
CONSTRUCTION DOCUMENTS

Project Number

122.0039.000

Description

PLANTING DETAILS

Scale

## 2-LP 2.1



PRESSURE REQUIREMENT CALCULATIONS @ ZONE No. XX	
DESIGN STATISTICS FOR CALCULATIONS	
Total Zone Flow:	
Electric Valve Size:	
Static Pressure Less 10% (static @ 65 psi):	
ACCUMULATIVE LOSSES FROM CITY MAIN TO FURTHEST HEAD	
Sprinkler head requirement:	
Zone Pipe/Fitting Loss:	
1.5" Electric Valve Loss:	
Elevation Net Loss (+/- FT.):	
System Mainline Loss (2.5" Sch-40 Loop Main):	
Backflow Preventer Loss ( 1.5" ):	
Water Meter Loss ( 1.5" ):	
Master Electric Valve Loss:	
Type K Copper Service Loss:	
Total Net Loss:	
Design Pressure:	
Notes: System requires a minimum of XX psi static pressure for system to operate properly. Irrigation Contractor shall conduct on site pressure test to verify site pressure prior to starting work. Contractor shall notify Owner's Representative of pressure deficiencies or any other on site problems that may alter the effectiveness of the system. Pipe has been size to insure that velocity does not exceed 5 FPS. do not change pipe size in the field without consulting system designer.	

PRESSURE REQUIREMENT CALCULATIONS @ ZONE No. XX	
DESIGN STATISTICS FOR CALCULATIONS	
Total Zone Flow:	
Electric Valve Size:	
Static Pressure Less 10% (static @ 65 psi):	
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System Mainline Loss (2.5" Sch-40 Loop Main):	
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#### CONSTRUCTION NOTES:

- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH THE SPECIFICATIONS AND ALL SUBMITTAL REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO NOTIFY THE OWNER'S REPRESENTATIVE FOR SITE INSPECTIONS AS SPECIFIED IN THE SPECIFICATIONS. FAILURE TO NOTIFY THE OWNER'S REPRESENTATIVE DOES NOT RELIEVE THE CONTRACTOR FROM INSPECTION APPROVAL AND WILL REQUIRE THE CONTRACTOR TO UNCOVER WORK AS REQUIRED FOR APPROVAL AT THE COST OF THE CONTRACTOR. IRRIGATION CONTRACTOR IS TO INFORM OWNERS REPRESENTATIVE OF THE START DATE OF WORK.
- THE IRRIGATION CONTRACTOR IS REQUIRED BY LAW TO NOTIFY TEXAS ONE CALL (800-245-4545) 72 HOURS PRIOR TO ANY EXCAVATION. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. IRRIGATION CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES WHETHER OR NOT TEXAS ONE CALL IS NOTIFIED.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WITHOUT VERIFYING ACTUAL ON-SITE WATER PRESSURE FROM THE SOURCE. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS AS REQUIRED TO ACCOMPLISH IRRIGATION INSTALLATION.
- DUE TO SCALE OF DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS SLEEVES, ETC., WHICH MAY BE REQUIRED. IRRIGATION CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF HIS WORK AND PLAN HIS WORK ACCORDINGLY, FURNISHING SUCH FITTINGS, ETC., AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THE WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEM, PLANTING AND ARCHITECTURAL FEATURES. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS AND WITHIN PROPERTY LINES.
- DURING INSTALLATION IT IS THE IRRIGATION CONTRACTOR'S RESPONSIBILITY TO COORDINATE PIPING WITH THE LANDSCAPE SUBCONTRACTOR TO AVOID CONFLICT WITH PROPOSED PLANTING. IT WILL BE THE RESPONSIBILITY OF THE IRRIGATION SUBCONTRACTOR TO MOVE PIPING TO ALLOW PROPER PLACEMENT OF PLANT MATERIAL. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER.
- NO MACHINE TRENCHING IS TO BE DONE WITHIN THE DRIPLINE OF EXISTING TREES. TRENCHING IS TO BE DONE BY HAND, AIR-SPADE OR BY TUNNELING UNDER ROOT SYSTEM BY METHOD APPROVED BY LANDSCAPE ARCHITECT. PIPING LAYOUT IS DIAGRAMMATIC AND PIPING SHALL BE ROUTED AROUND EXISTING TREES AS POSSIBLE TO AVOID DAMAGE TO THE ROOT SYSTEMS. DO NOT CUT ANY ROOT OVER 3/4" DIAMETER UNLESS APPROVAL FROM THE LANDSCAPE ARCHITECT IS FIRST OBTAINED. ANY CUTS MADE SHALL BE CLEAN AND WITHOUT FRAVED ENDS.
- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR SLEEVES AND CHASES WHEREVER PIPING OR CONDUIT PASSES, UNDER ALL PAVING, THROUGH WALLS, ETC. ALL SLEEVE LOCATIONS MAY NOT BE SHOWN ON PLAN. COORDINATE WITH ARCHITECTURAL AND CIVIL DRAWINGS. GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS AS REQUIRED. ALL SLEEVE AND CHASE LOCATIONS ARE NOT NOTED ON PLAN. ALL SLEEVES 4" OR LESS SHALL BE SCH-40 PVC. ALL SLEEVES 6" OR GREATER SHALL BE CLASS-200 PVC. ALL SLEEVES TO BE SIZED TWICE THE DIAMETER OF PIPE OR COMBINATION OF PIPES ENCLOSED WITHIN THE SLEEVE.
- CONFIRM STATIC WATER PRESSURE AT LEAST 7 DAYS BEFORE BEGINNING WORK. IF STATIC WATER PRESSURE IS LESS THAN STATED IN PRESSURE CALCULATIONS DO NOT PROCEED UNTIL DIRECTED SO BY THE LANDSCAPE ARCHITECT. IF ACTUAL SITE STATIC PRESSURE EXCEEDS DESIGN PRESSURE BY 15 P.S.I. IN ANY ZONE, A PRESSURE REDUCING VALVE SHALL BE INSTALLED. REFER TO DETAILS FOR MODEL.
- ADJUSTABLE FLOW CONTROLS SHALL BE REQUIRED ON CIRCUIT REMOTE CONTROL VALVE. PRESSURE AT ANY POINT WITHIN A ZONE SHALL NOT VARY BY MORE THAN 10% FROM THE DESIGN SPRINKLER OPERATING PRESSURE. SEE SPECIFICATIONS FOR TESTING.
- THE CONTRACTOR SHALL BE A REGISTERED LICENSED IRRIGATOR IN THE STATE OF TEXAS. CONTRACTOR MUST CONFORM TO ALL CODES AS STATED IN SECTION 344 OF THE TEXAS WATER CODE AS OUTLINED BY TCEQ.
- OBTAIN COVERAGE TEST APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO PLANTING, SODDING OR SEEDING.
- ALL UNDESIGNATED END LATERAL PIPING SHALL BE ½" IN SPRAY ZONES AND ¾" IN ROTOR ZONES.
- SPRINKLER HEAD SPACING SHALL NOT EXCEED 50% OF SPRAY DIAMETER BASED ON MANUFACTURERS OPERATING SPECIFICATIONS. SPRINKLER HEAD SPACING SHALL BE DESIGNED FOR HEAD-TO-HEAD COVERAGE OR HEADS SHALL BE SPACED AS PER MANUFACTURER'S RECOMMENDATIONS AND ADJUSTED FOR PREVAILING WINDS. THE SYSTEM SHALL BE DESIGNED SO THAT IRRIGATION IS NOT APPLIED TO VEHICULAR TRAFFIC LANES, OTHER PAVEMENT OR STRUCTURES.
- ALL ROTORS SHALL BE LOCATED 12" FROM PAVEMENT, CURBS OR EDGE OF STRUCTURE, ALL SPRAY HEADS SHALL BE LOCATED 6" FROM PAVEMENT, CURBS OR EDGE OF STRUCTURE.
- VALVE AND CIRCUITS SHALL BE SEPARATED BASED ON WATER USE, SO THAT TURF AREAS ARE WATERED SEPARATELY FROM SHRUB AND GROUND COVER AREAS. IRRIGATION HEADS IN THE TURF AREAS WILL BE VALVED SEPARATELY FROM SHRUB AND/OR GROUND COVER AREAS. IT IS RECOMMENDED THAT SEASONAL COLOR AREAS BE WATERED SEPARATELY. UNDER NO CIRCUMSTANCES ARE ZONE TYPES TO BE COMBINED I.E. ROTARY HEADS WITH SPRAYS, TURF AREAS WITH PLANTING BEDS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO CONFIRM STATIC PRESSURE ON SITE PRIOR TO STARTING WORK. REFER TO NOTES #9 AND #10.
- IT IS THE IRRIGATION CONTRACTOR'S RESPONSIBILITY TO SECURE ALL REQUIRED PERMITS AND PAY ALL ASSOCIATED FEES UNLESS OTHERWISE NOTED. ALL LOCAL CODES SHALL PREVAIL OVER ANY DISCREPANCIES CONTAINED IN THESE DOCUMENTS.
- UNSLEEVED PIPES MAY BE SHOWN UNDER PAVEMENT FOR GRAPHIC CLARITY. INSTALL PIPES IN ADJACENT SLEEVES WITHIN LANDSCAPE AREAS.
- 120 VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER WITH A HARDWIRE CONNECTION APPROVED AND INSTALLED BY A LICENSED ELECTRICIAN.
- SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE CIRCUIT.
- SERVICEABLE CHECK VALVES SHALL BE REQUIRED ADJACENT TO PAVED AREAS WHERE ELEVATION DIFFERENCES MAY CAUSE LOW HEAD DRAINAGE.
- ALL AUTOMATIC IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH A CONTROLLER CAPABLE OF DUAL OR MULTIPLE PROGRAMMING. CONTROLLERS SHALL HAVE MULTIPLE CYCLE START CAPACITY AND A FLEXIBLE CALENDAR PROGRAM, INCLUDING THE CAPABILITY OF BEING SET TO WATER EVERY FIVE DAYS. ALL AUTOMATIC IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH A RAIN SENSOR SHUT-OFF DEVICE.
- ALL IRRIGATION WIRES SHALL BE UL LISTED FOR DIRECT UNDERGROUND BURIAL AND SHALL BE SIZED PER THE MANUFACTURER'S RECOMMENDATIONS. 3M-DBY WATERPROOF CONNECTORS TO BE USED ON ALL WIRE CONNECTIONS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT.
- ALL IRRIGATION HEADS SHALL BE ADJUSTED TO MINIMIZE OVER-SPRAY ONTO ALL IMPERVIOUS SURFACES.
- ALL PIPE CONNECTIONS SHALL BE PRIMED WITH AN APPROVED COLOR PRIMER BEFORE BEING CHEMICAL WELDED.
- AFTER AWARD OF CONTRACT AND BEFORE ANY IRRIGATION SYSTEM MATERIALS ARE ORDERED FROM SUPPLIERS OR DELIVERED TO THE JOB SITE, SUBMIT TO THE OWNER A COMPLETE LIST OF ALL IRRIGATION SYSTEM MATERIALS, OR PROCESSES PROPOSED TO BE FURNISHED AND INSTALLED AS PART OF THIS CONTRACT. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE WILL ALLOW NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN ACCEPTANCE. MANUFACTURER'S WARRANTIES SHALL NOT RELIEVE THE CONTRACTOR OF HIS LIABILITY UNDER THE GUARANTEE. SUCH WARRANTIES SHALL ONLY SUPPLEMENT THE GUARANTEE.
- IRRIGATION CLOSEOUT DOCUMENTS SHALL INCLUDE A WATER BUDGET. A LAMINATED COPY OF THE WATER BUDGET SHALL BE PERMANENTLY INSTALLED INSIDE THE IRRIGATION CONTROLLER DOOR.

A. CHART CONTAINING ZONE NUMBER, PRECIPITATION RATE AND GPM.

B. LOCATION OF EMERGENCY IRRIGATION SYSTEM SHUT-OFF VALVE.

## 2 NOTES

#### EXISTING EQUIPMENT

- W** EXISTING IRRIGATION WATER METER - NOT SHOWN ON PLANS
- D** EXISTING BACKFLOW DEVICE - NOT SHOWN ON PLANS
- M** EXISTING MASTER VALVE - NOT SHOWN ON PLANS
- C** EXISTING CONTROLLER - TO BE REPLACED
- N** EXISTING WEATHER SENSOR - TO BE REPLACED

THE CONTRACTOR SHALL FIELD LOCATE THE IRRIGATION METER, BACKFLOW AND MASTER VALVE. TO ENSURE PROPER FUNCTION AND CAPACITY FOR EXPANSION BEFORE PROCEEDING

#### NEW EQUIPMENT

- C** CONTROLLER - HUNTER PRO-HC CONTROLLER, FINAL LOCATION IS TO BE DETERMINED AFTER CONSULTING WITH LANDSCAPE ARCHITECT.
- N** WEATHER SENSOR - HUNTER WIRELESS RAIN/FREEZE SENSOR, FINAL LOCATION IS TO BE DETERMINED AFTER CONSULTING WITH LANDSCAPE ARCHITECT.
- BF** DOUBLE CHECK BACKFLOW DEVICE, 3/4" WATTS 009 PER LOCAL CODES.
- M** MASTER VALVE, HUNTER ICV-101G NORMALLY CLOSED VALVE
- C** CONTROLLER - HUNTER PRO-HC CONTROLLER, FINAL LOCATION IS TO BE DETERMINED AFTER CONSULTING WITH LANDSCAPE ARCHITECT.
- N** WEATHER SENSOR - HUNTER WIRELESS RAIN/FREEZE SENSOR, FINAL LOCATION IS TO BE DETERMINED AFTER CONSULTING WITH LANDSCAPE ARCHITECT.
- 1** INSTALL TWO ROWS OF DRIP LINE EVENLY SPACED. USE TLHCVXR7-18. IF BED AREA EXCEEDS 36", INSTALL THREE ROWS EVENLY SPACED. INSTALL STAPLES @ MAX. 3' O.C TO SECURE
- NETAFIM DRIP CONTROL ZONE VALVE - REFERENCE DETAILS
- ☛** REMOTE CONTROL VALVE, HUNTER ICV-AS-ADJ. SIZE AS INDICATED ON PLANS
- HUNTER HQ-33-DRC QUICK COUPLING VALVE WITH HK-33 KEY
- ▶** MANUAL VALVE- SIZE OF MAINLINE
  - ZONE IDENTIFICATION
  - ZONE SIZE IN GALLONS PER MINUTE
  - VALVE SIZE THIS ZONE
- ZONE IDENTIFICATION
  - ZONE SIZE IN GALLONS PER MINUTE
- HATCH PATTERN INDICATES BED/TURF AREAS TO BE INCLUDED THIS ZONE
- VALVE SIZE THIS ZONE
- DRIPLINE: NETAFIM TLHCVXR7-18 FOR SURFACE PLANTING BEDS, ROWS SPACED AT 18 INCHES
- NETAFIM TLHCVXR7-12 FOR SUBSURFACE TURF, ROWS SPACED AT 12 INCHES
- NETAFIM TLHCVXR7-12 FOR SLOPES GREATER THAN 3:1
- DRIP SUPPLY LINE, SCH 40 PVC, SIZE PER PLAN.
- ☛** TREE BUBBLER ASSEMBLY ON 6" POP UP
- MAIN LINE - USE SCH-40 PVC PIPE, SIZE AS INDICATED ON PLANS
- 1-1/2"** LATERAL LINE - USE CLASS 315 ON 1/2" PIPE AND CLASS 200 IPS PVC ON 3/4" AND LARGER PIPE. DO NOT DEViate ON SIZING WITHOUT CONSULTING WITH PROJECT DESIGNER.
- ▨** SLEEVE - USE TWO (2) SIZES LARGER THAN SPRINKLER PIPE DESIGNATED FOR CROSSING PAVING ON ALL LATERAL LINES. USE SCH-40 PVC PIPE, VALVE WIRING MAY BE RUN IN THE SAME SLEEVES.
- NOTE: REFER TO SHEET LI 2.1 to LI 2.2 FOR DETAILS

FIELD LOCATE BY STAKING, THE CONTROLLER, WATER METER, BACKFLOW DEVICE, MASTER VALVE AND FLOW SENSOR FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

## 1 LEGEND

#### STATEMENT OF IRRIGATION DESIGN STANDARDS CONFORMITY:

This plan is complete and conforms to the design and installation parameters of the irrigation design and equipment standards set out 35-510(j) and 35-511(c)(6) of the City of San Antonio Unified Development Code.

*Wade O. Radlet*

Wade O. Radlet TX LI # 22397

#### SPECIAL NOTES:

- THE IRRIGATION CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE MANDATED IRRIGATION ORDINANCES AND CODES AND WILL SECURE ALL REQUIRED PERMITS.
- ALL WIRES, CONTROL VALVES, AND PRESSURIZED WATER SUPPLY LINES SHALL NOT BE LOCATED WITHIN THE EXISTING ROW OR OUTSIDE PROPERTY BOUNDARIES.

"Irrigation in Texas is regulated by the Texas Commission on Environmental Quality (TCEQ), MC-178, PO Box 13087, Austin, Texas 78711-3087 TCEQ's website is: www.tceq.state.tx.us"

# BH PROPERTIES

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Description

IRRIGATION NOTES AND LEGEND

Scale



LI1.0

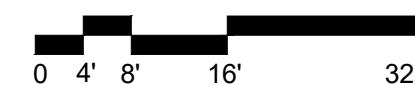
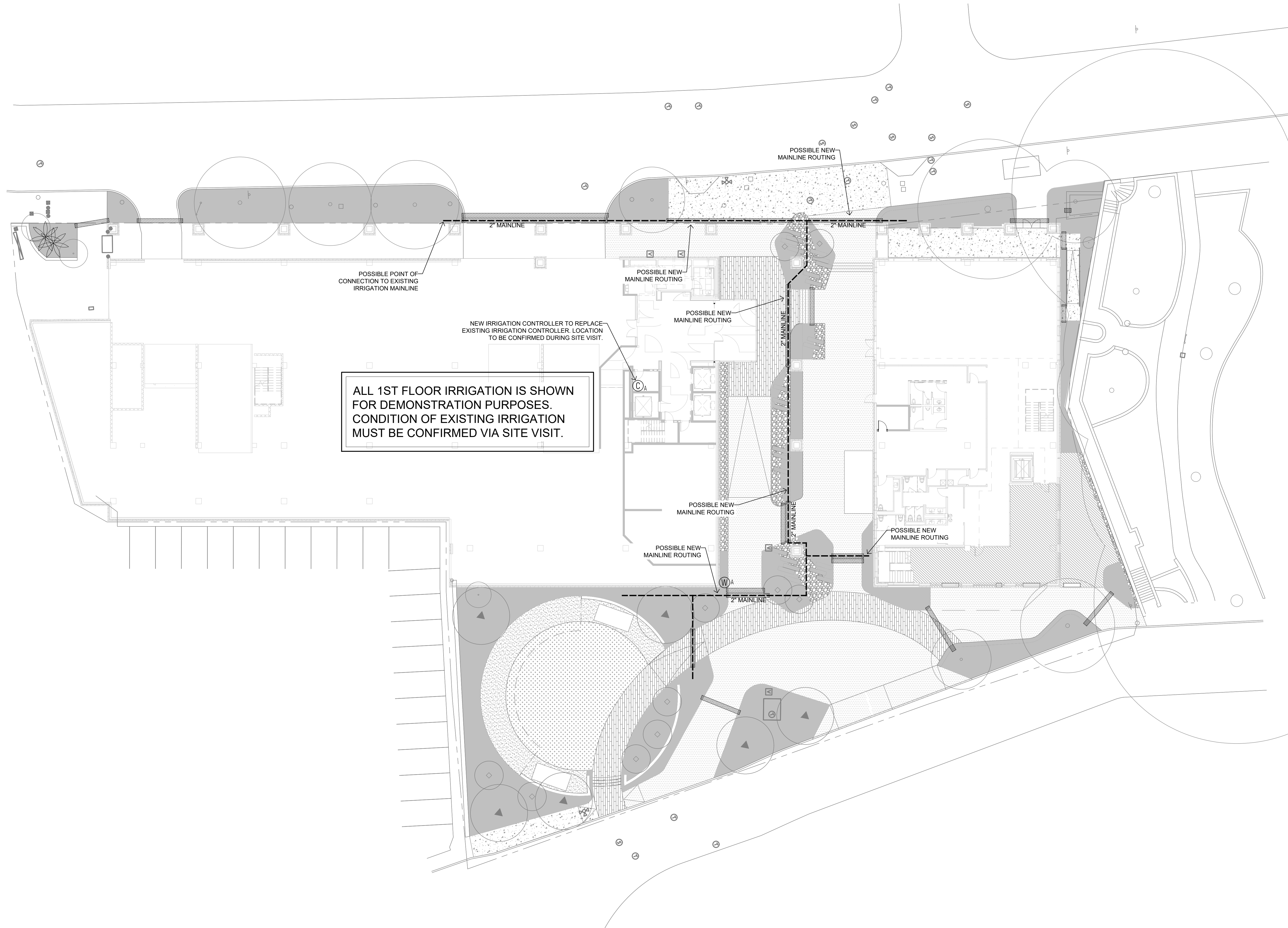


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1

# IRRIGATION PLAN

## 1ST FLOOR PLAZA



SCALE: 1/16"=1'-0"



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IRRIGATION PLAN

Scale

L11.1

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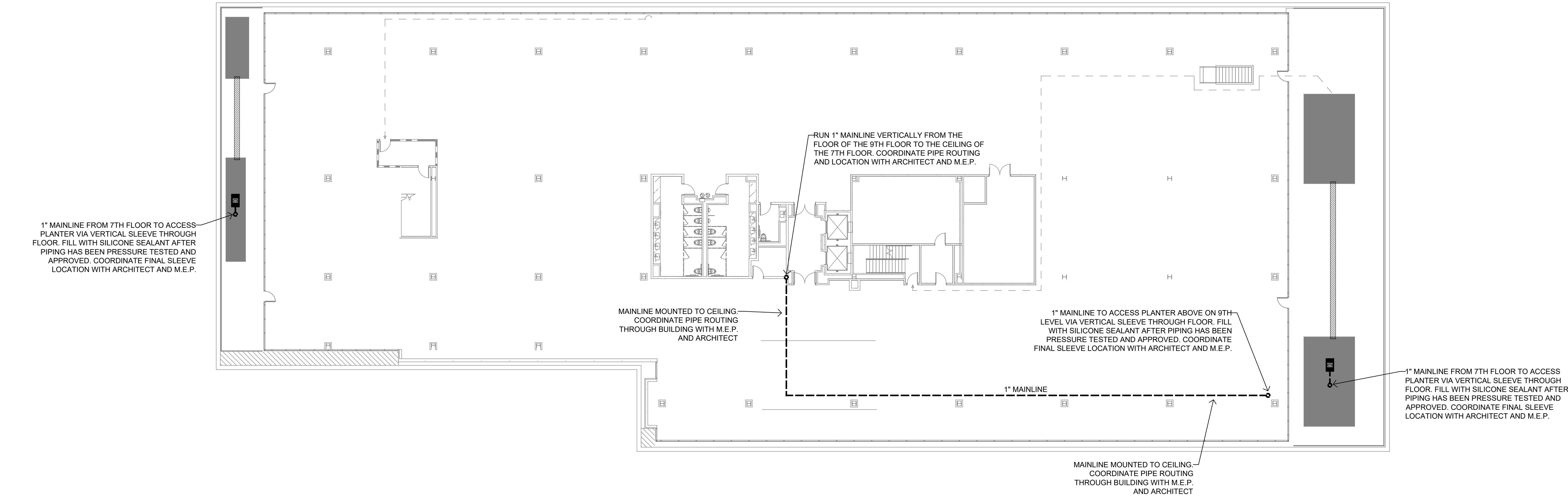


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## 2 IRRIGATION PLAN

### 8TH FLOOR

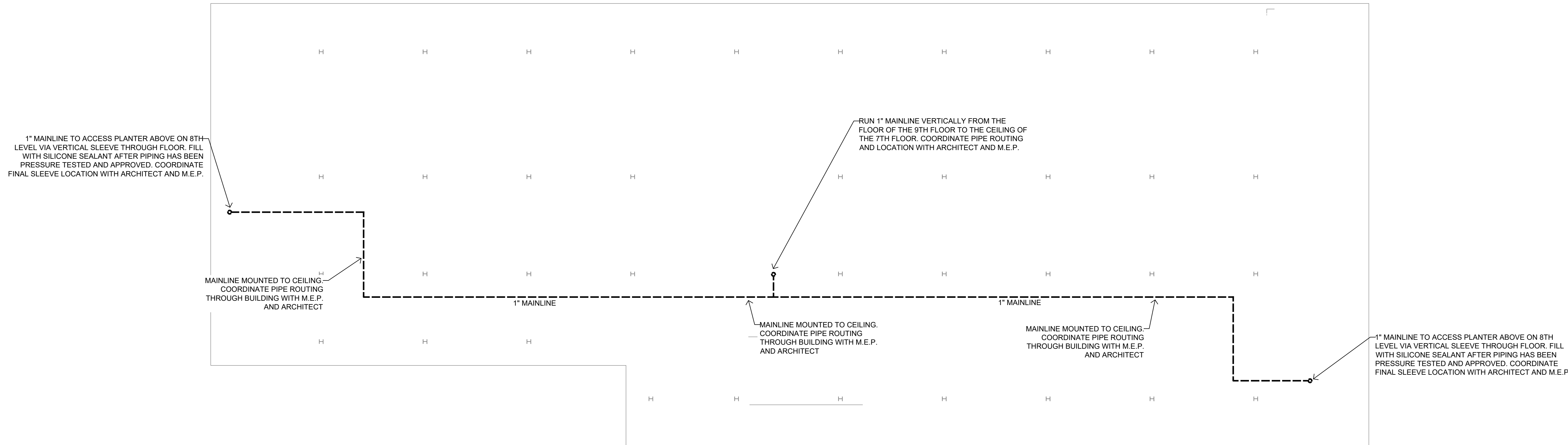
0 4' 8' 16' 32'  
SCALE: 1/16"=1'-0" ↑



## 1 IRRIGATION PLAN

### 7TH FLOOR

0 4' 8' 16' 32'  
SCALE: 1/16"=1'-0" ↑



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Project Name

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PROGRESS, PERMIT, AND PRICING  
CONSTRUCTION DOCUMENTS

Project Number

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Description

IRRIGATION PLAN

Scale

LI1.2

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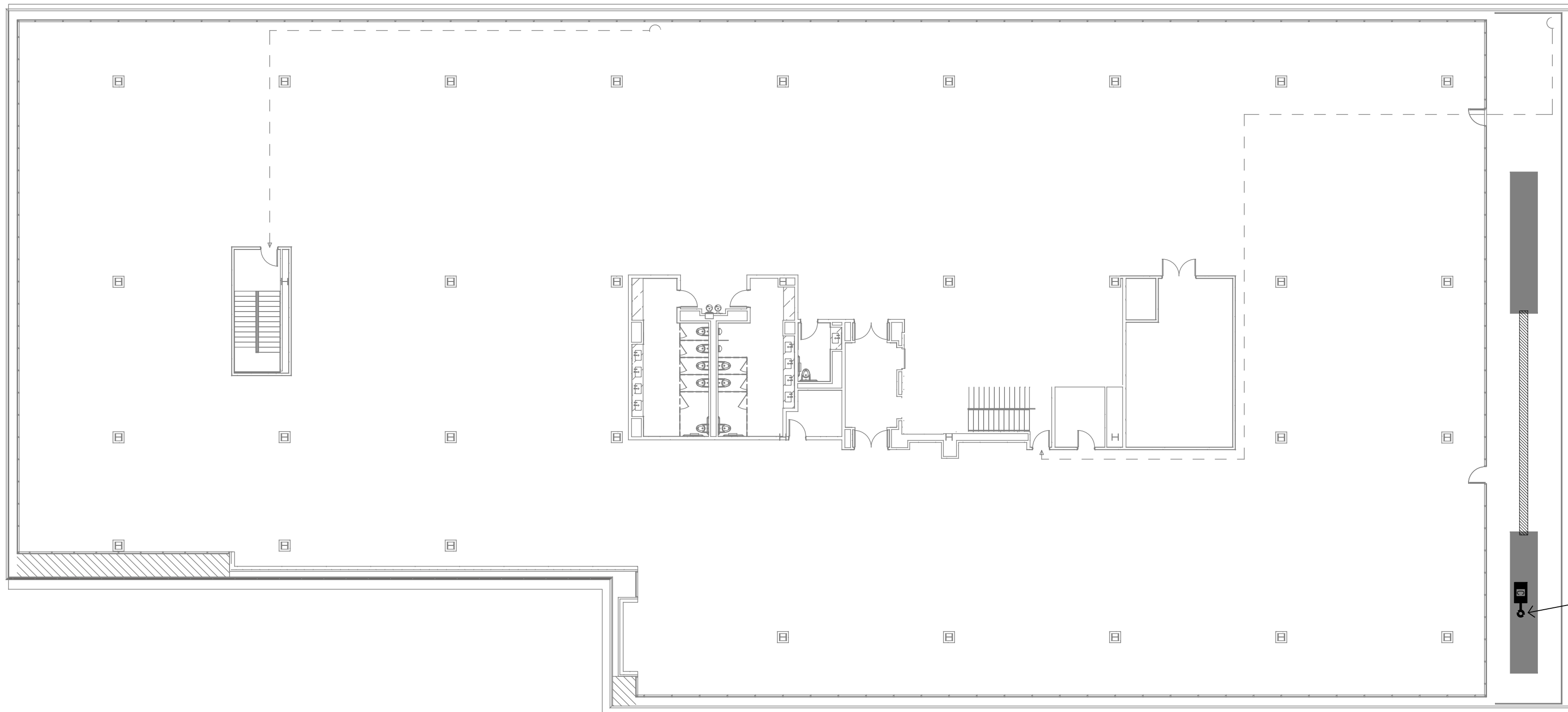


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2 IRRIGATION PLAN  
10TH FLOOR



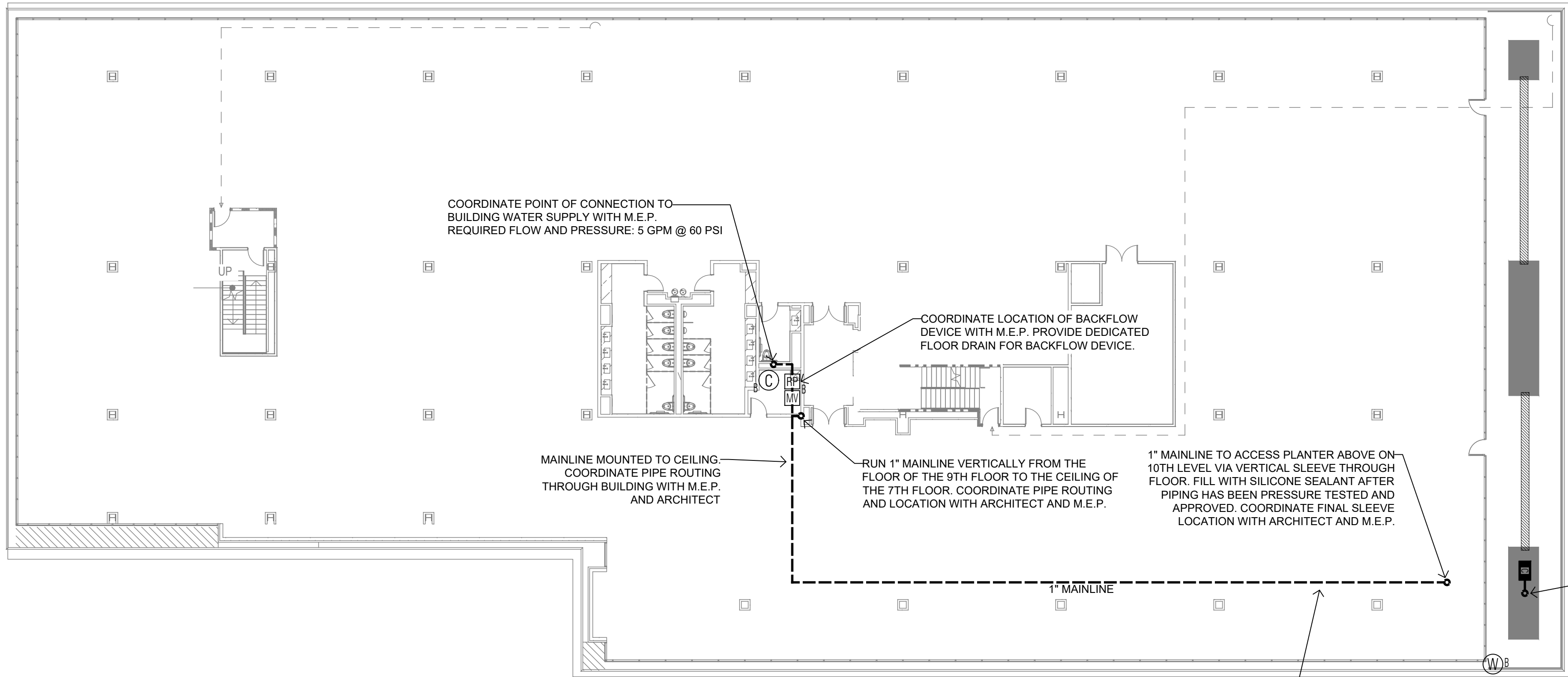
1" MAINLINE FROM 9TH FLOOR TO ACCESS  
PLANTER VIA VERTICAL SLEEVE THROUGH  
FLOOR. FILL WITH SILICONE SEALANT AFTER  
PIPING HAS BEEN PRESSURE TESTED AND  
APPROVED. COORDINATE FINAL SLEEVE  
LOCATION WITH ARCHITECT AND M.E.P.



SCALE: 1/16"=1'-0"



1 IRRIGATION PLAN  
9TH FLOOR



COORDINATE POINT OF CONNECTION TO  
BUILDING WATER SUPPLY WITH M.E.P.  
REQUIRED FLOW AND PRESSURE: 5 GPM @ 60 PSI

COORDINATE LOCATION OF BACKFLOW  
DEVICE WITH M.E.P. PROVIDE DEDICATED  
FLOOR DRAIN FOR BACKFLOW DEVICE.

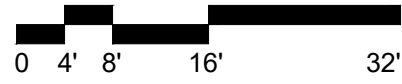
MAINLINE MOUNTED TO CEILING-  
COORDINATE PIPE ROUTING  
THROUGH BUILDING WITH M.E.P.  
AND ARCHITECT

RUN 1" MAINLINE VERTICALLY FROM THE  
FLOOR OF THE 9TH FLOOR TO THE CEILING OF  
THE 7TH FLOOR. COORDINATE PIPE ROUTING  
AND LOCATION WITH ARCHITECT AND M.E.P.

1" MAINLINE TO ACCESS PLANTER ABOVE ON  
10TH LEVEL VIA VERTICAL SLEEVE THROUGH  
FLOOR. FILL WITH SILICONE SEALANT AFTER  
PIPING HAS BEEN PRESSURE TESTED AND  
APPROVED. COORDINATE FINAL SLEEVE  
LOCATION WITH ARCHITECT AND M.E.P.

MAINLINE MOUNTED TO CEILING-  
COORDINATE PIPE ROUTING  
THROUGH BUILDING WITH M.E.P.  
AND ARCHITECT

1" MAINLINE FROM 8TH FLOOR TO ACCESS  
PLANTER VIA VERTICAL SLEEVE THROUGH  
FLOOR. FILL WITH SILICONE SEALANT AFTER  
PIPING HAS BEEN PRESSURE TESTED AND  
APPROVED. COORDINATE FINAL SLEEVE  
LOCATION WITH ARCHITECT AND M.E.P.



SCALE: 1/16"=1'-0"



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Project Name

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PROGRESS, PERMIT, AND PRICING  
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Project Number

122.0039.000

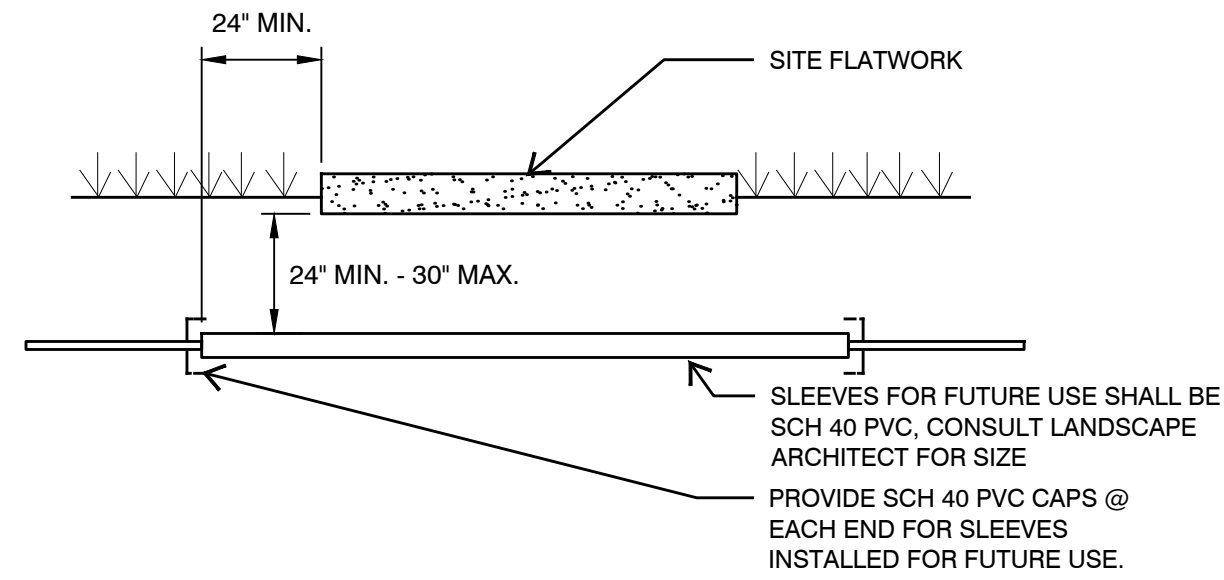
Description

IRRIGATION PLAN

Scale

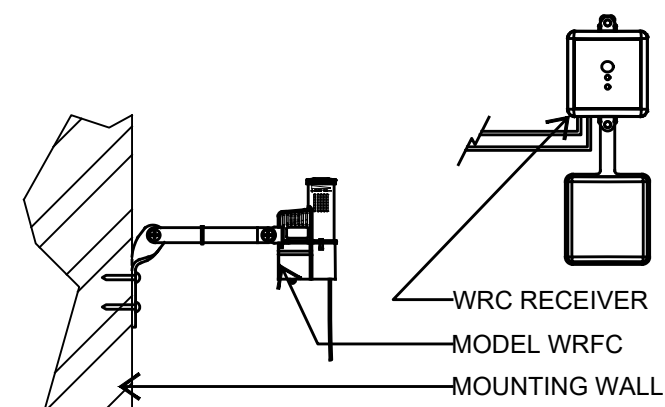
LI1.3





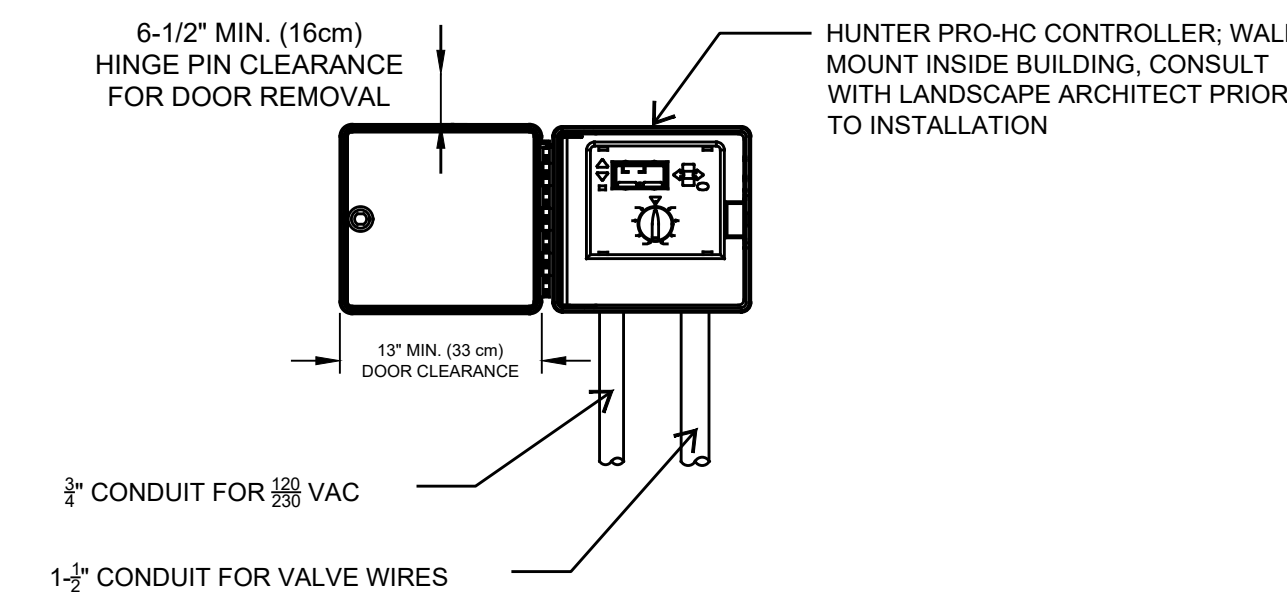
- IRRIGATION SLEEVE NOTES:
1. PIPING AND CONTROL WIRES SHALL BE INSTALLED IN SEPARATE SLEEVES UNDER PAVING. REFER TO IRRIGATION SLEEVE PLAN FOR SIZE AND LOCATION.
  2. SLEEVE ELEVATION SHALL BE TWENTY-FOUR (24") INCHES BELOW TOP OF PAVEMENT.
  3. SLEEVES SHALL EXTEND ONE (1') FOOT BEYOND THE EDGE OF PAVEMENT AND BE STAKED FOR LOCATION.
  4. ALL SLEEVES 4" OR LESS, SHALL BE SCH-40 PVC. ALL SLEEVES GREATER THAN 4" SHALL BE CLASS-200 SDR-21. SLEEVES SHALL BE CAPPED ON BOTH ENDS AND SIZED A MIN. OF TWO (2) TIMES THE DIAMETER OF THE PIPE INSIDE THE SLEEVE.
  5. SLEEVE LOCATIONS SHALL BE MARKED ONTO THE TOP OF CURB WITH A SAW-CUT OF TWO PARALLEL LINES THAT ARE TWO (2") INCHES LONG AND ONE (1") INCH APART ON BOTH SIDES OF THE STREET OR CROSSING.
  6. THE CONTRACTOR RESPONSIBLE FOR INSTALLATION OF SLEEVES SHALL ALSO BE RESPONSIBLE TO LOCATE ANY SLEEVE WHICH CANNOT BE FOUND DURING THE INSTALLATION OF THE IRRIGATION SYSTEM.

## 12 IRRIGATION SLEEVE



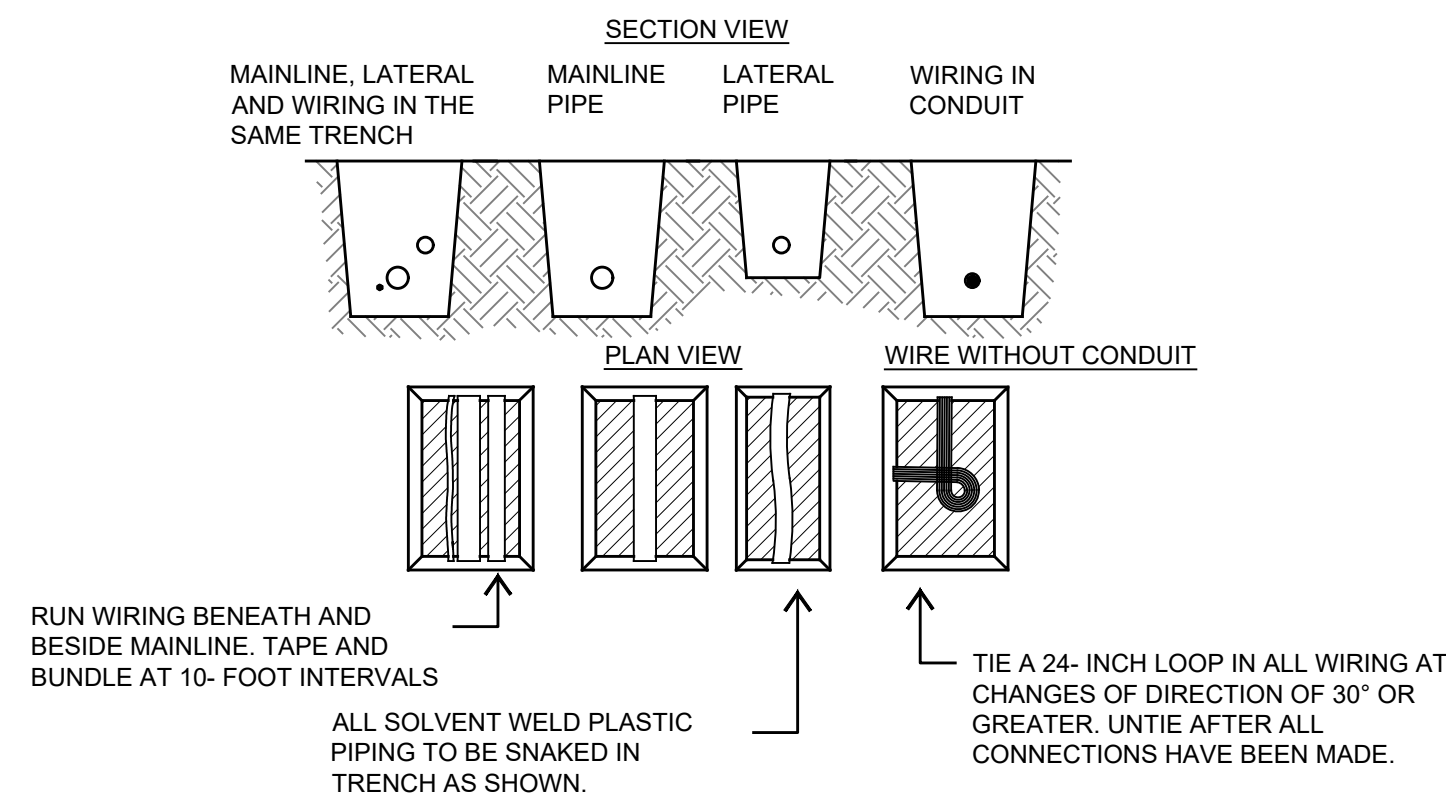
NOTE:  
MOUNT SENSOR ON ANY SURFACE WHERE IT WILL BE EXPOSED TO UNOBSTRUCTED RAINFALL, BUT NOT IN PATH OF SPRINKLER SPRAY, NO MORE THAN 1000' FROM RECEIVER UNIT.  
MOUNT RECEIVER UNIT NO FURTHER THAN 6' FROM CONTROLLER.

## 11 WEATHER SENSOR



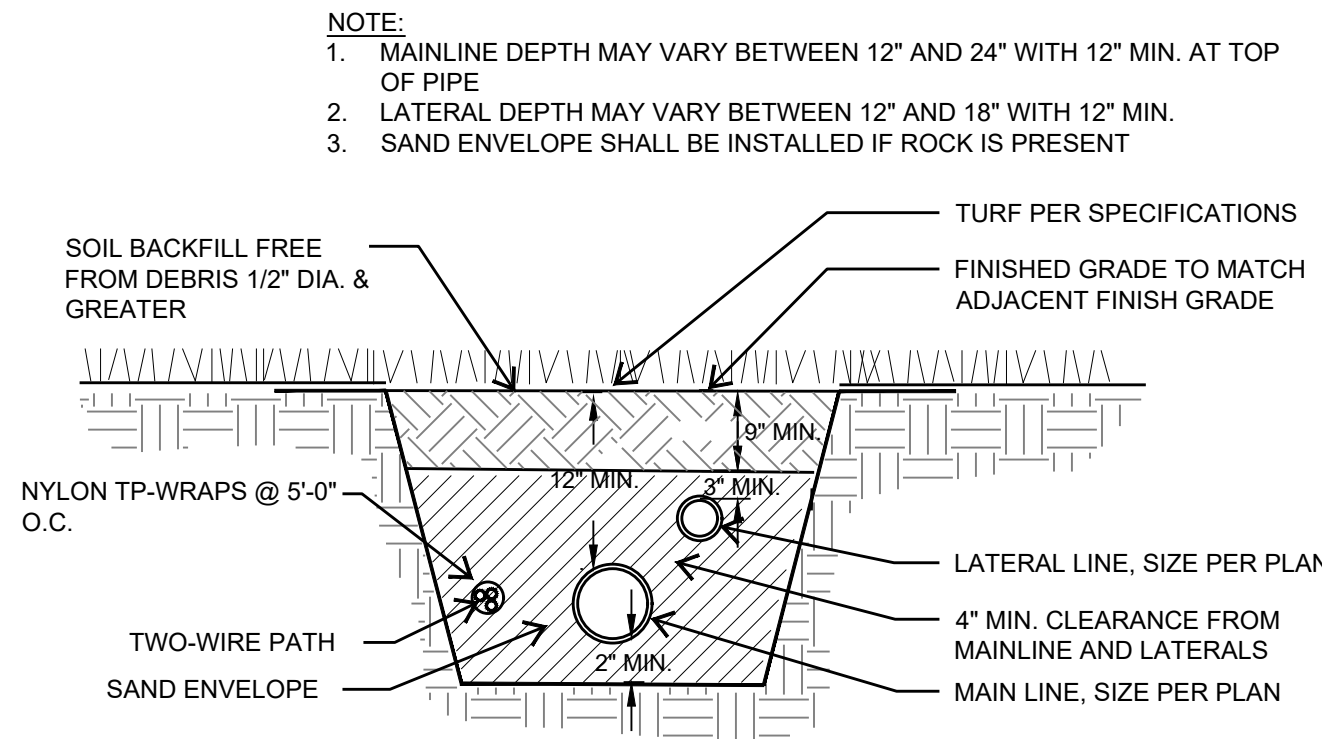
NOTES:  
1. All electrical work to comply with applicable codes.  
2. Provide remote control unit per spec.

## 10 IRRIGATION CONTROLLER

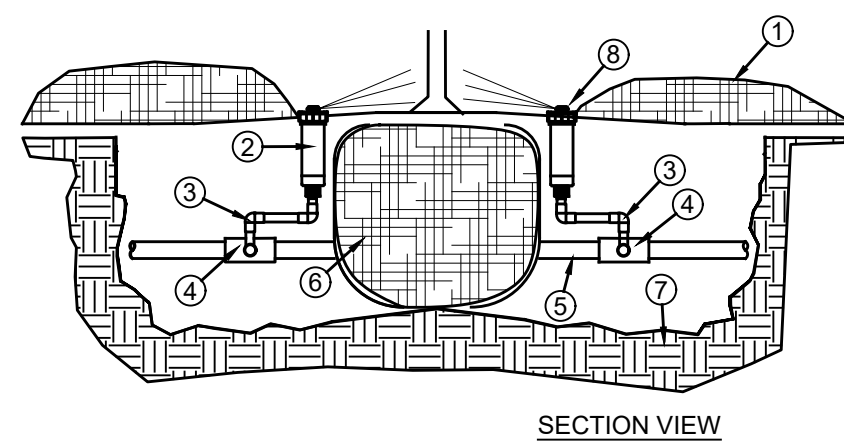


NOTES:  
1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCH-40 PVC TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN  
2. FOR PIPE AND WIRE BURIAL DEPTHS SEE TRENCH PROFILE DETAIL

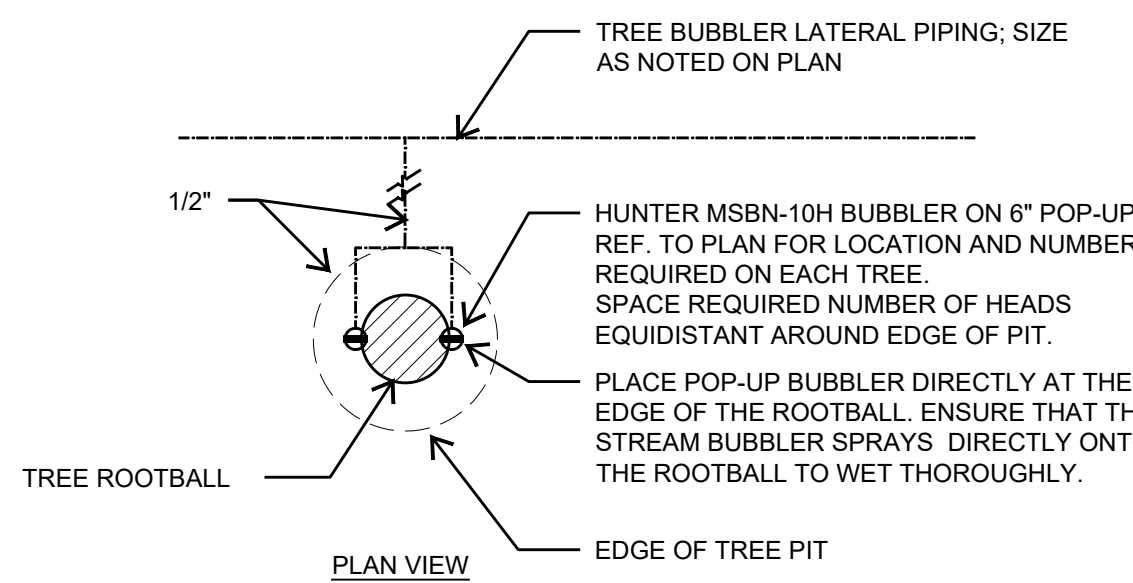
## 9 IRRIGATION TRENCH



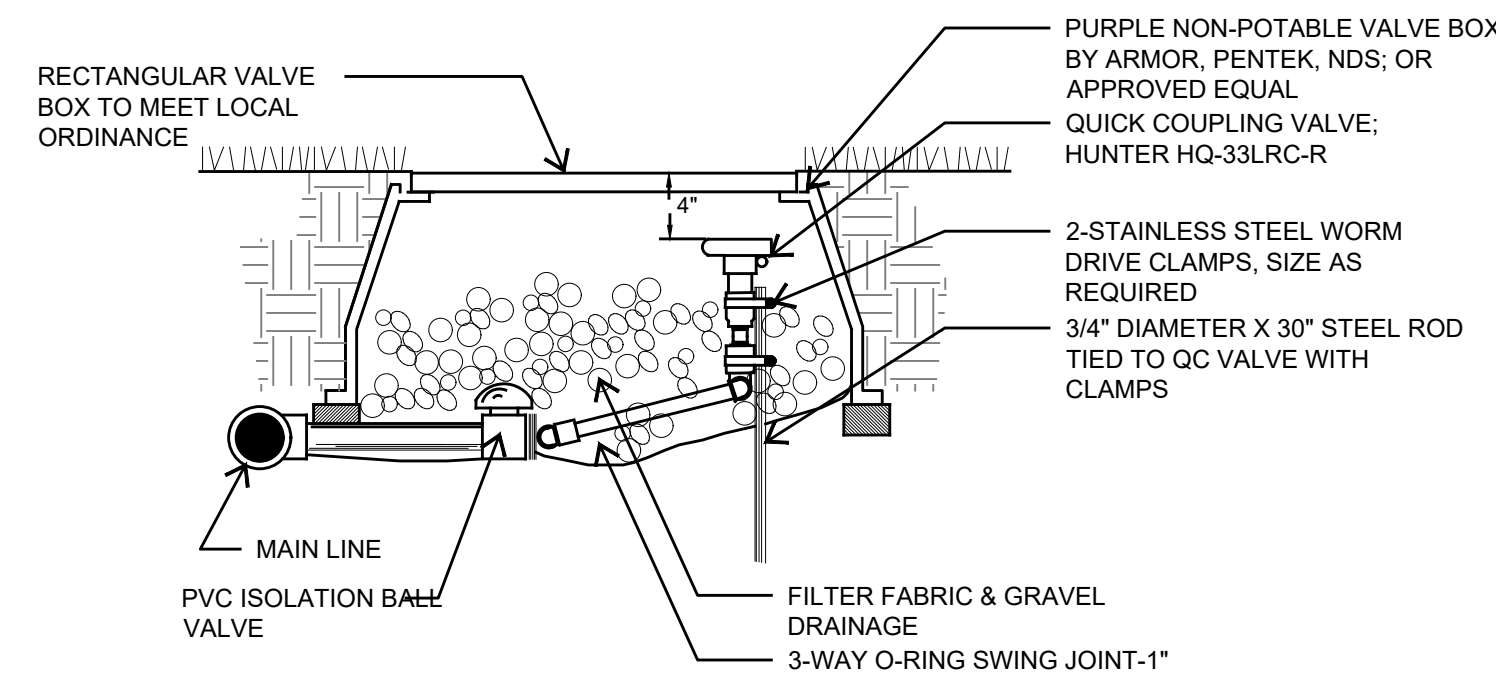
## 8 TRENCH PROFILE



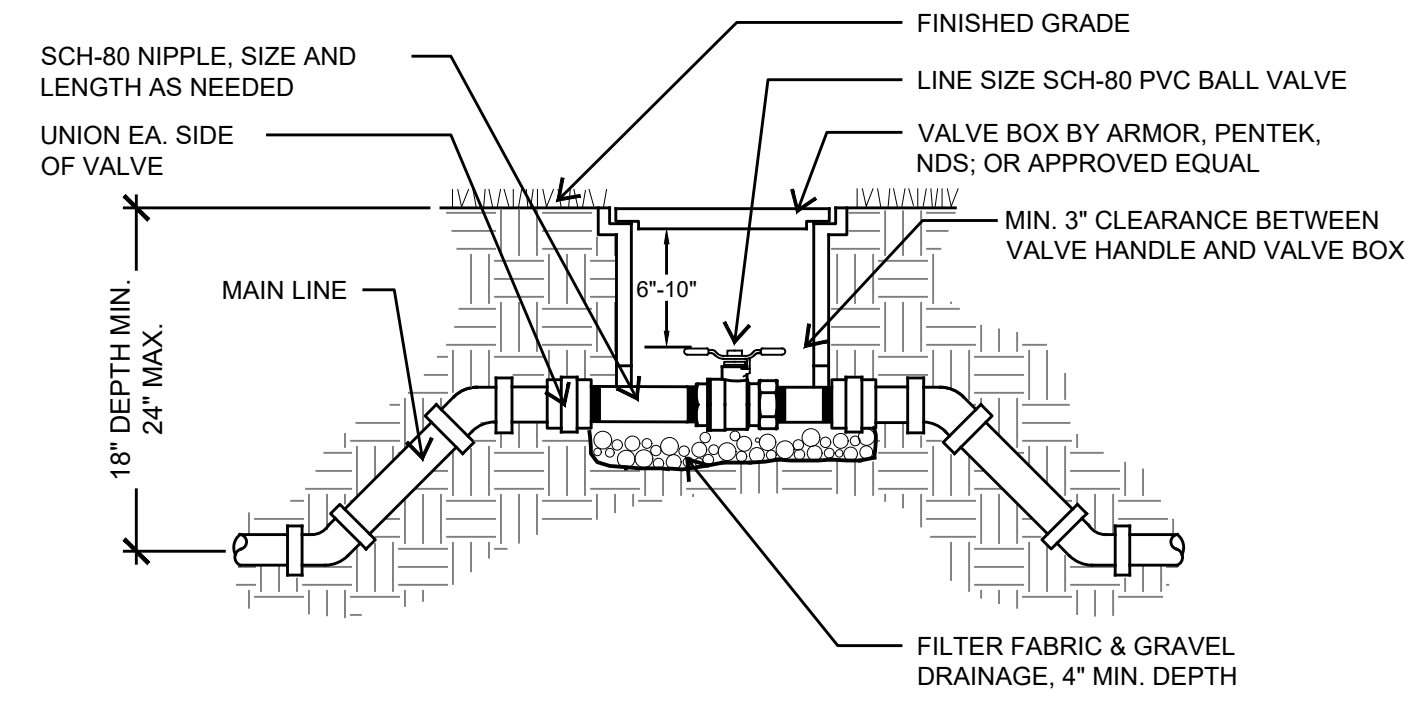
## 7 TREE BUBBLER ASSEMBLY- SECTION



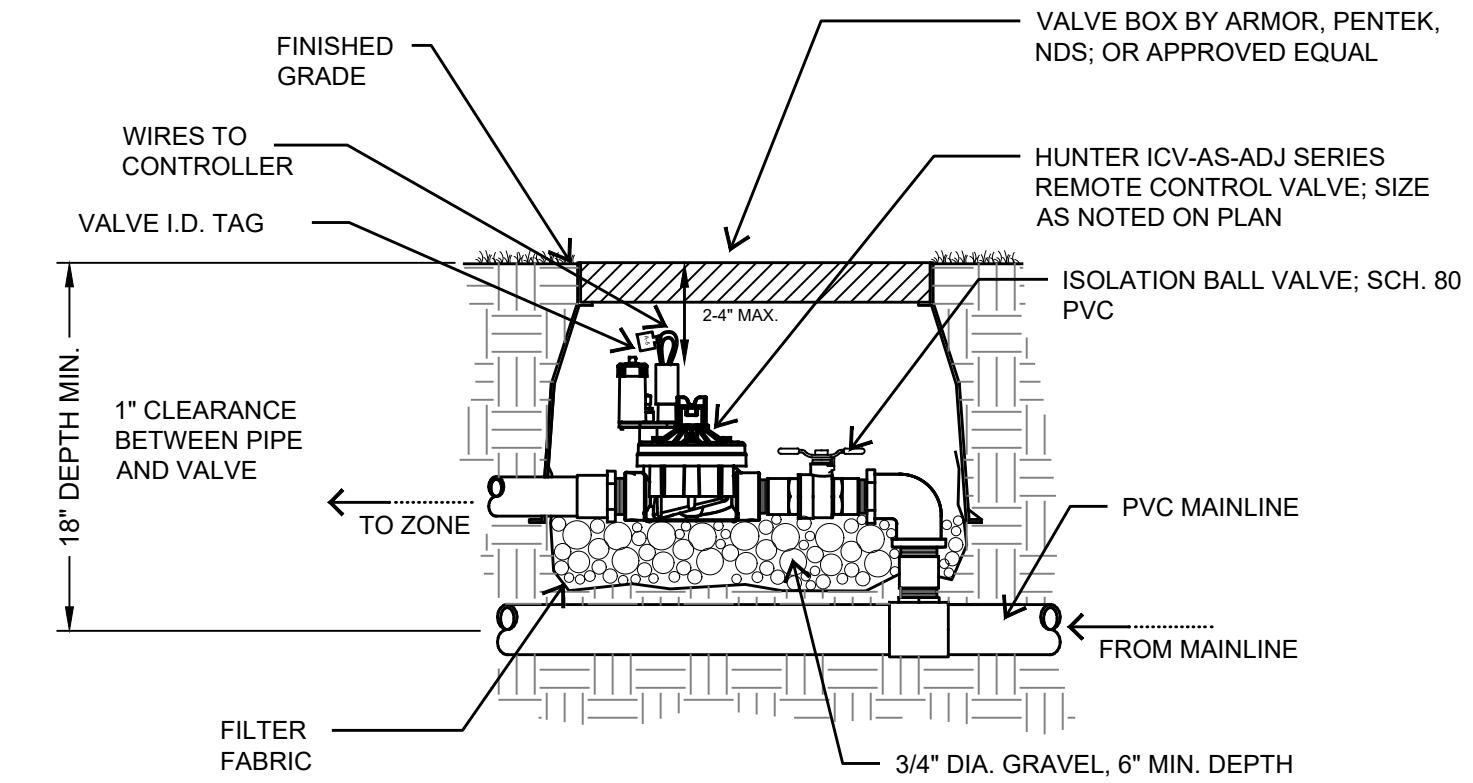
## 6 TREE BUBBLER ASSEMBLY- PLAN



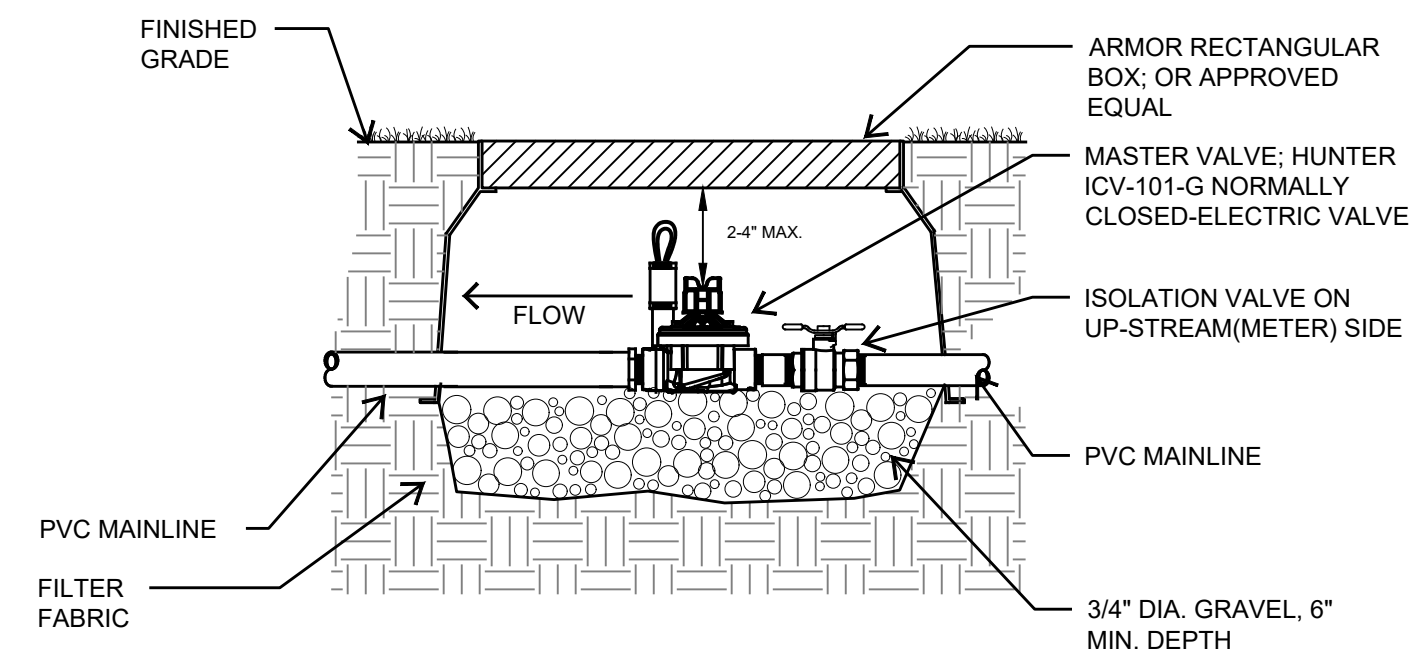
## 5 QUICK COUPLER VALVE



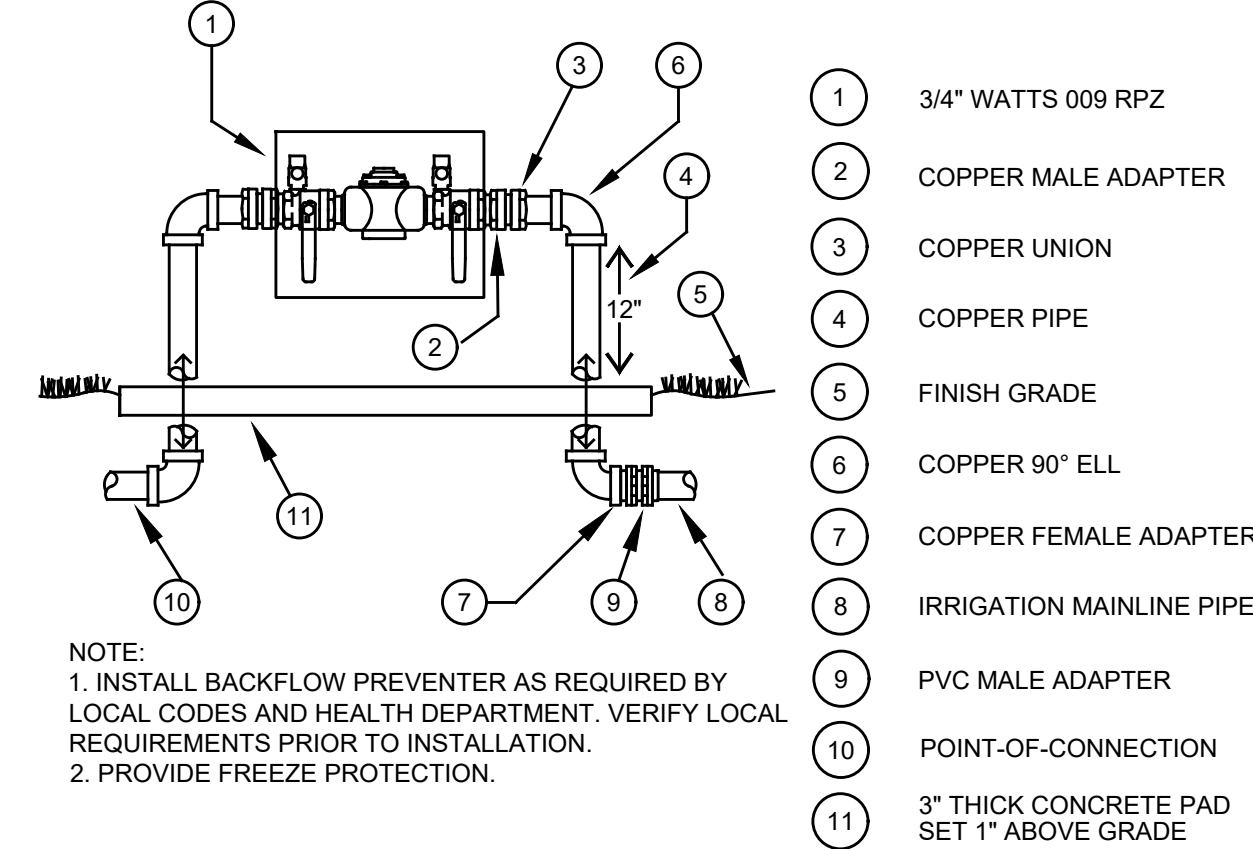
## 4 MANUAL ISOLATION VALVE



## 3 ZONE VALVE



## 2 MASTER VALVE



## 1 BACKFLOW DEVICE

# BH PROPERTIES

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MP Studio Landscape  
Architecture  
201 Grovelton St  
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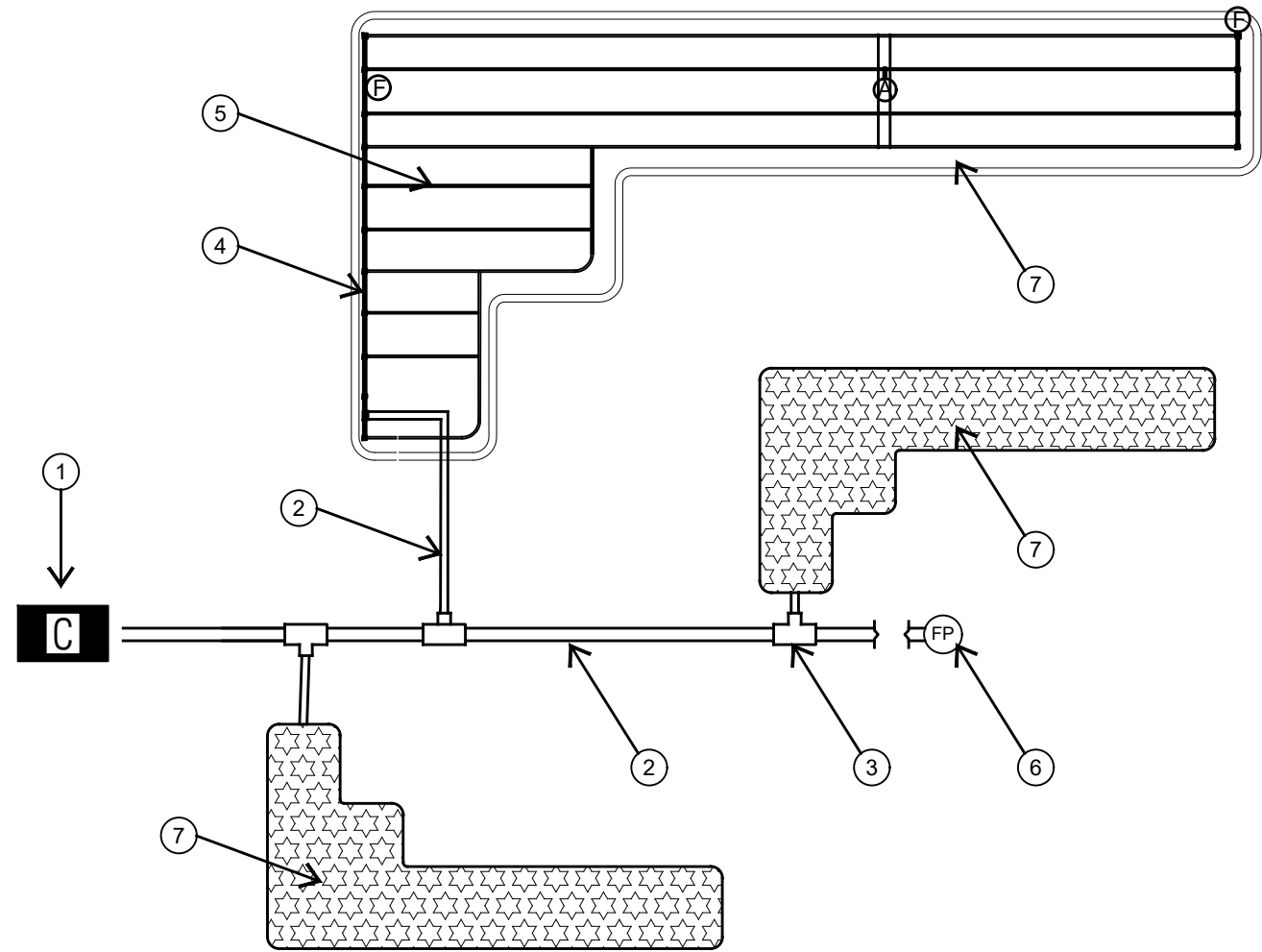
# LI2.1



- ① CONTROL ZONE KIT; NETAFIM  
② PVC SUPPLY LINE; SIZE PER CHART BELOW

TOTAL LENGTH OF DRIPLINE	MINIMUM PIPE SIZE
UP TO 500 FT	1/2" SCH 40 PVC or 1/2" CLASS 315 PVC
500 TO 800 FT	3/4" CLASS 200 PVC
800 TO 1000 FT	1" CLASS 200 PVC
1000 TO 1500 FT	1 1/4" CLASS 200 PVC
1500 TO 2000 FT	1 1/2" CLASS 200 PVC

- ③ PVC SCH-40 TEE OR EL (TYPICAL)  
④ SUPPLY HEADER; PVC SCH 40 WITH INSERT FITTINGS  
⑤ LANDSCAPE DRIPLINE TUBING;  
NETAFIM TLHCVXR7-18 FOR PLANTING  
NETAFIM TLHCVXR7-12 FOR TURF  
⑥ DRIPLINE FLUSH POINT (SEE NETAFIM DETAIL: FLUSH VALVE)  
⑦ DRIP AREA; DEFINED BY HATCH ASSOCIATED TO ZONE TAG ON PLANS



## 9 DRIP HATCH LAYOUT

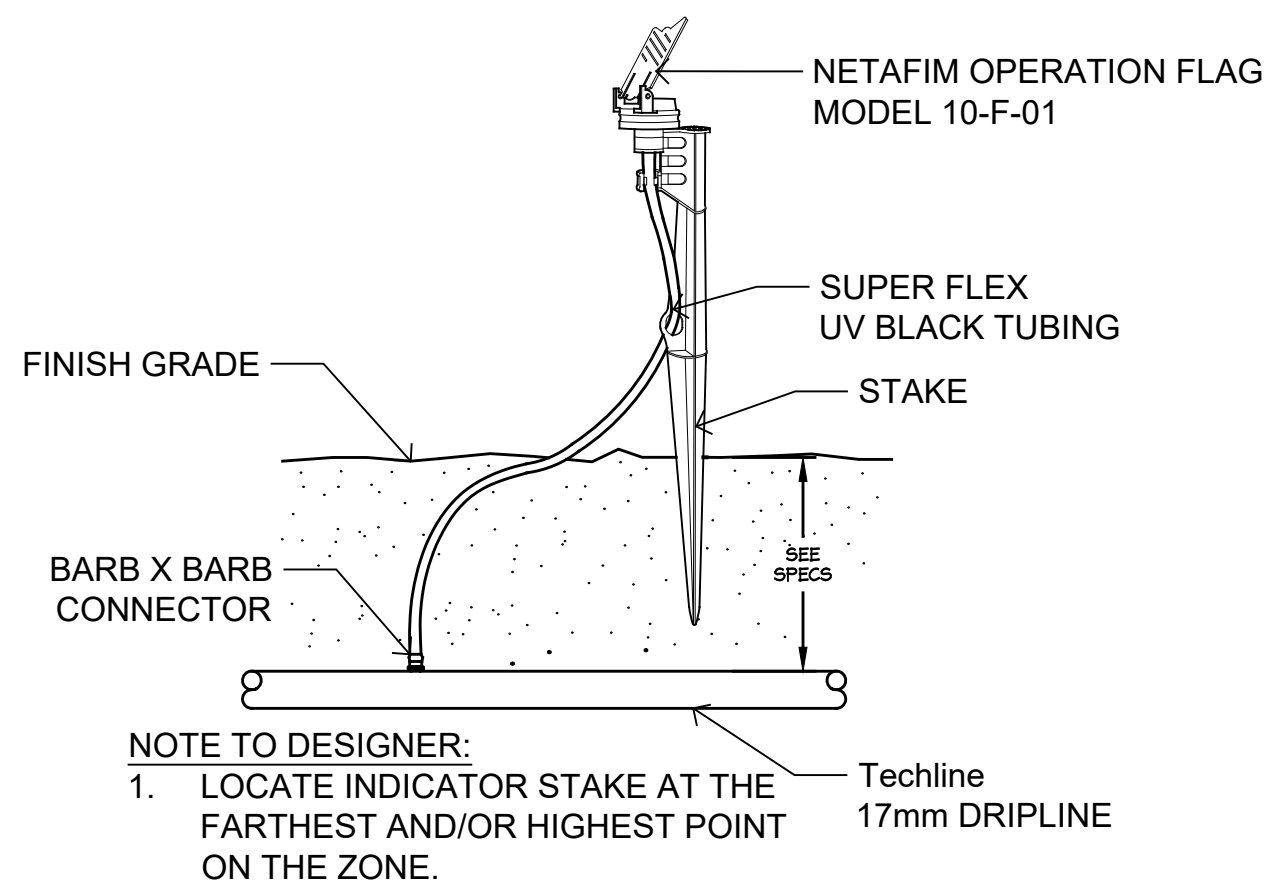
- 1.) DRIPLINE SHALL BE BURIED 3" TO 5" BELOW FINISHED SOIL GRADE IN PLANTING BEDS AFTER PLANTING AND BEFORE MULCH AND 4" TO 6" BELOW FINISHED GRADE IN TURF AREAS.
- 2.) STAGGER EMITTER SPACING IN PARALLEL ROWS TO CREATE TRIANGULAR WETTING PATTERN.
- 3.) ALL DRIPLINE SHALL BE SECURED USING SOIL STAPLES AS SUPPLIED BY THE MANUFACTURER SPACED A MAX. OF 3' ON CENTER.
- 4.) DRIPLINE LATERALS SHOWN ON THE PLANS ARE USED TO INDICATE ZONING SIZES AND RELATIONSHIPS. INSTALLATION OF DRIPLINE ZONES SHALL FOLLOW ONE OF THE TWO METHODS DESCRIBED IN DTLS. 2/3-LI 2.2. AND NETAFIM'S RECOMMENDED INSTALLATION SPECIFICATIONS.
- 5.) NETAFIM HCVR SERIES DRIPLINE SHALL BE USED AS FOLLOWS:  
TURF AREAS; TLHCVXR7-12, ROWS SPACED AT 12 INCHES  
BED AREAS; TLHCVXR7-18, ROWS SPACED AT 18 INCHES  
BED AREAS WITH SLOPE 3:1 OR MORE; TLHCVXR7-12
- 6.) WHEN CONFLICTS OCCUR BETWEEN THESE DRAWINGS AND THE MANUFACTURER'S SPECIFICATIONS DEFER TO THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS.
- 7.) EACH DRIPLINE ZONE SHALL HAVE A DRIPLINE SYSTEM OPERATION INDICATOR, AS MANUFACTURED BY NETAFIM. INSTALL PER NETAFIM RECOMMENDATIONS.

PROPER SIZING OF SUPPLY AND EXHAUST HEADERS  
(17MM HCVR SERIES DRIPLINE)

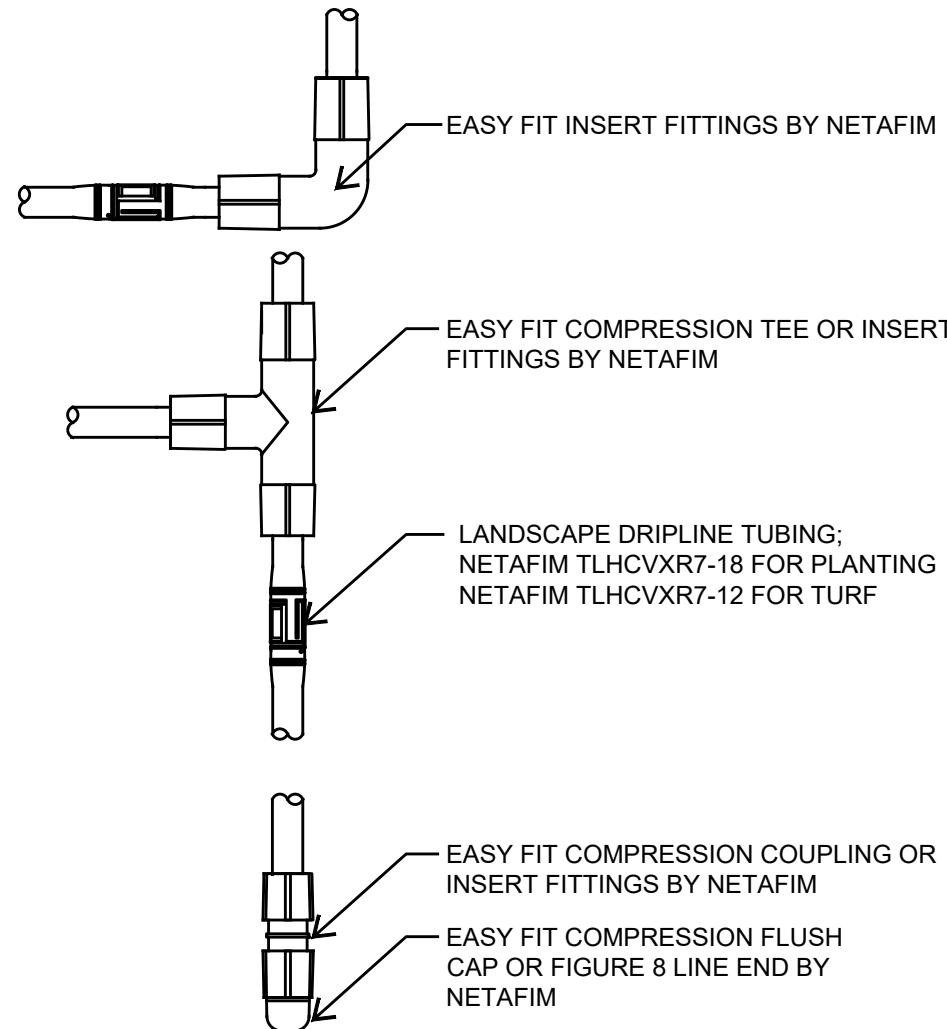
TOTAL ZONE FLOW	PIPE SIZE
UP TO 5 GPM	1/2" SCH 40 PVC or 1/2" CLASS 315 PVC
5.1 TO 8 GPM	3/4" CLASS 200 PVC
8.1 TO 13 GPM	1" CLASS 200 PVC
13.1 TO 22 GPM	1 1/4" CLASS 200 PVC
22.1 TO 31 GPM	1 1/2" CLASS 200 PVC

NOTE: A 45 PSI PRESSURE REGULATOR IS RECOMMENDED TO OBTAIN MAXIMUM RUN LENGTHS AND MAXIMIZE ZONE SIZE WHEN INSTALLING HCVR SERIES DRIPLINE.

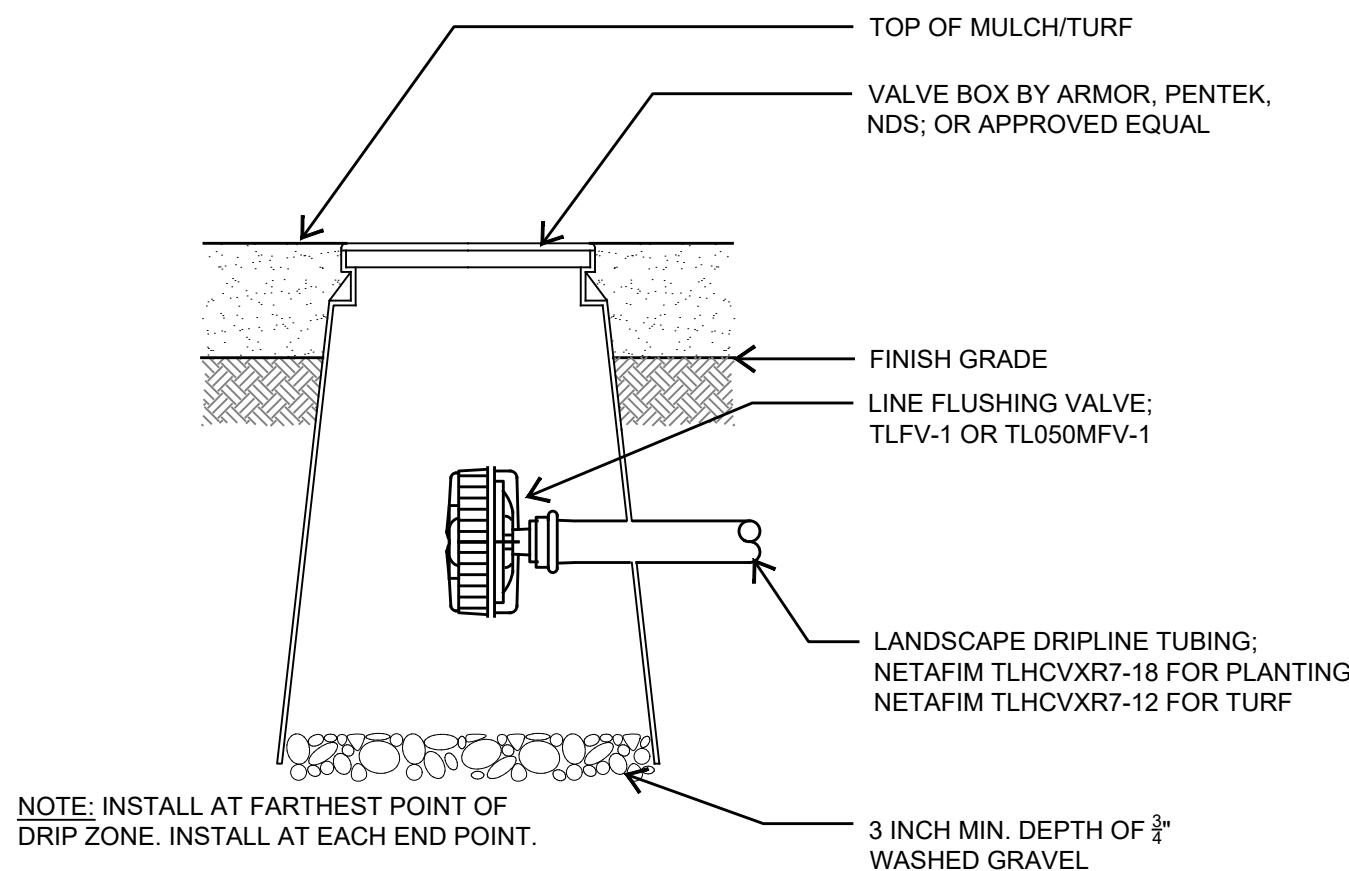
## 8 DRIP DESIGN NOTES



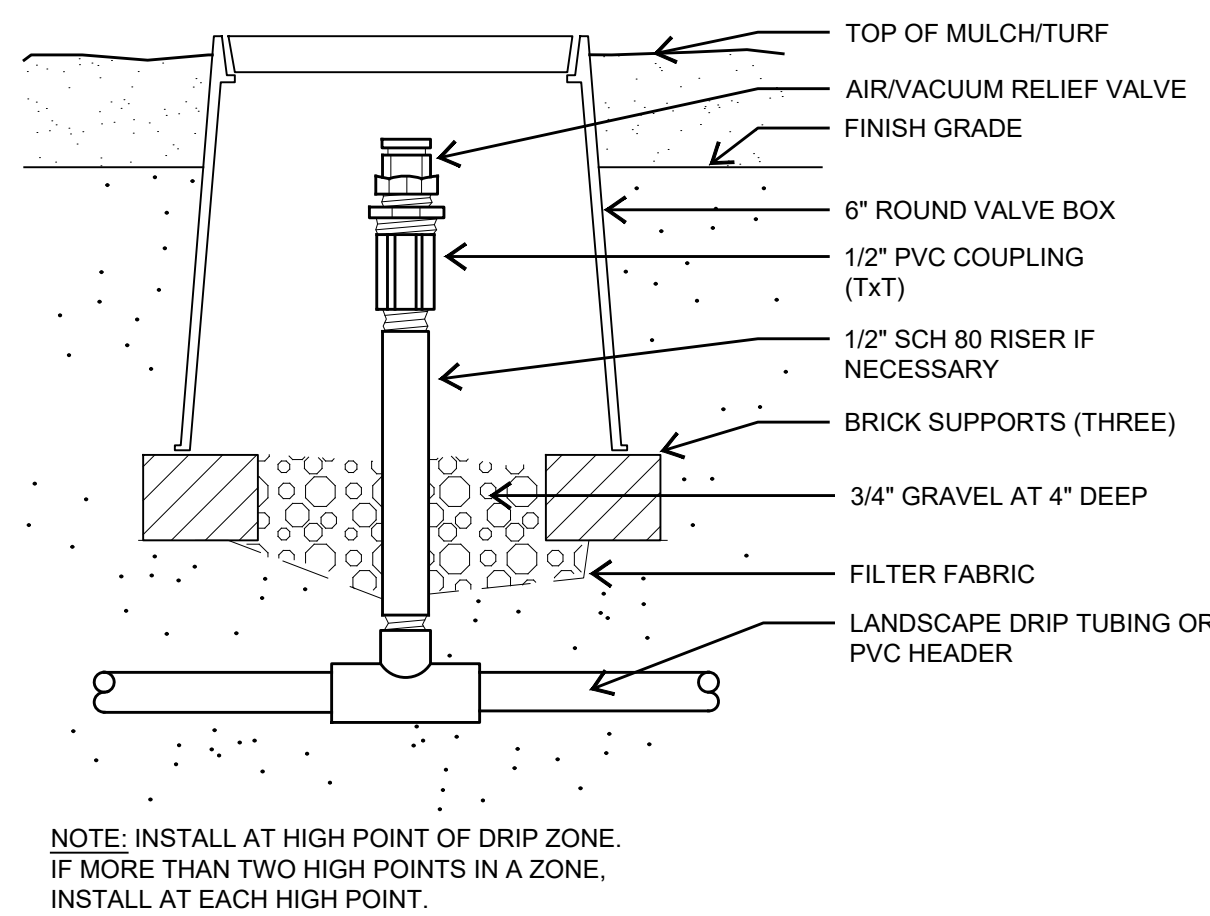
## 7 OPERATION INDICATOR



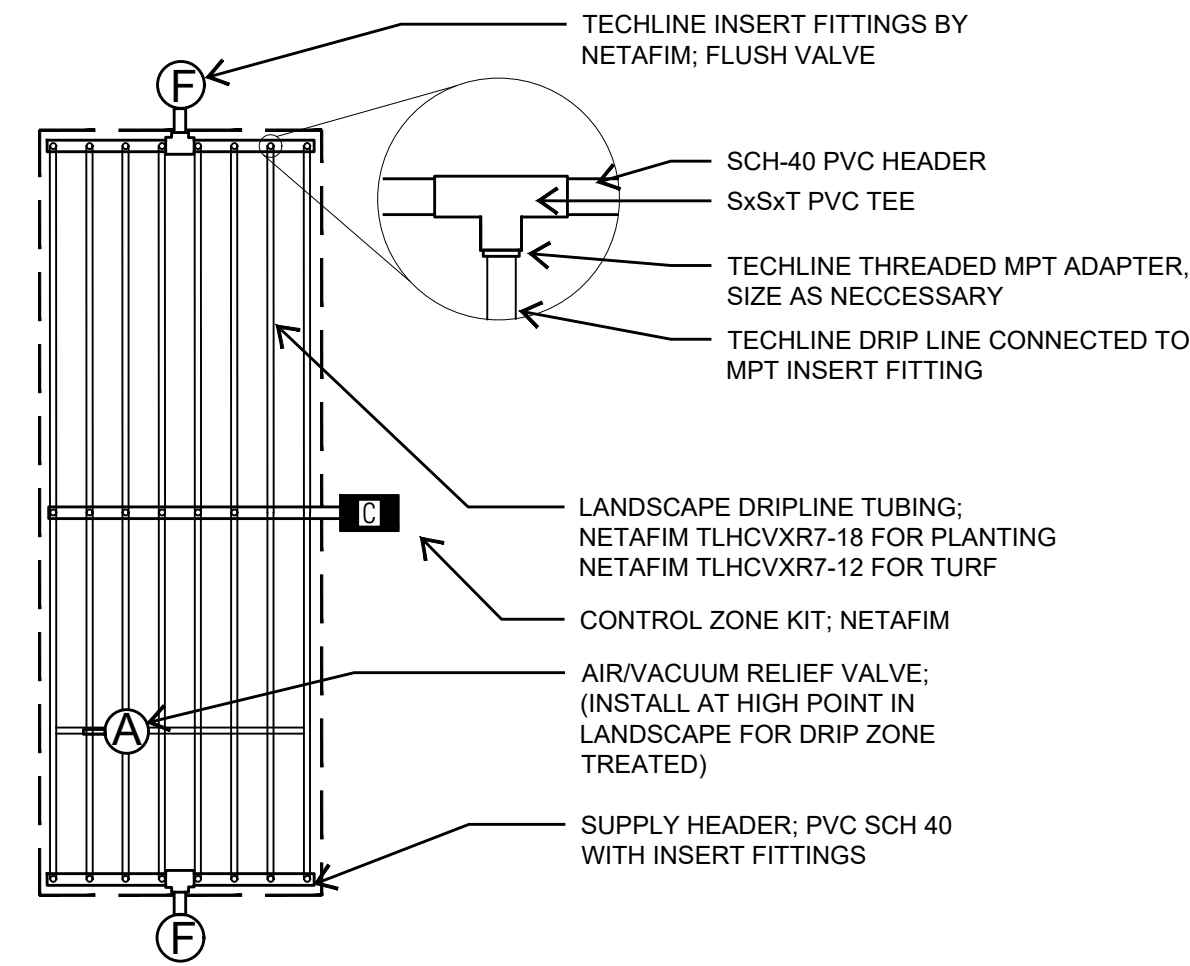
## 6 DRIPLINE FITTINGS



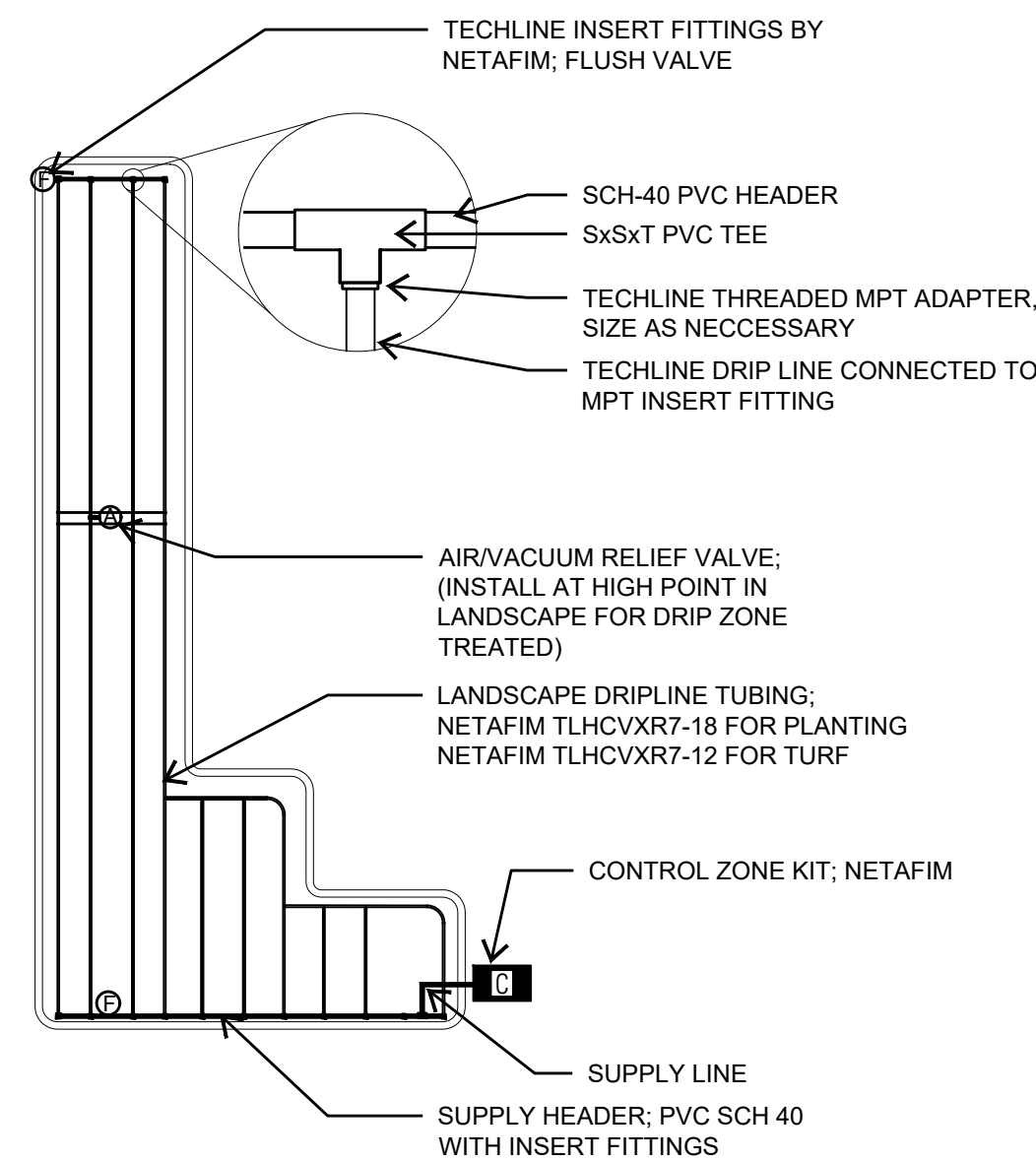
## 5 DRIPLINE FLUSH VALVE



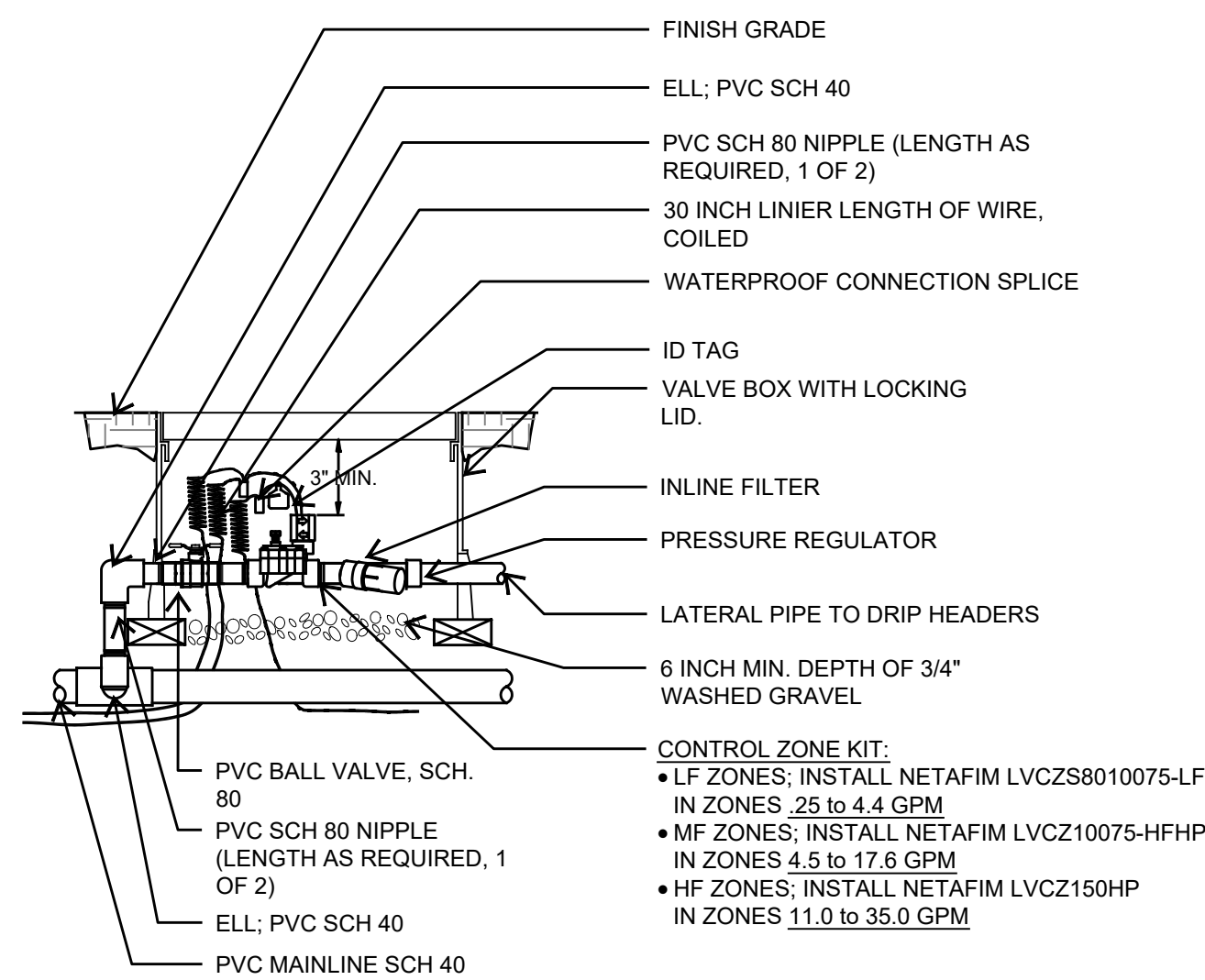
## 4 AIR RELIEF VALVE



## 3 DRIPLINE INSTALLATION (CENTER FEED)



## 2 DRIPLINE INSTALLATION (END FEED)



## 1 CONTROL ZONE KIT

# BH PROPERTIES

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L11.1